

**TYPE J1 - 2 Bed  
GF apartment**

APARTMENT TYPE J  
Ground floor area 85.6m<sup>2</sup>  
Total Floor Area (2-bed unit): 85.6m<sup>2</sup>

Terrace layout varies according to site levels. refer to Drawing 6268-P-707 for details.

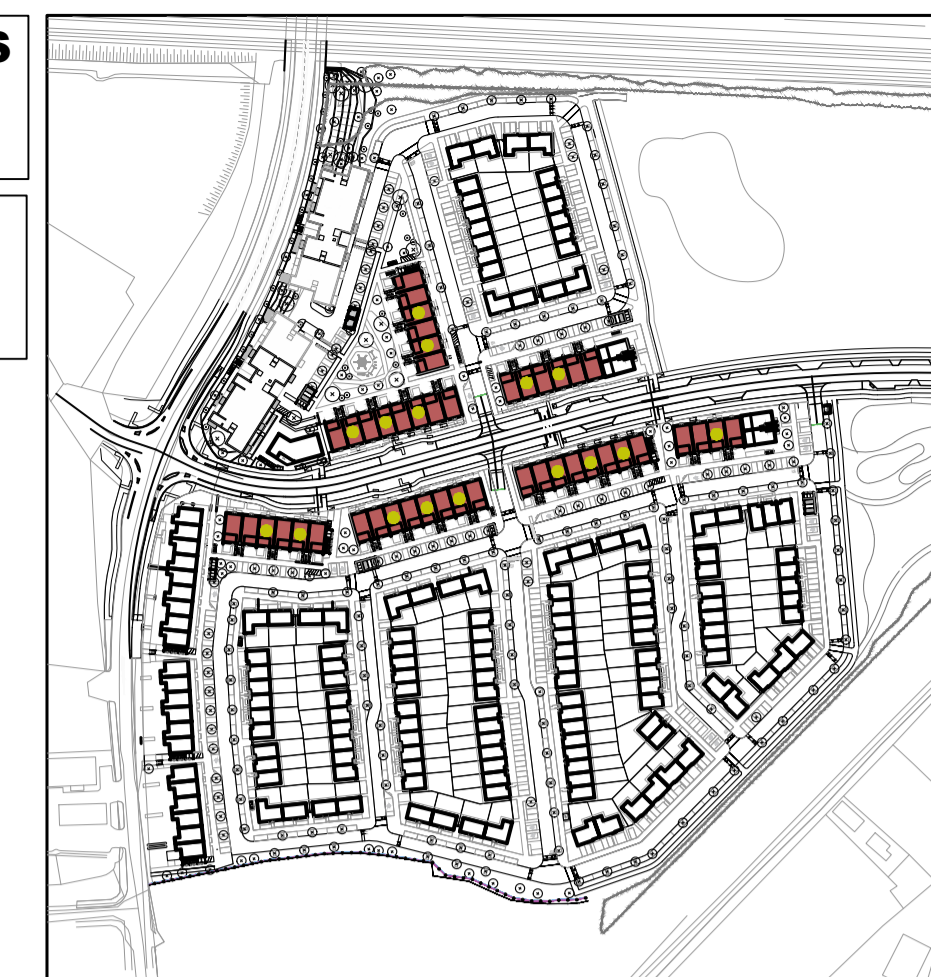
**TYPE K1 - 3 Bed  
FF duplex**

DUPLEX TYPE K  
Ground floor priv. stair 6.6m<sup>2</sup>  
First floor area 55.6m<sup>2</sup>  
Second floor area 55.6m<sup>2</sup>  
Total Floor Area (3-bed unit): 117.9m<sup>2</sup>

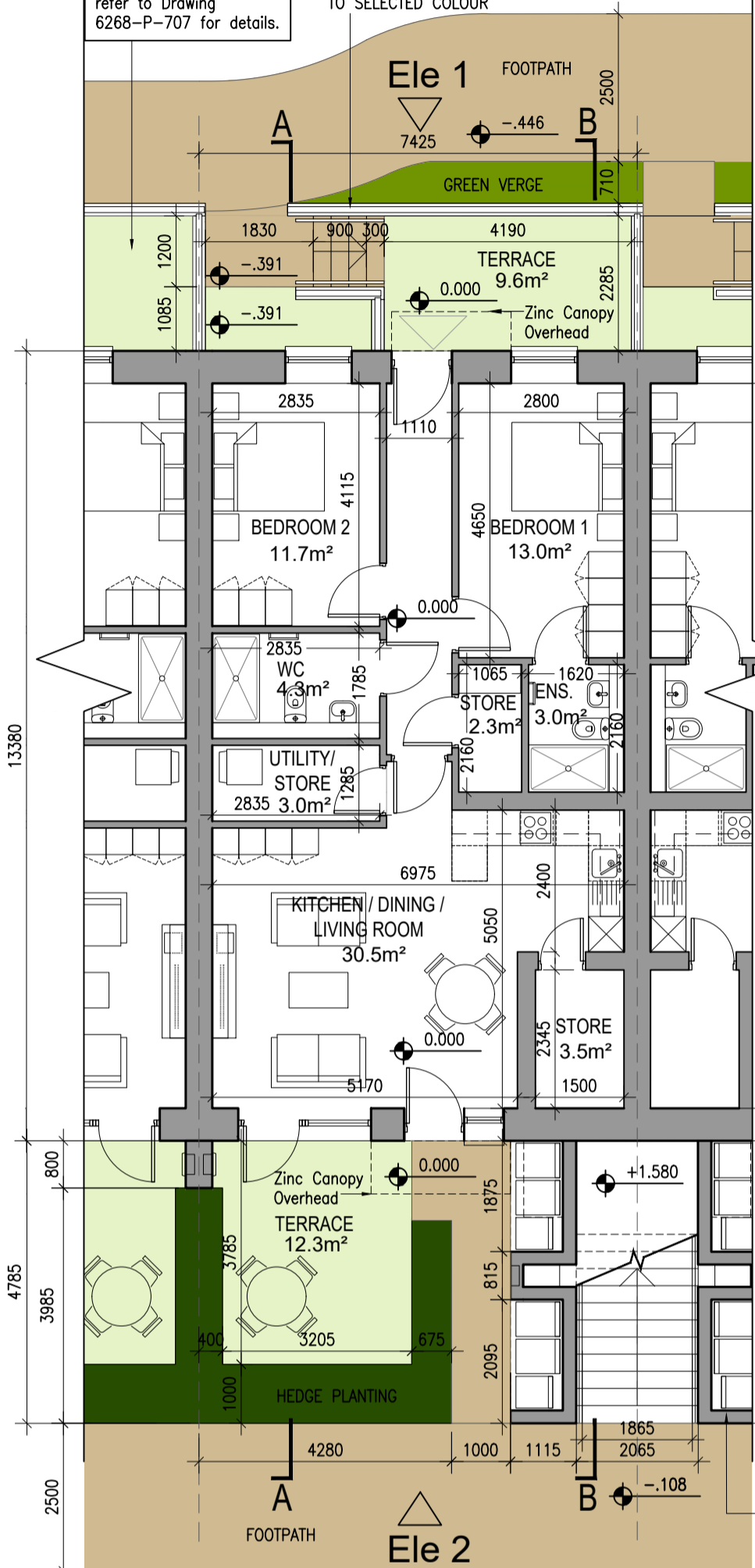
Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022

**REFER TO STREET ELEVATIONS  
FOR LOCATIONS OF EACH  
ELEVATION VARIATION**

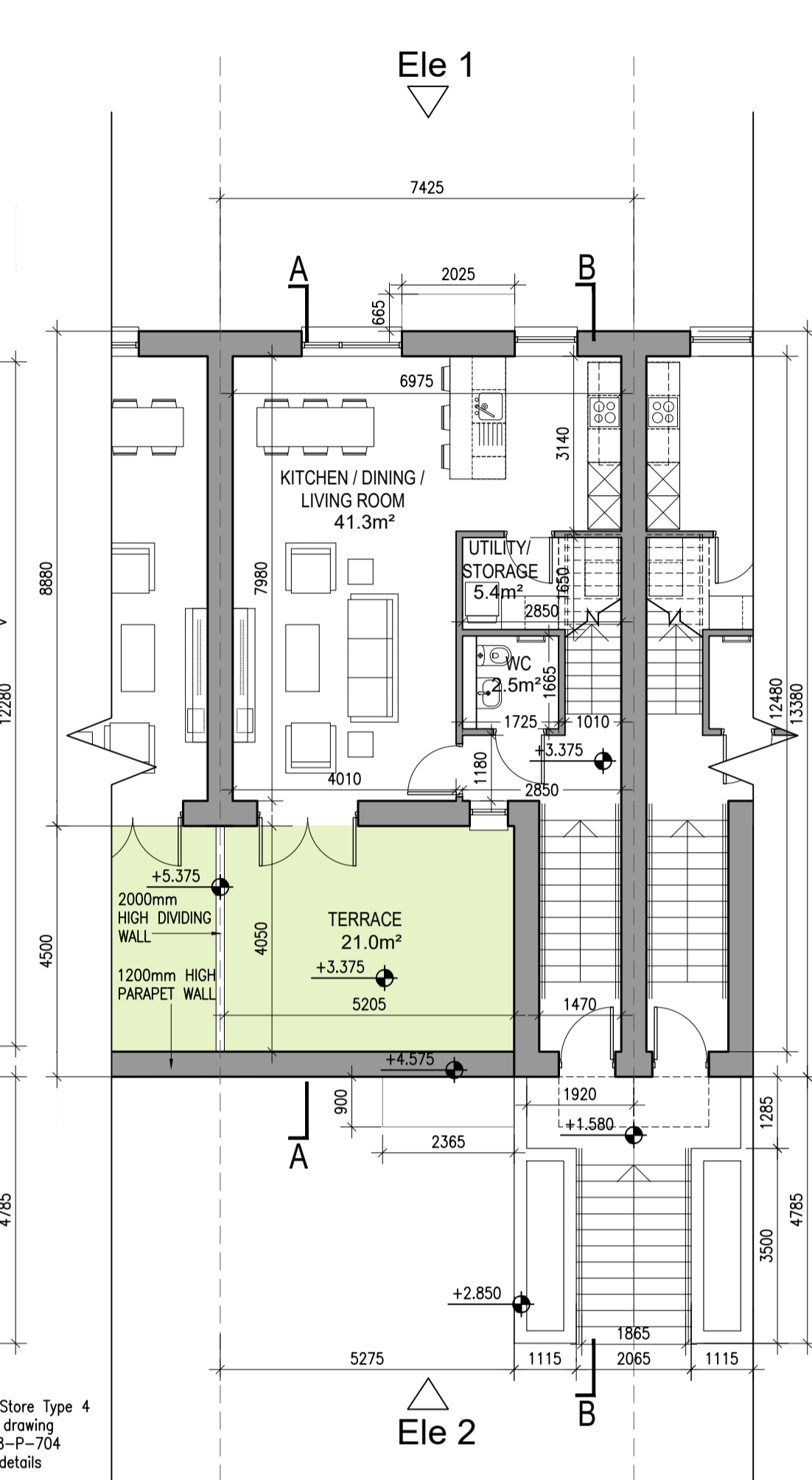
**REFER TO LANDSCAPE  
ARCHITECT'S DRAWINGS FOR  
ALL LANDSCAPING DETAILS**



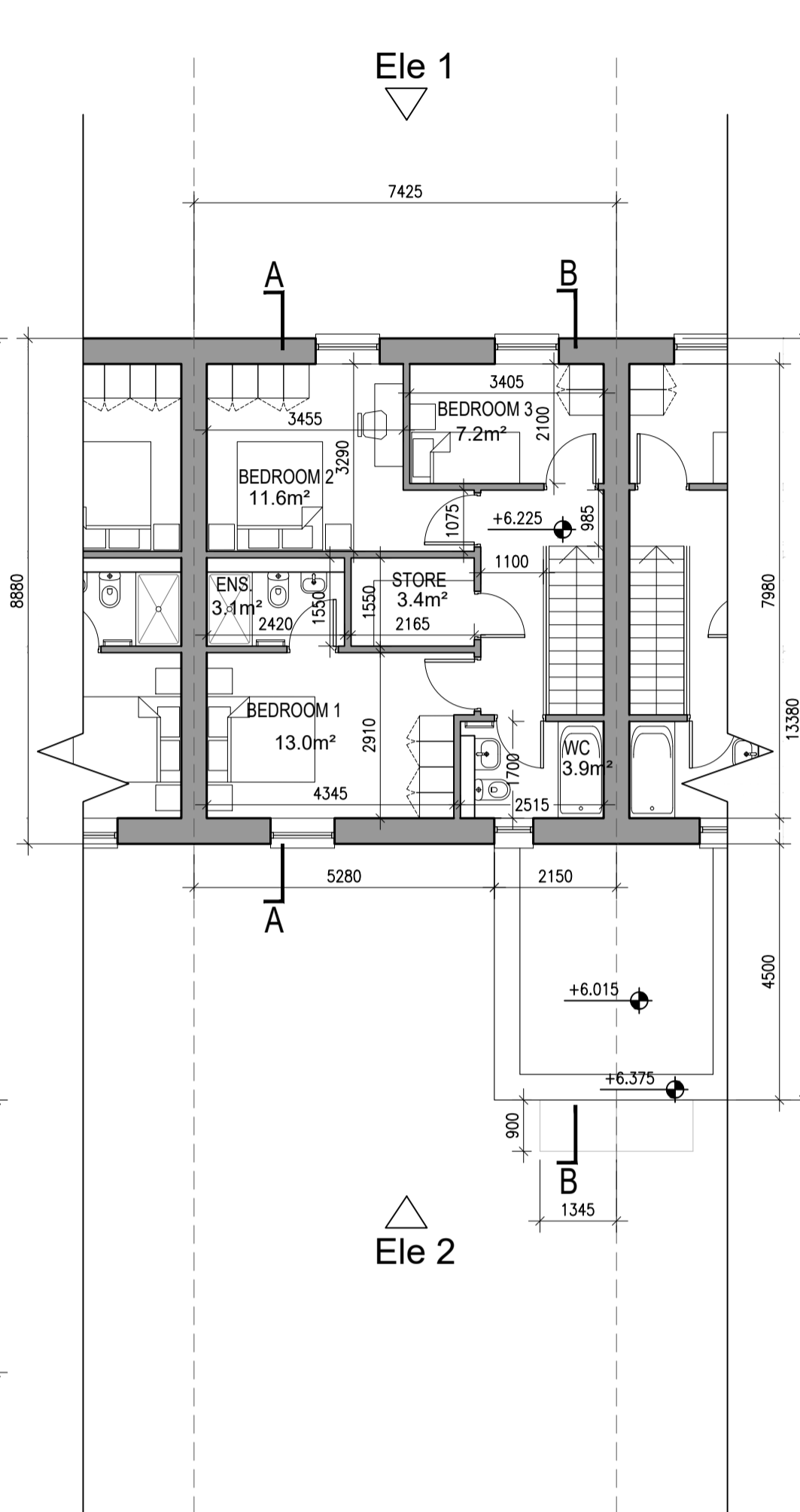
Indicates unit locations  
**KEY PLAN [NTS]**



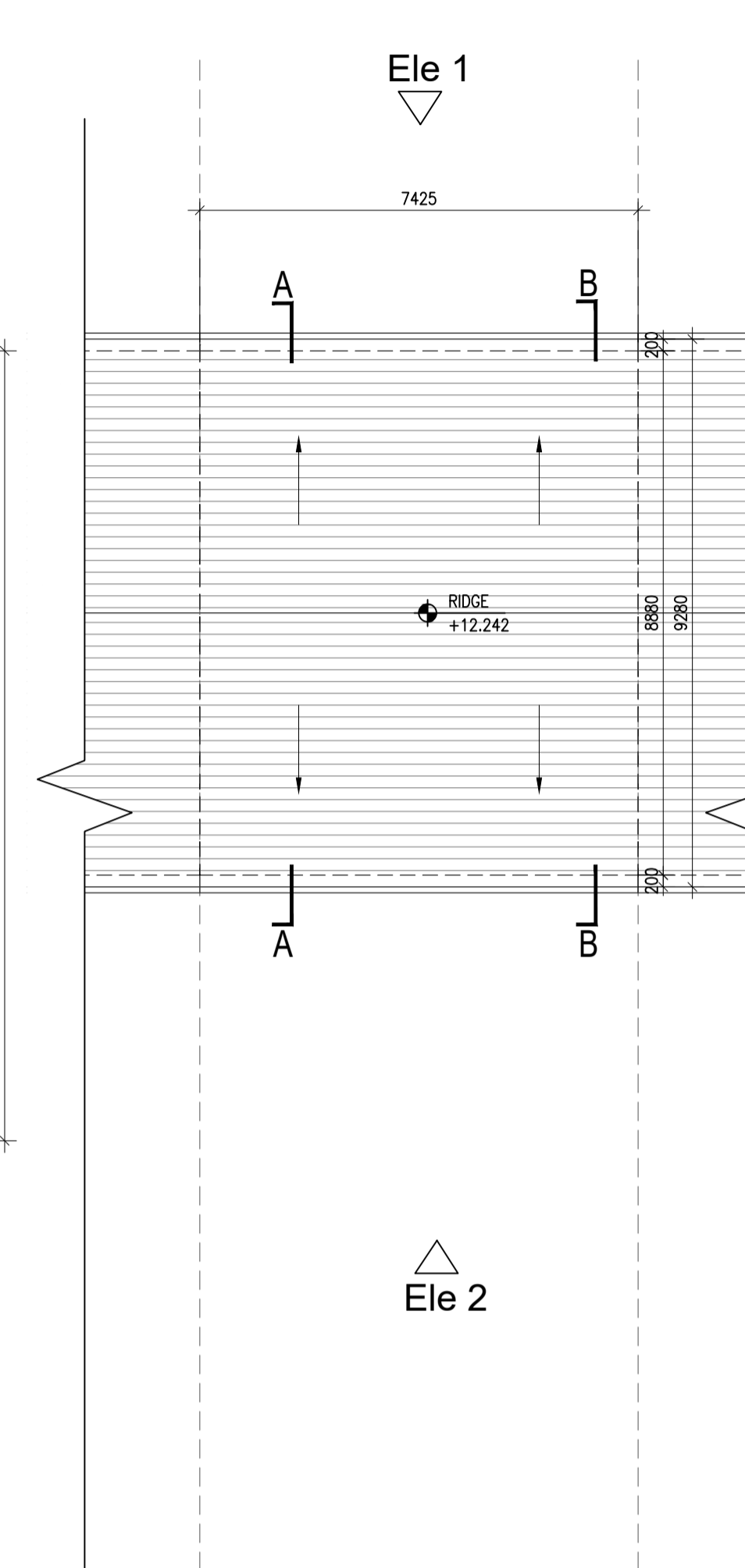
01 Ground Floor Plan



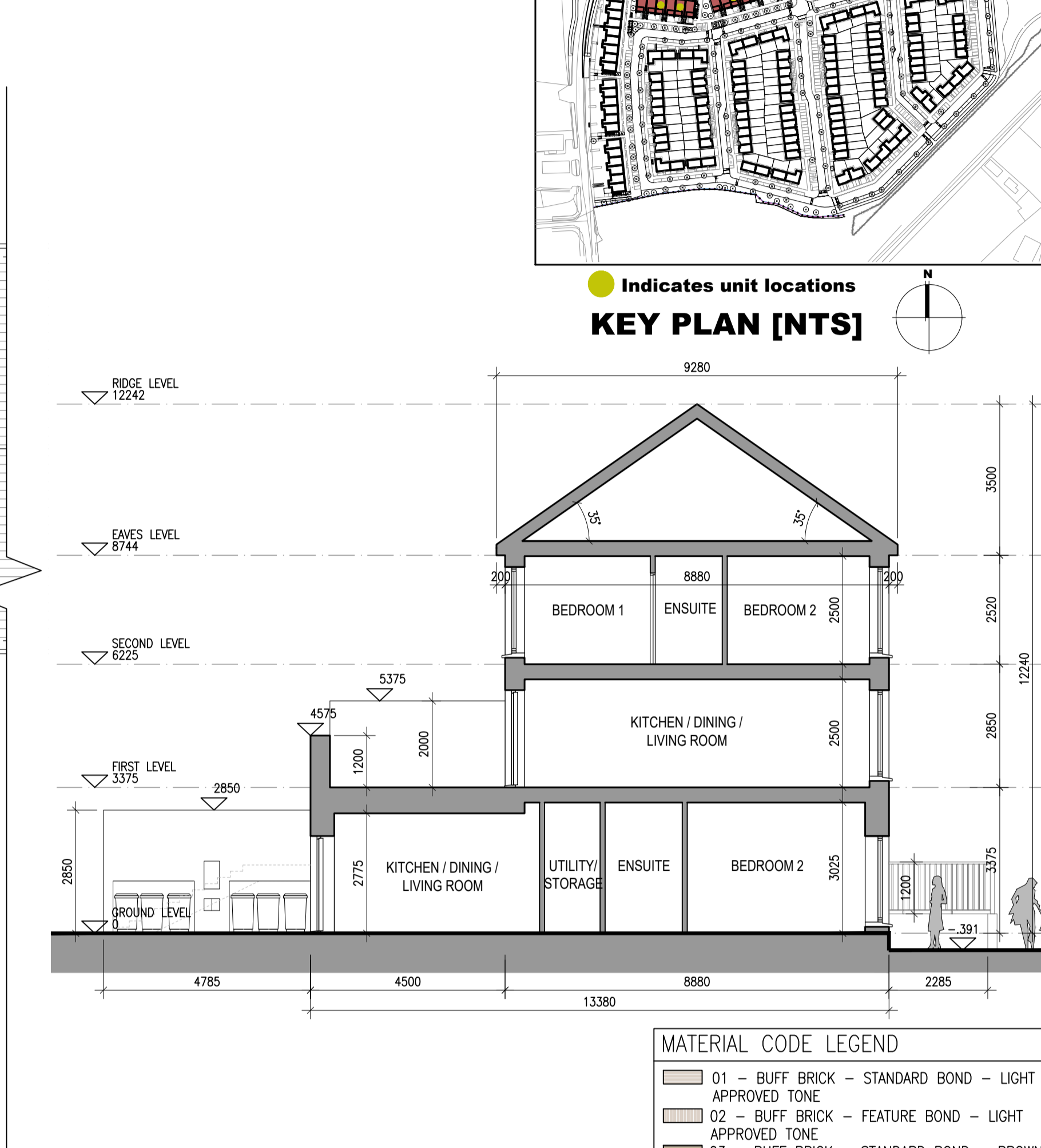
02 First Floor Plan



03 Second Floor Plan



04 Roof Plan



05 Typical Section A-A

**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPAFICIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

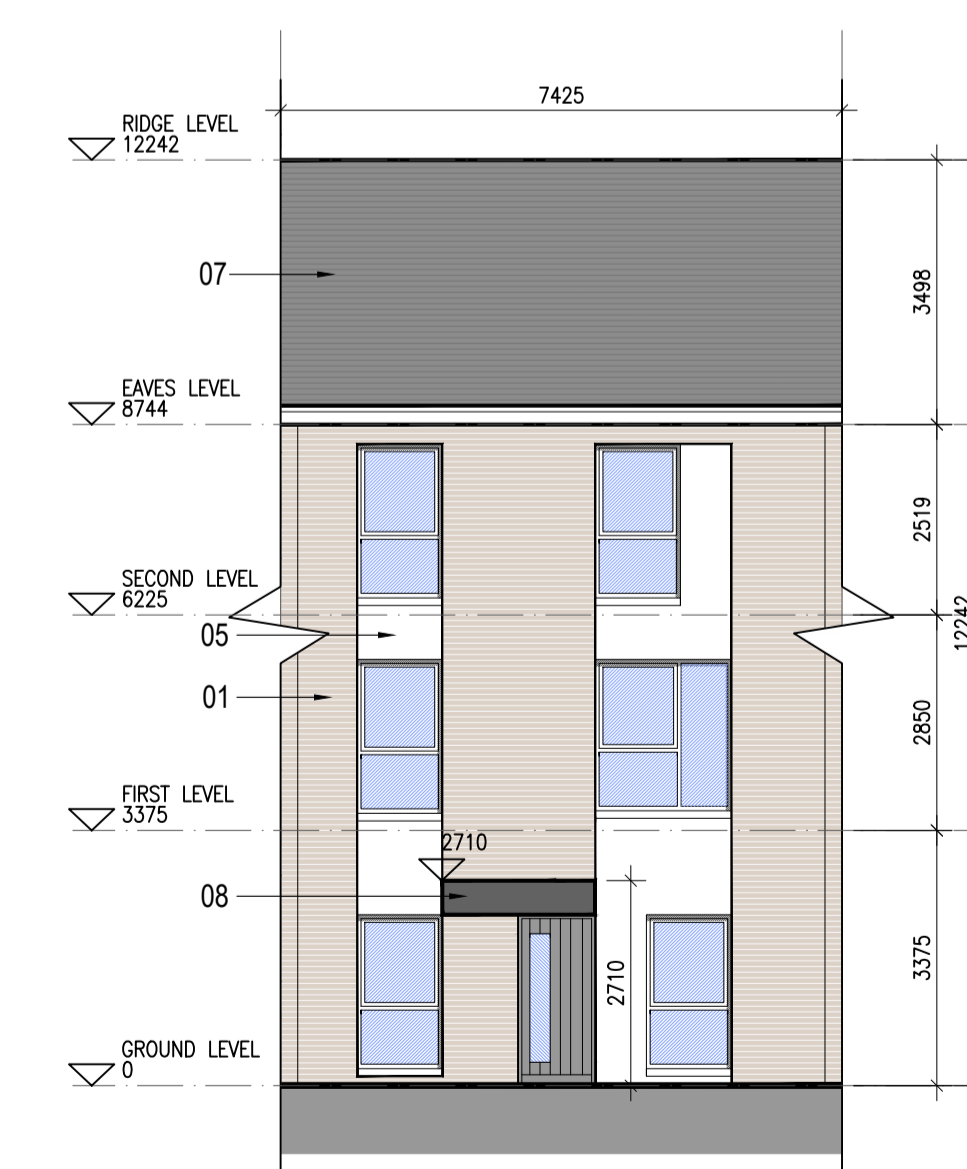
**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

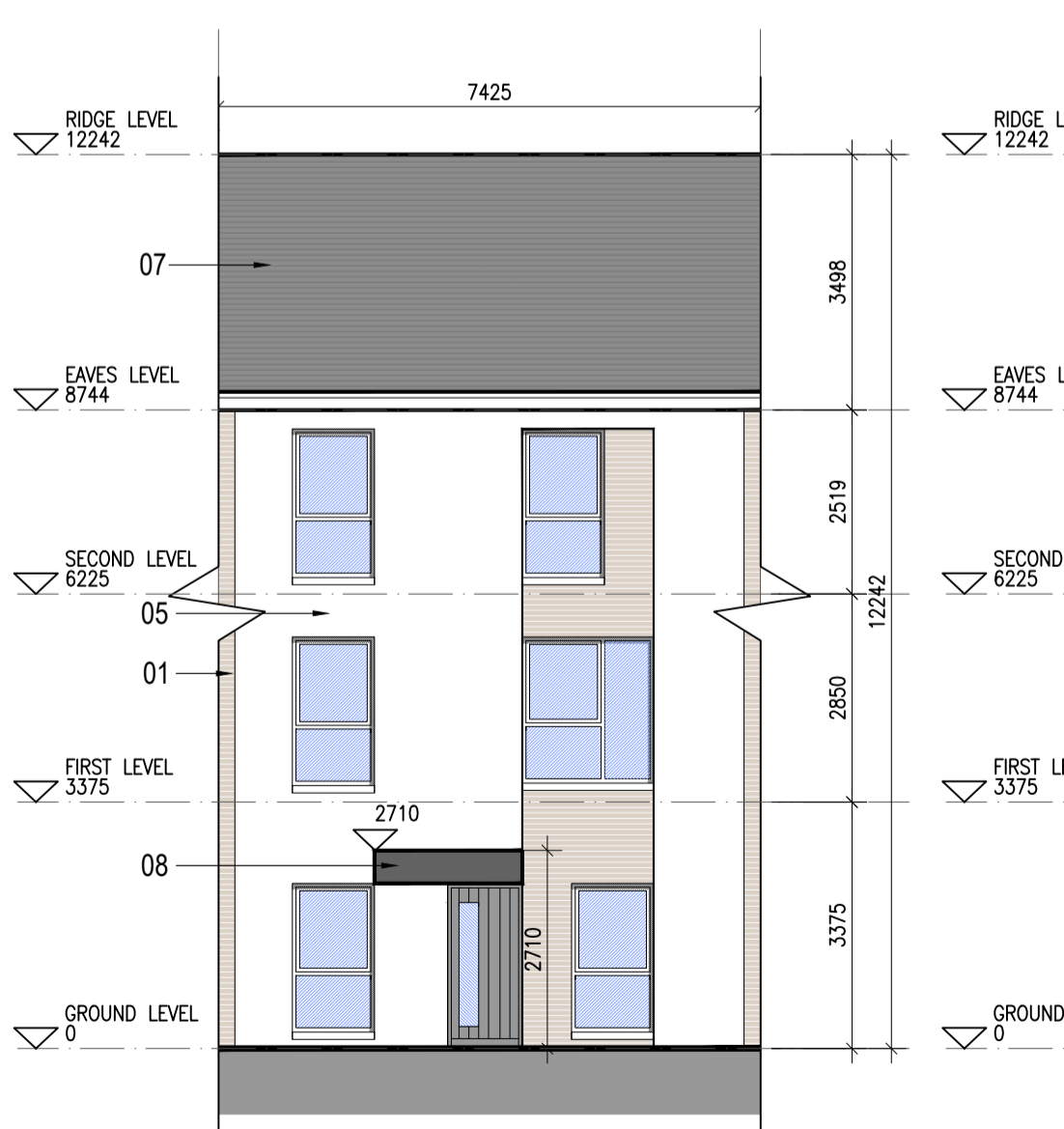
**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

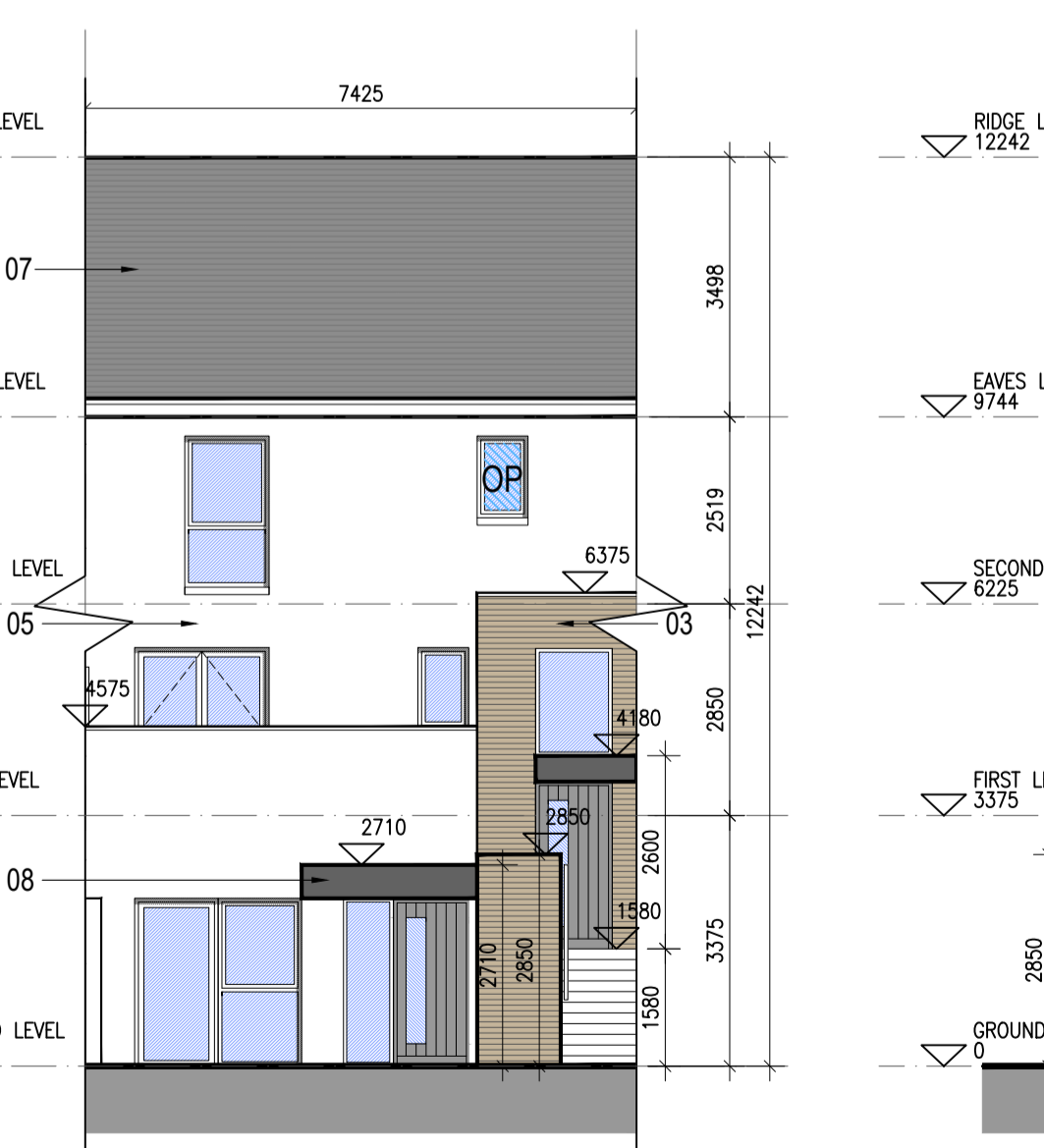
**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES



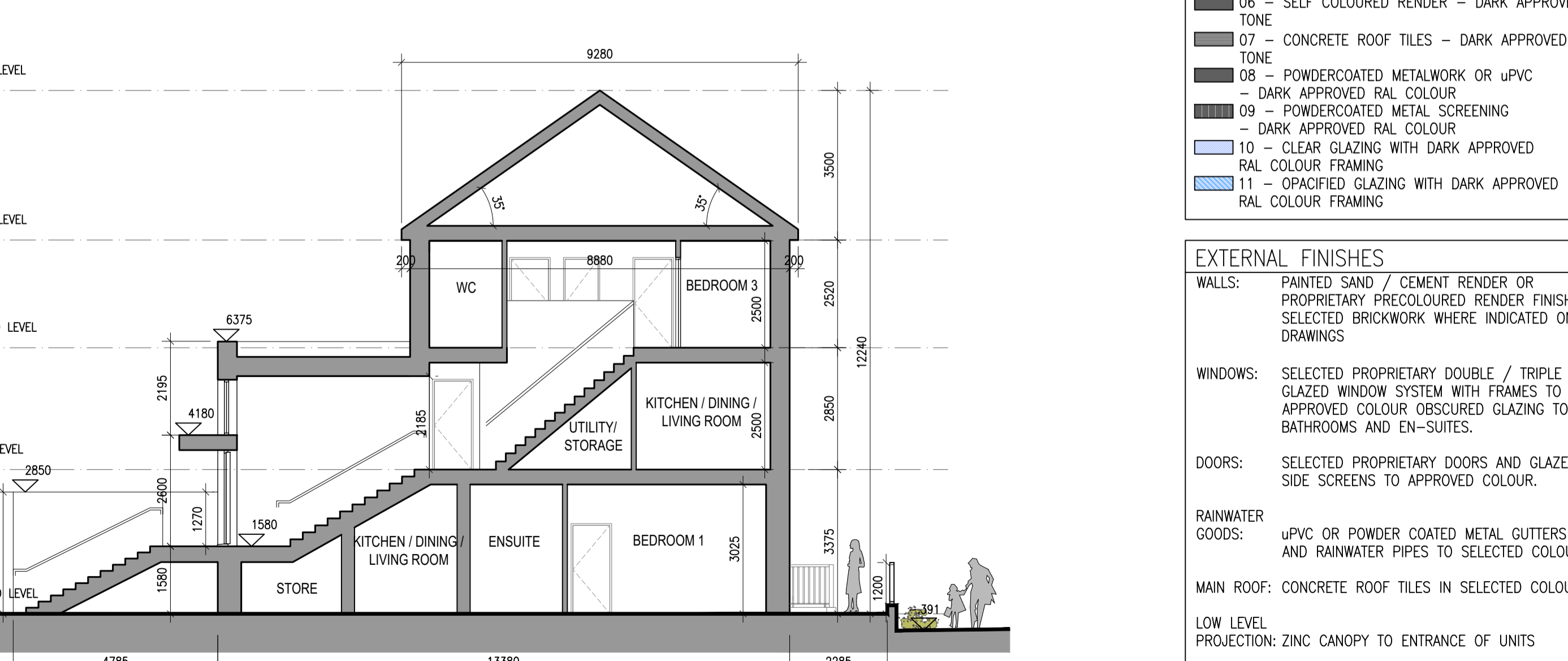
06 Elevation 1  
Type L



07 Elevation 1  
Type R



08 Elevation 2



09 Typical Section B-B

**Notes**

- Copyright Reserved
- Work to fixed dimensions only. Do not scale drawing
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**Issue Status**

Progress	Planning Application	Fire Cert	Disability Cert	Tender	Construction	As Built	Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

**Project**  
Adamstown Extension - Clonburris SDZ  
Residential Development

**Drawing Title**  
Duplex Type J1K1 - (mid) Non Handed - Plans, Elevations & Section

**Drawing No**  
6268-P-200

**Scale**  
1:100 @ A1

**Rev**  
01

**Drawn**  
SH/JNAM

**Date**  
JAN 2023

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**bkd architects**  
BURKE-KENNEDY DOYLE

**TYPE J1 Handed - 2 Bed  
GF apartment**

APARTMENT TYPE J  
Ground floor area 85.6m<sup>2</sup>  
Total Floor Area (2-bed unit): 85.6m<sup>2</sup>

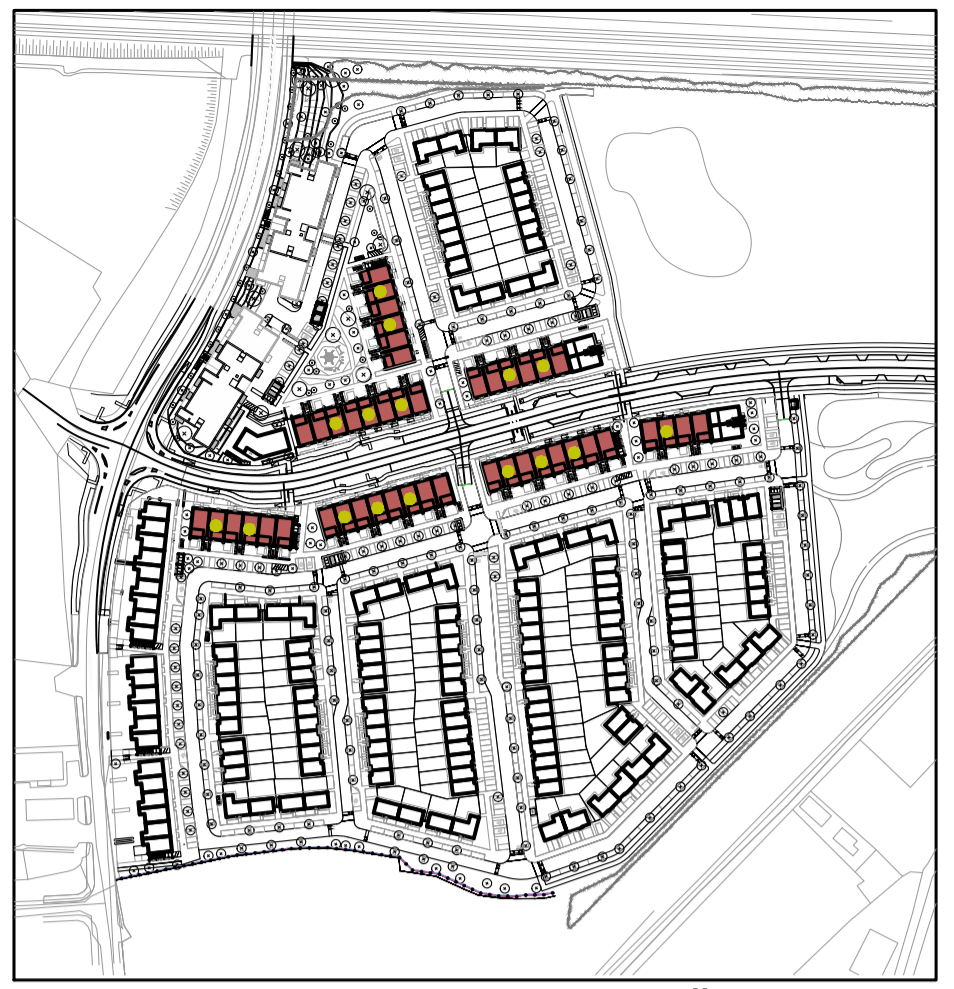
Terrace layout varies according to site levels. refer to Drawing 6268-P-707 for details.  
1200mm High FPC COATED MS GUARDING TO SELECTED COLOUR

**TYPE K1 Handed - 3 Bed  
FF duplex**

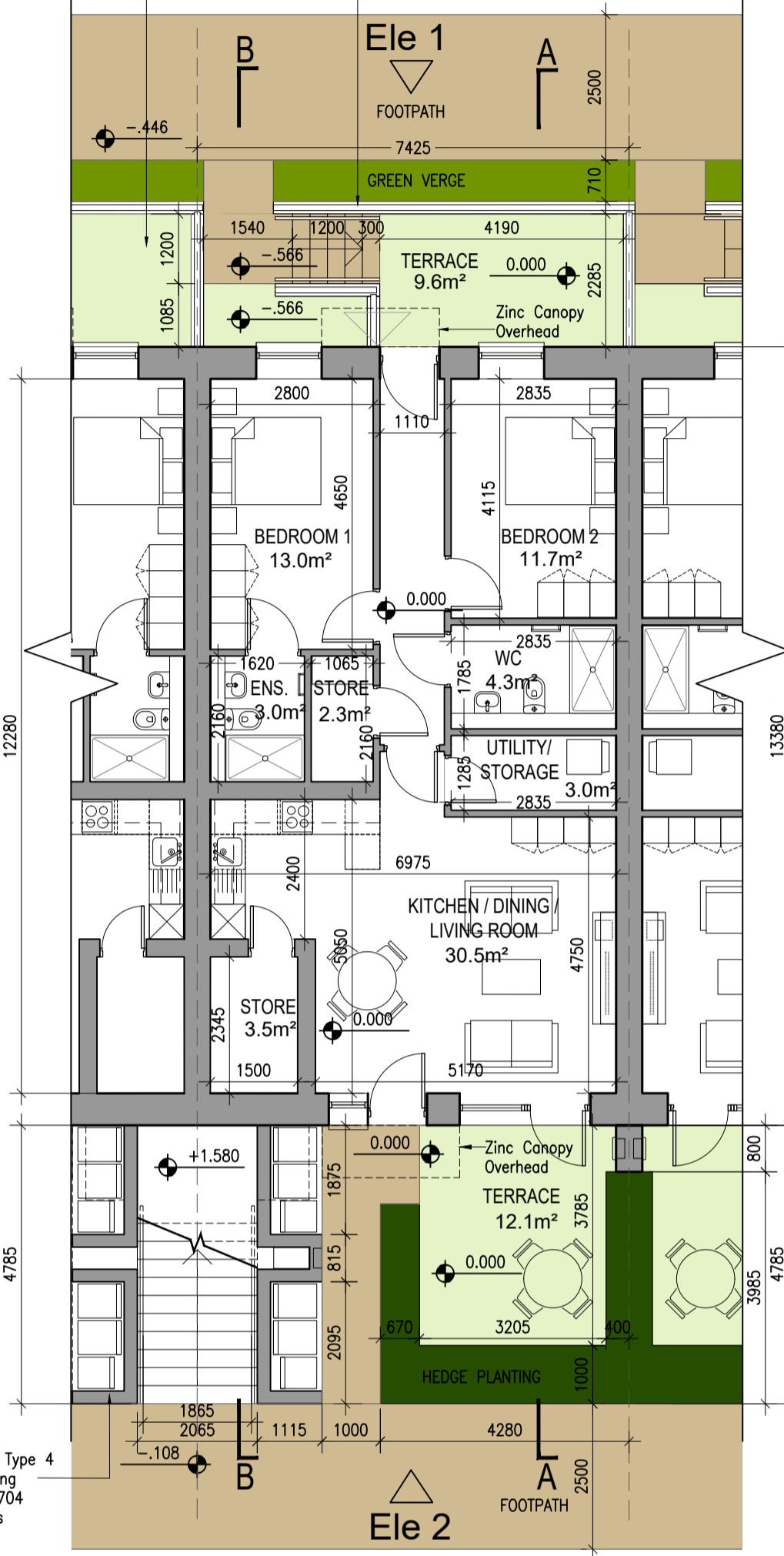
DUPLEX TYPE K  
Ground floor priv. stair 6.6m<sup>2</sup>  
First floor area 55.6m<sup>2</sup>  
Second floor area 55.6m<sup>2</sup>  
Total Floor Area (3-bed unit): 117.9m<sup>2</sup>

Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022

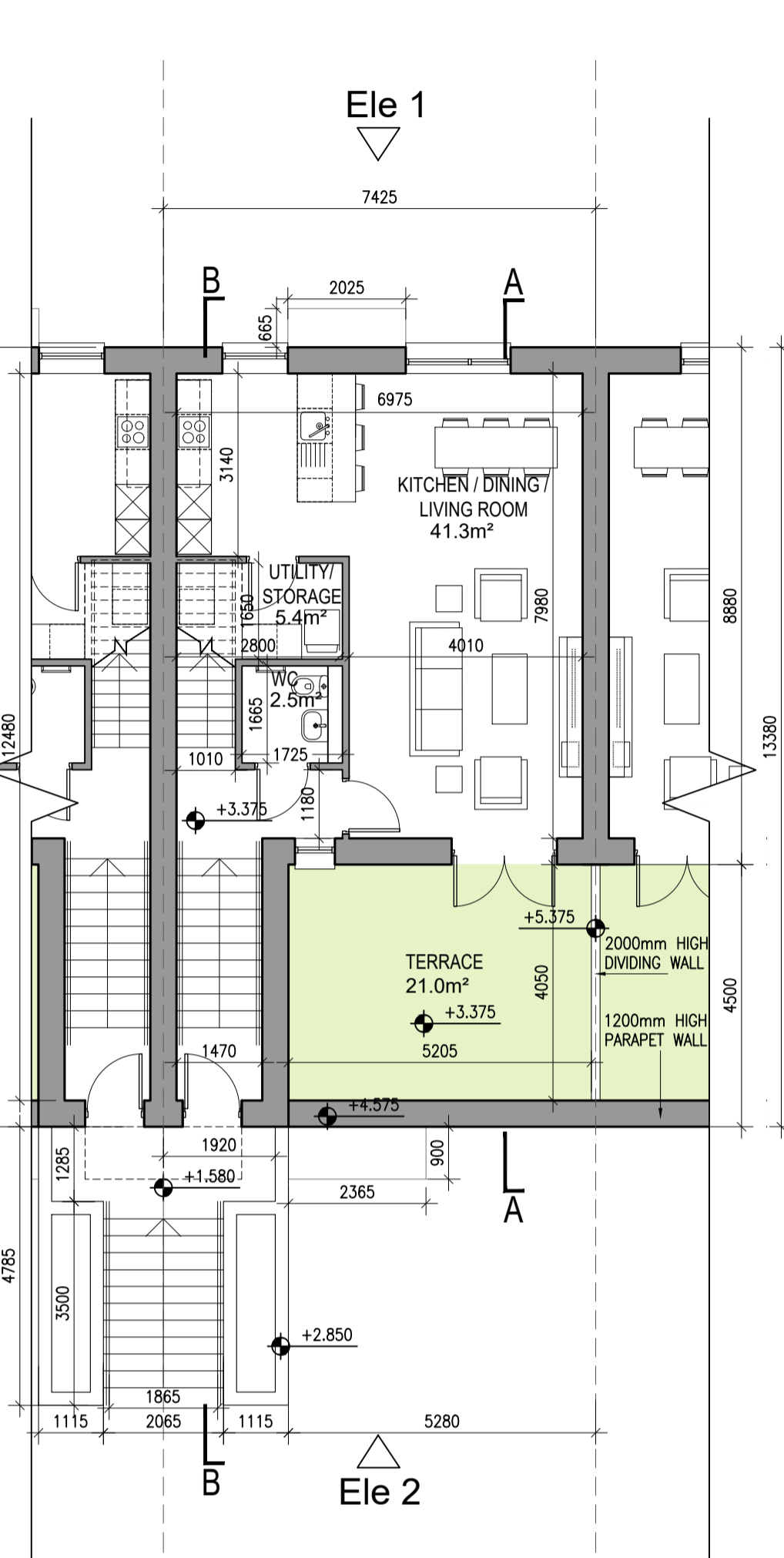
**REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION**  
**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**



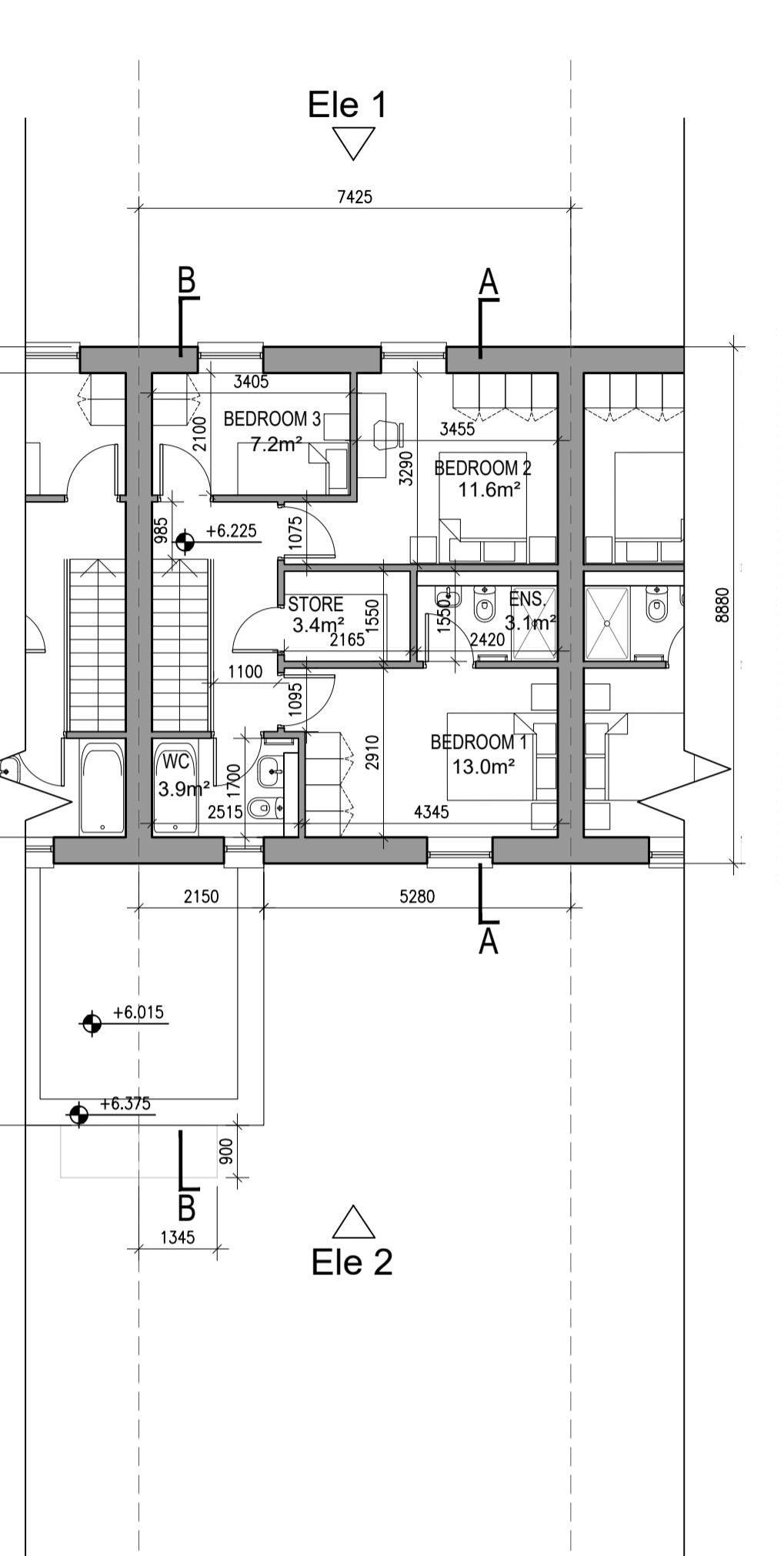
Indicates unit locations  
**KEY PLAN [NTS]**



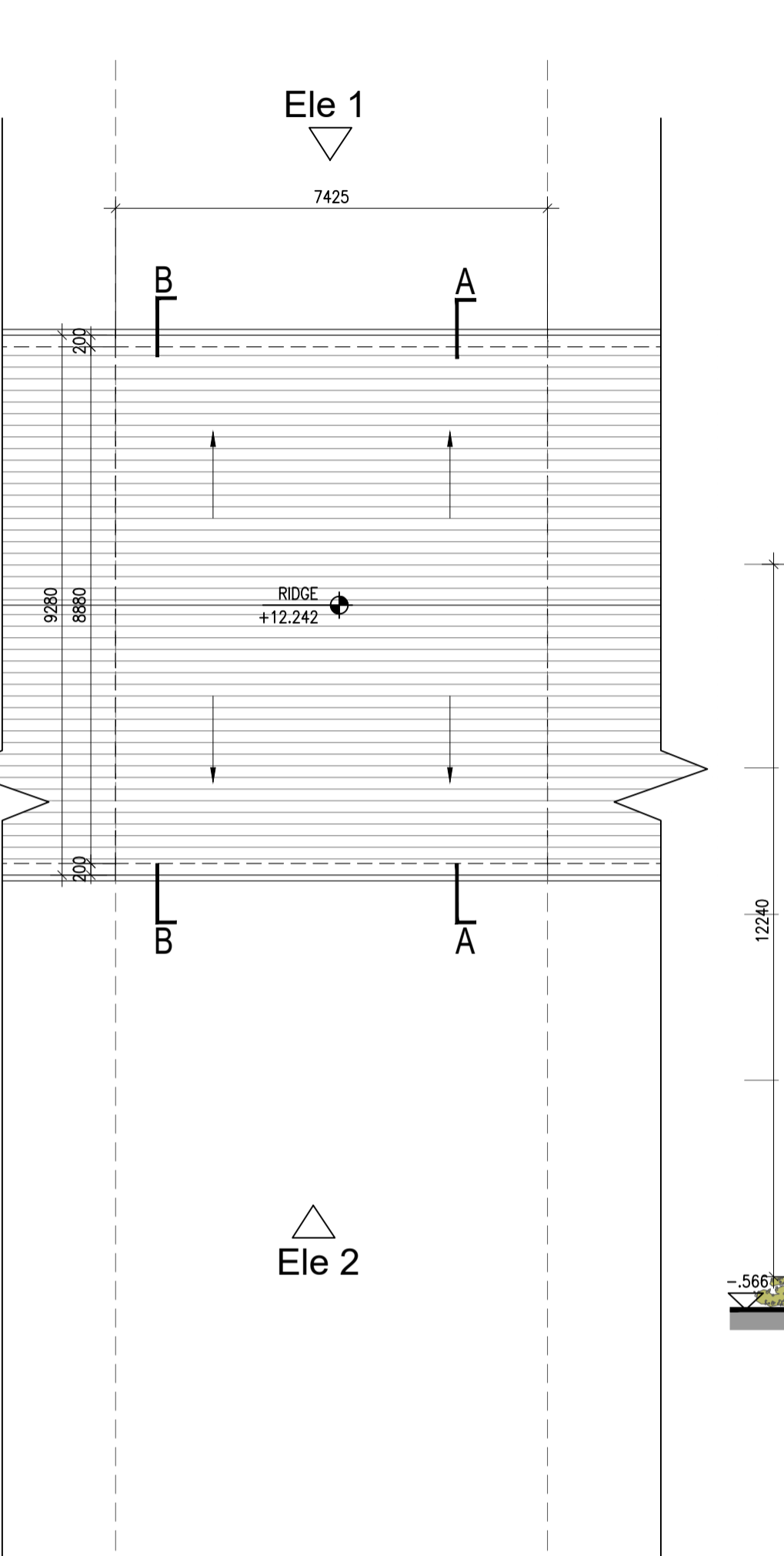
01 Ground Floor Plan Handed



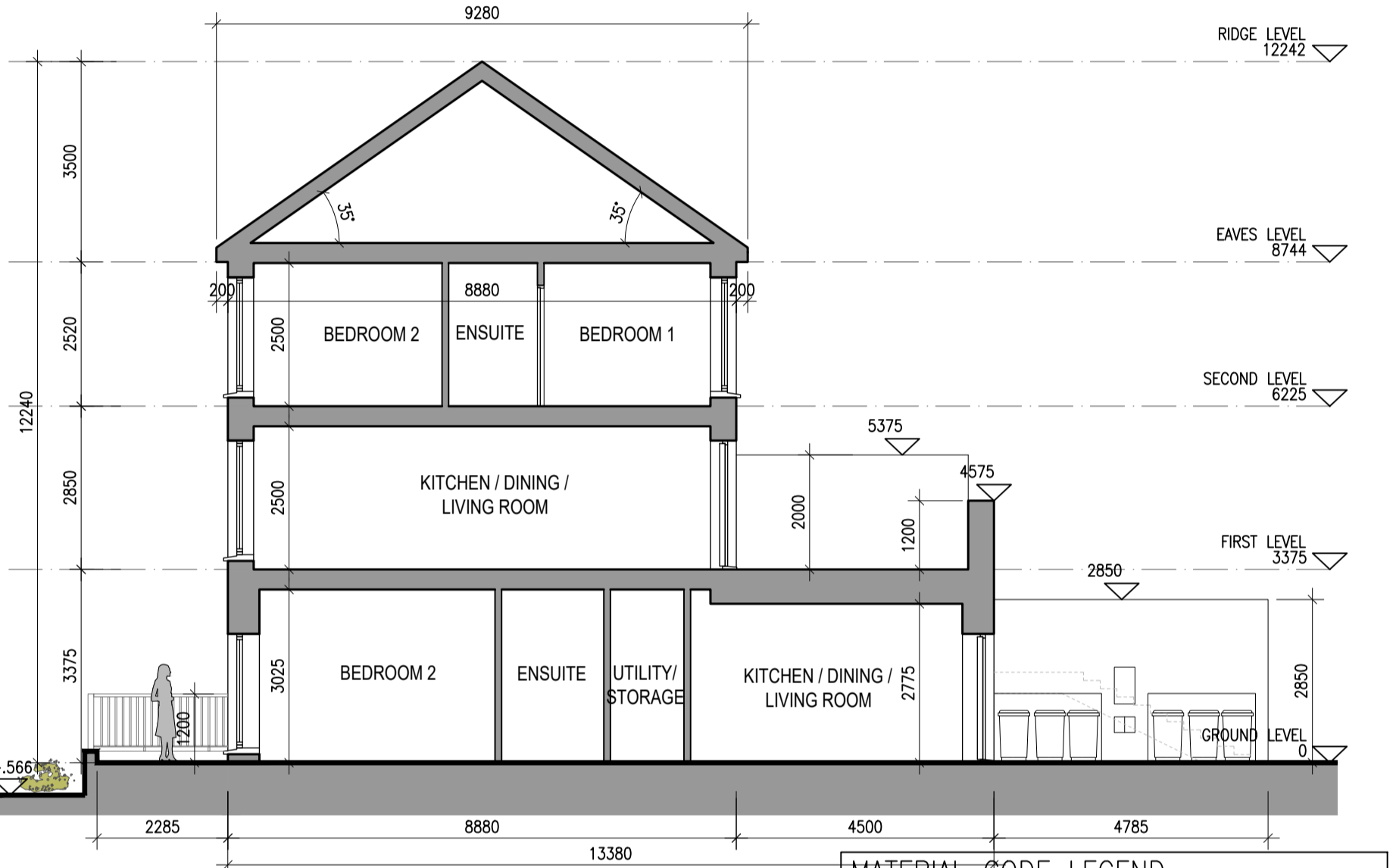
02 First Floor Plan Handed



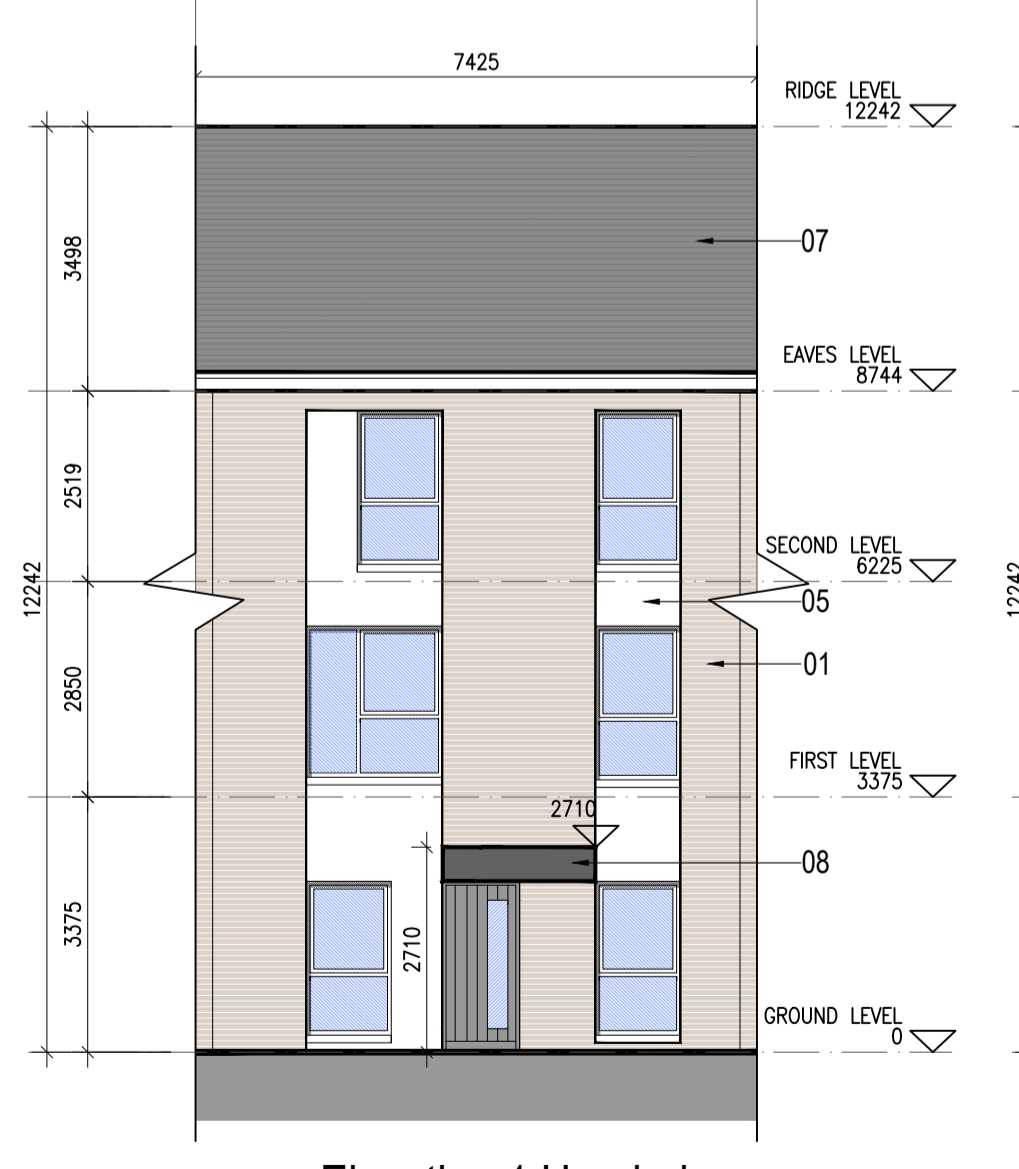
03 Second Floor Plan Handed



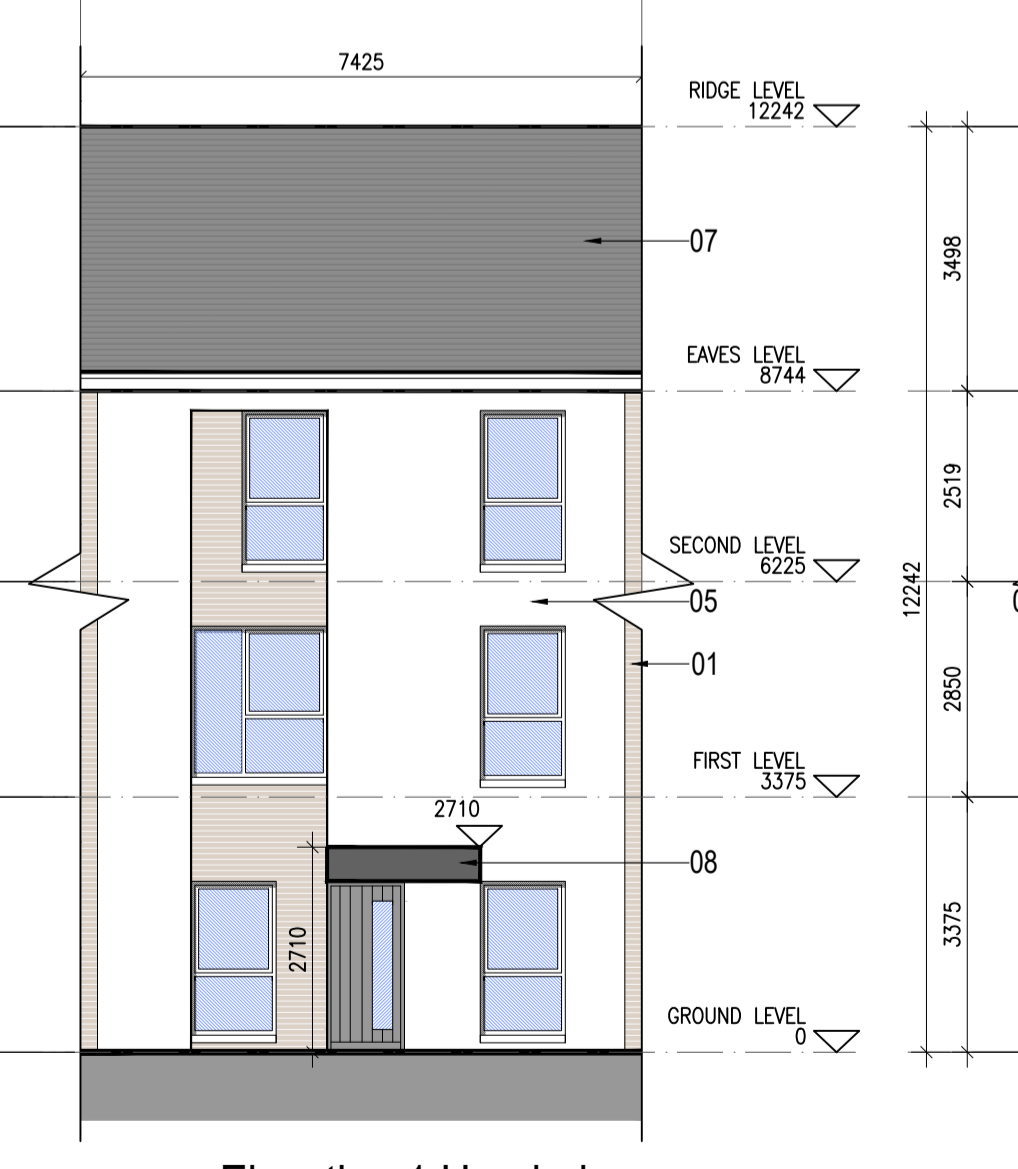
04 Roof Plan Handed



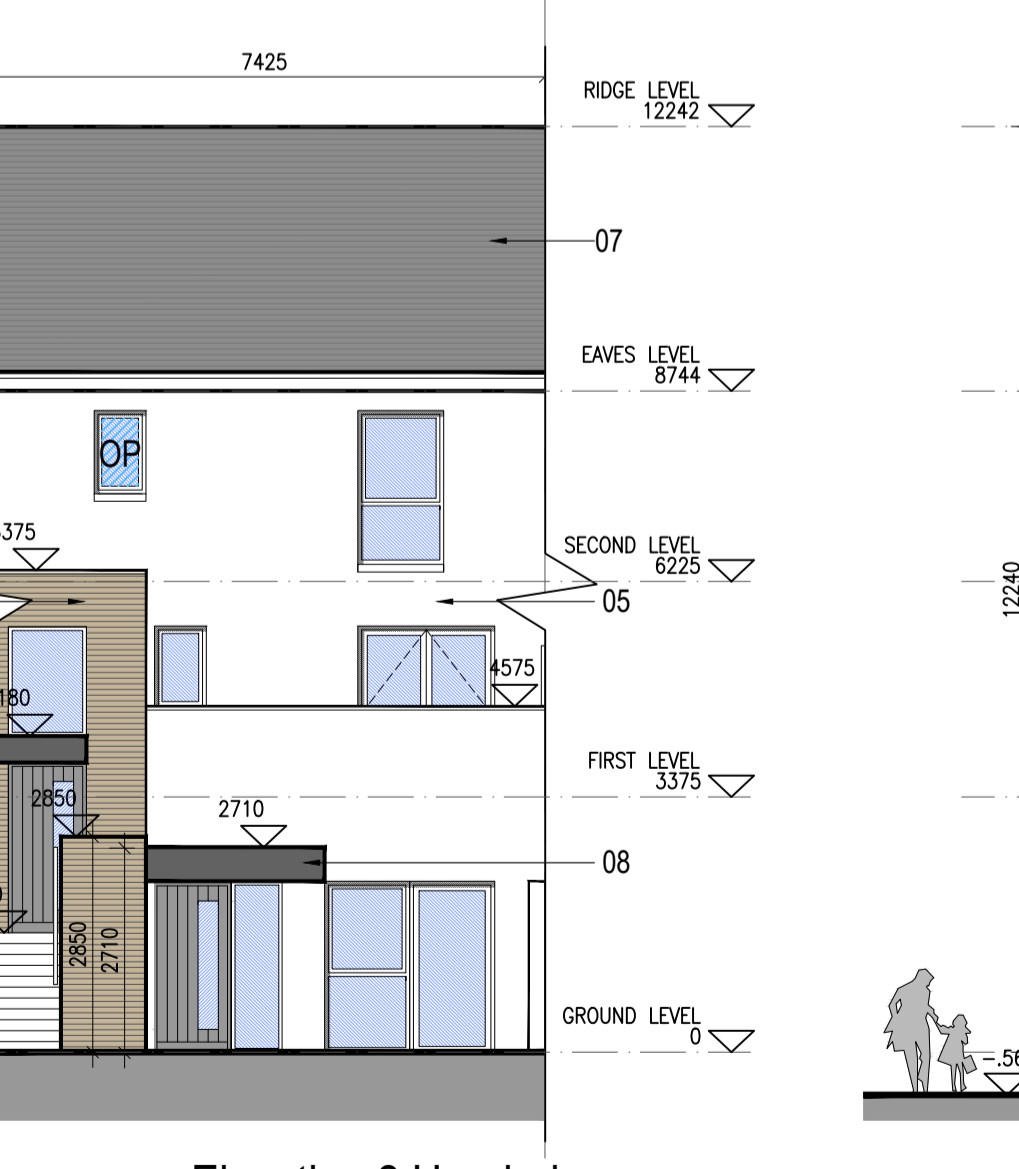
05 Typical Section A-A Handed  
1:100@A1



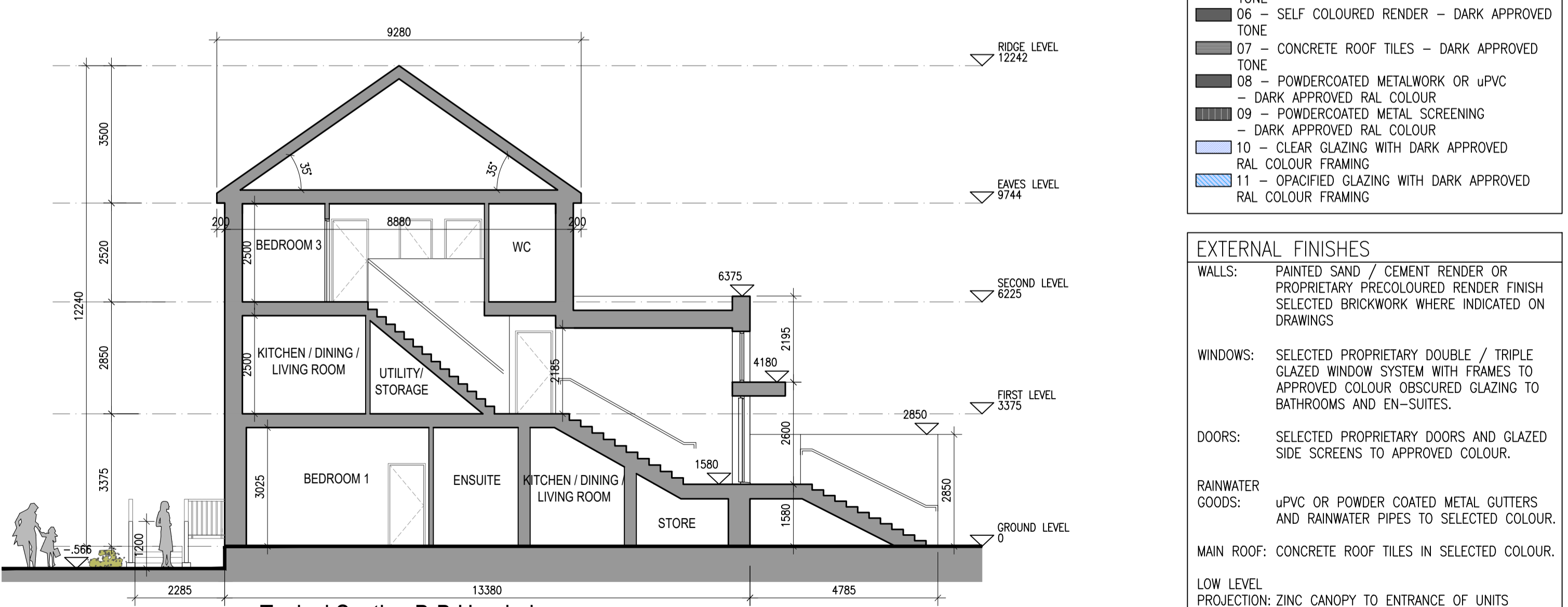
06 Elevation 1 Handed  
1:100@A1 Type L



07 Elevation 1 Handed  
1:100@A1 Type R



08 Elevation 2 Handed  
1:100@A1



09 Typical Section B-B Handed  
1:100@A1

**MATERIAL CODE LEGEND**

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- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPAQIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBTAINED BY GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

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6. Sizes of proprietary items shall be checked with manufacturer.  
7. The contractor shall be responsible for the coordination of structure, finishes and services.

**Issue Status**

Progress	Issue
Planning Application	
Fire Cert	
Disability Cert	
Tender	
Construction	
As Built	
Information Only	

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

**Project**  
Adamstown Extension - Clonburris SDZ  
Residential Development

**Drawing Title**  
Duplex Type J1K1 - (mid) Handed - Plans, Elevations & Section

**Drawing No**  
6268-P-201

**Scale**  
1:100 @ A1

**Rev**  
01

**Drawn**  
SH/JS/AM

**Date**  
JAN 2023

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www.bkd.ie

**bkd architects**  
BURKE-KENNEDY DOYLE

**TYPE J2 - 2 Bed  
GF apartment**

APARTMENT TYPE J  
Ground floor area 86.0m<sup>2</sup>  
Total Floor Area (2-bed unit): 86.0m<sup>2</sup>

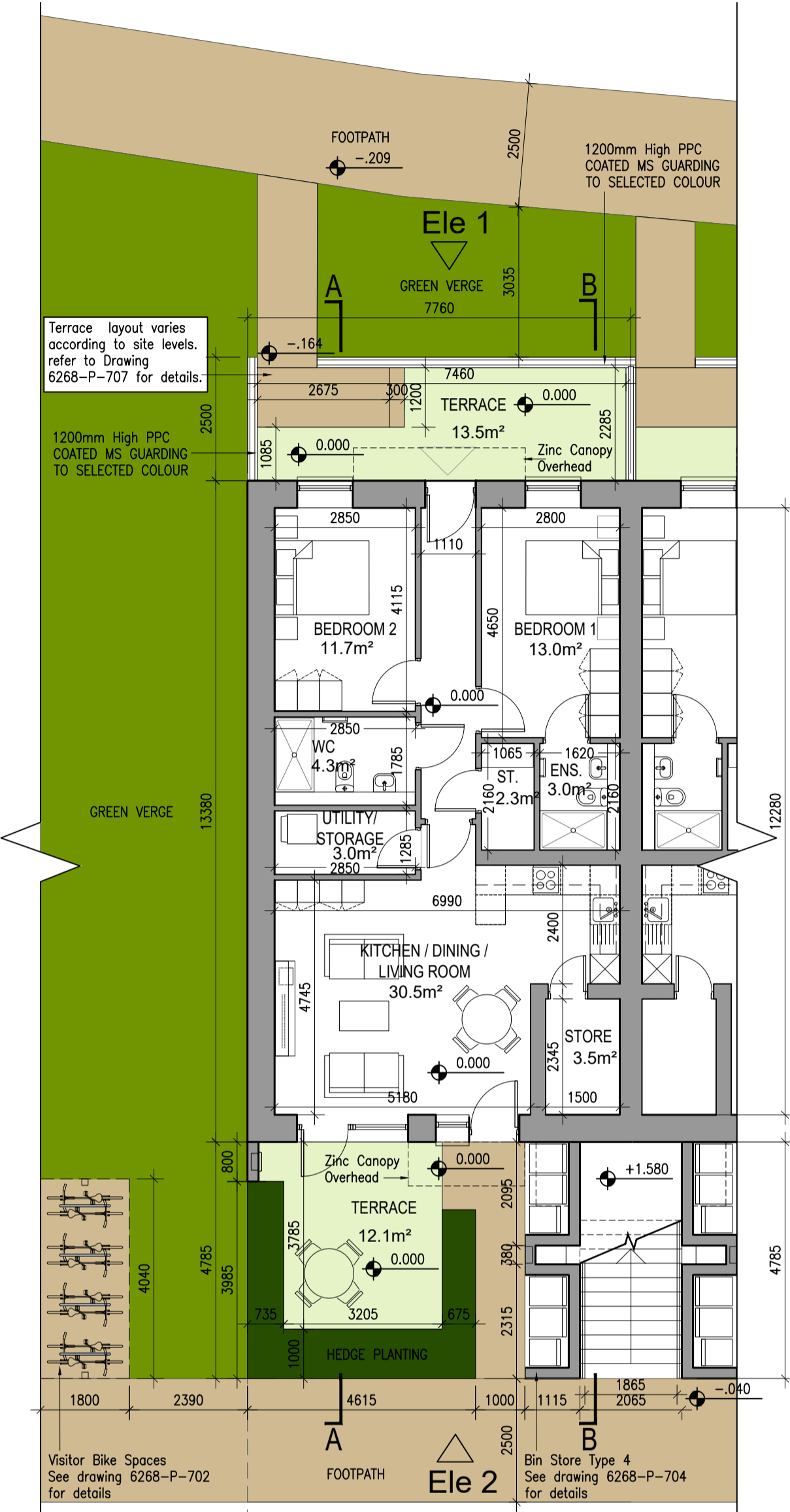
**TYPE K2 - 3 Bed  
FF duplex**

DUPLEX TYPE K  
Ground floor priv. stair 6.6m<sup>2</sup>  
First floor area 56.5m<sup>2</sup>  
Second floor area 56.5m<sup>2</sup>  
Total Floor Area (3-bed unit): 119.7m<sup>2</sup>

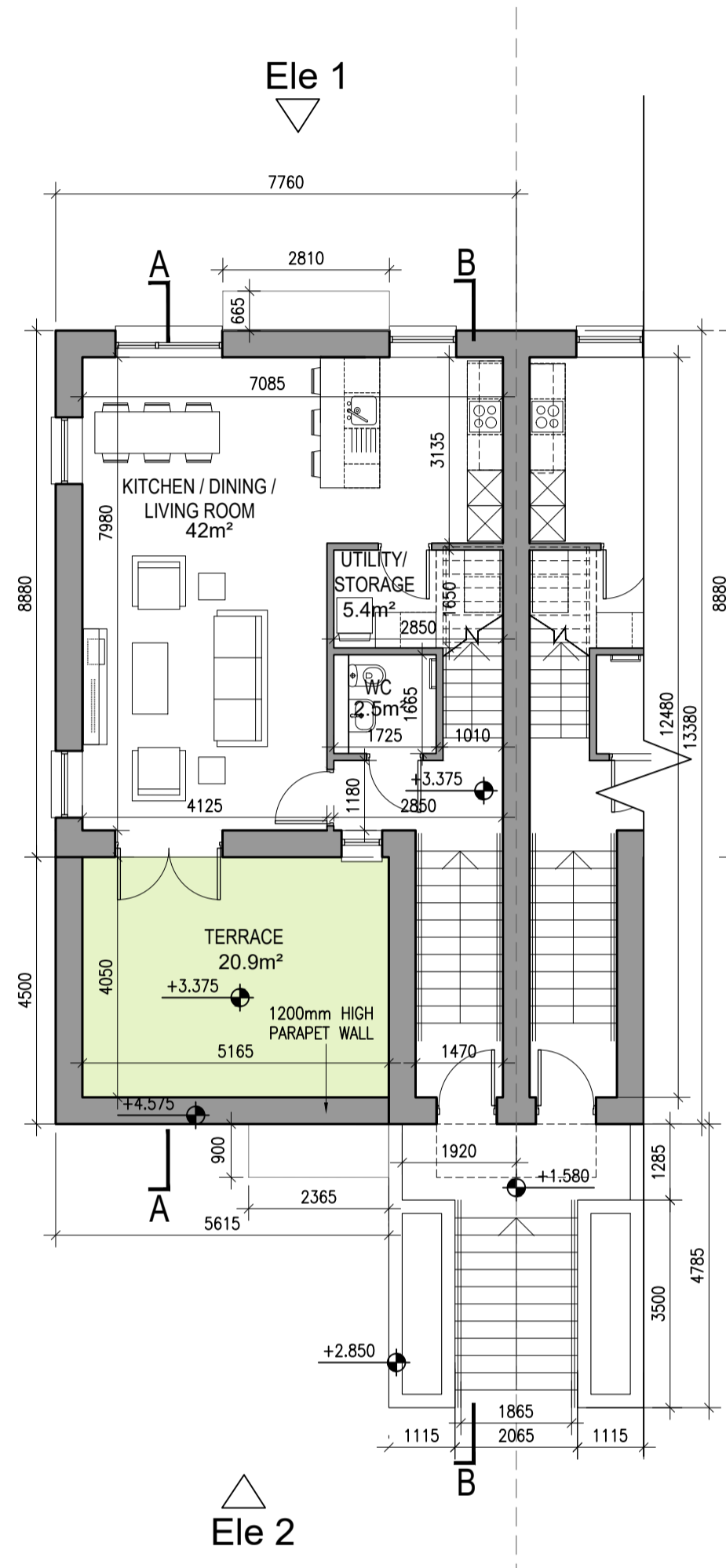
Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



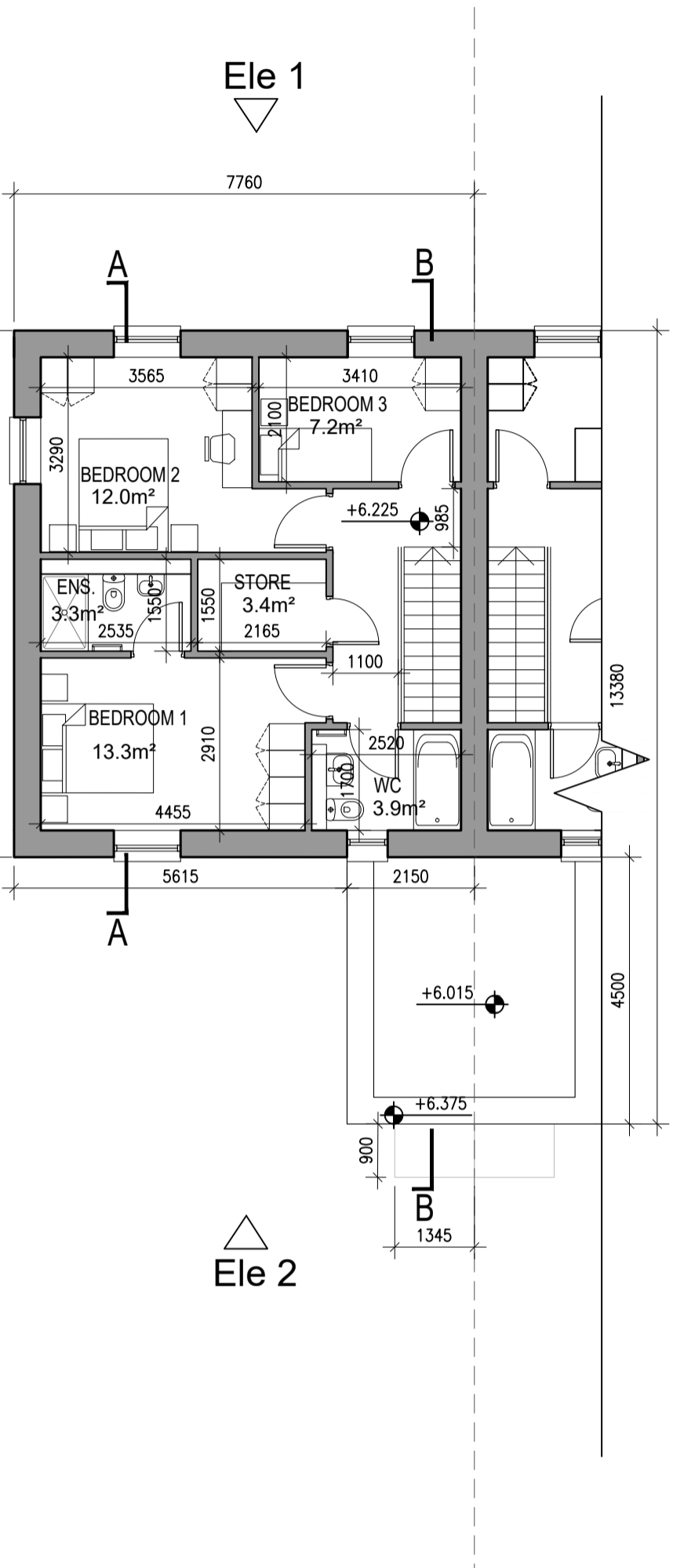
Indicates unit locations  
**KEY PLAN [NTS]**



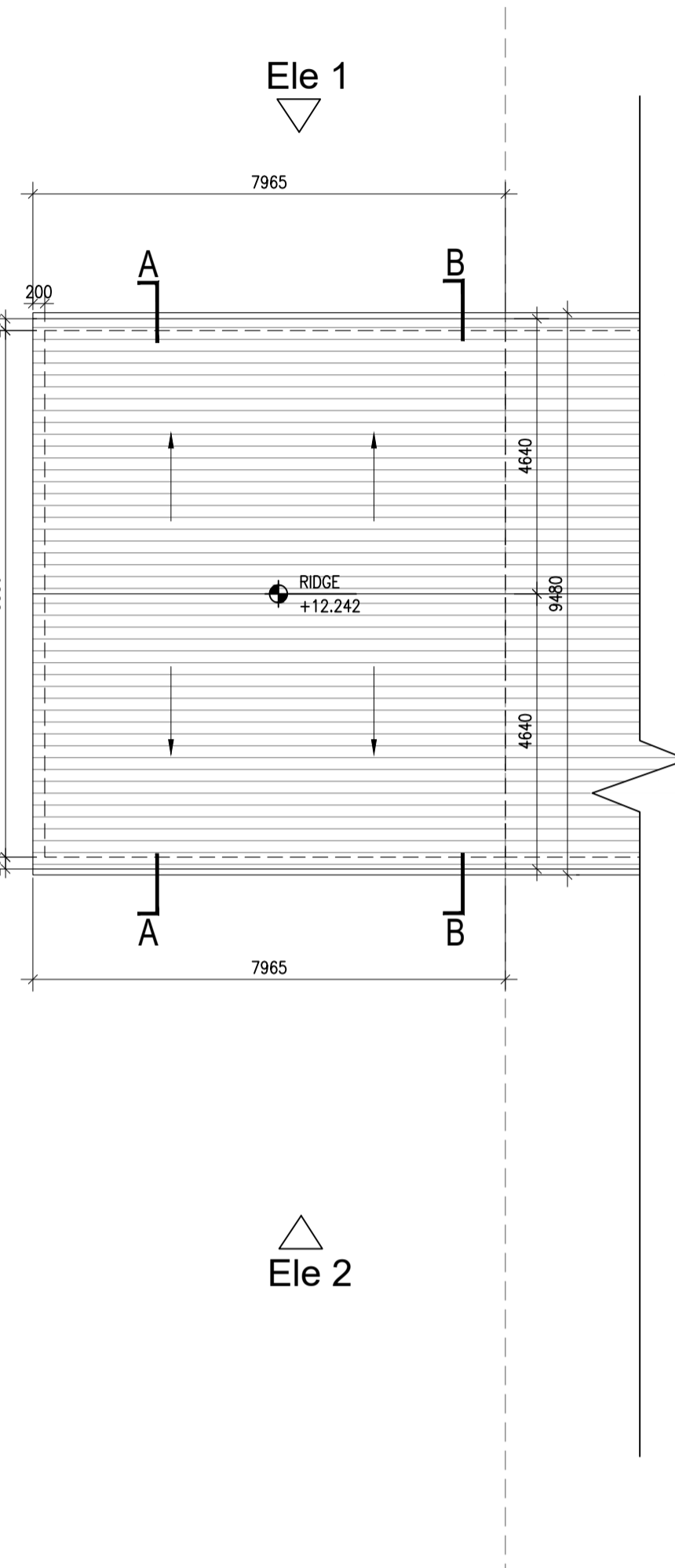
01 Ground Floor Plan



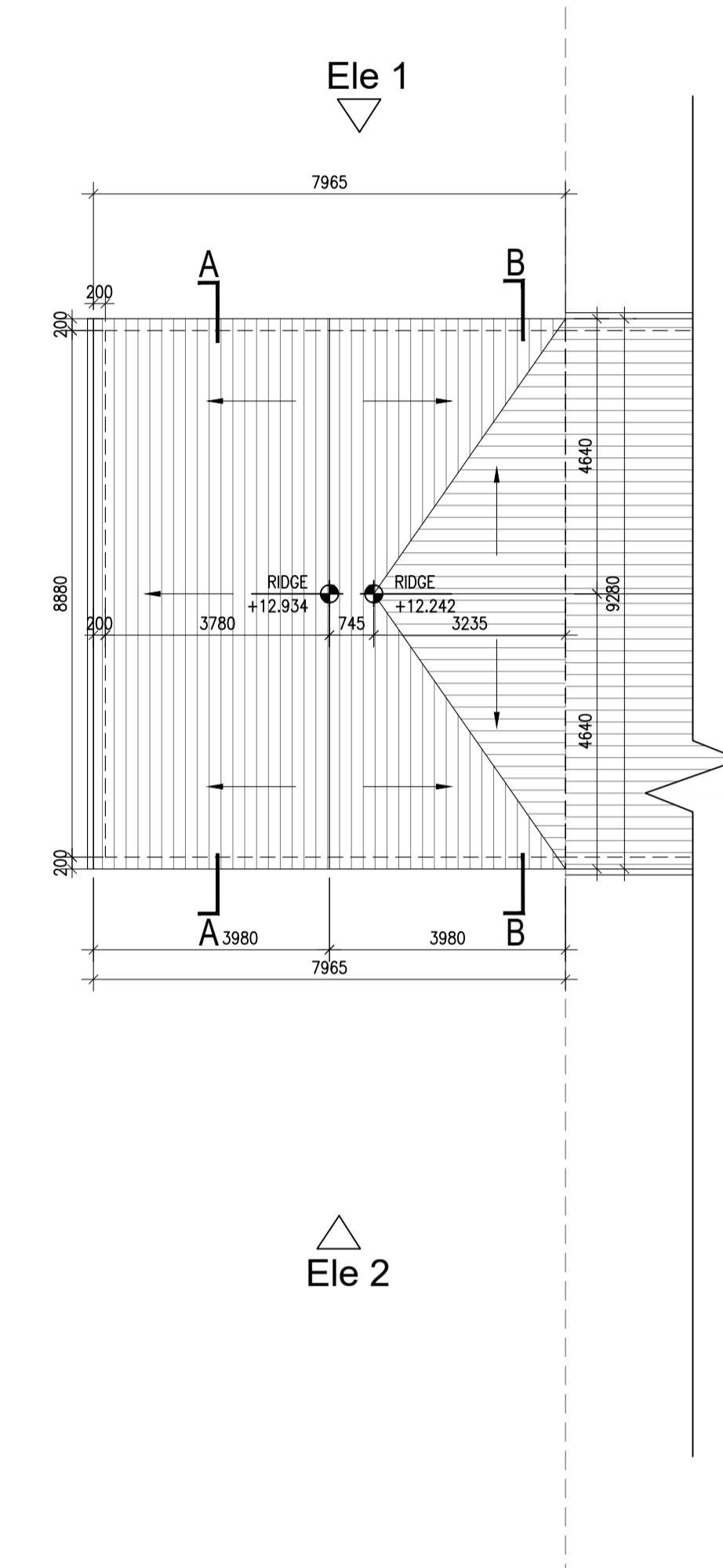
02 First Floor Plan



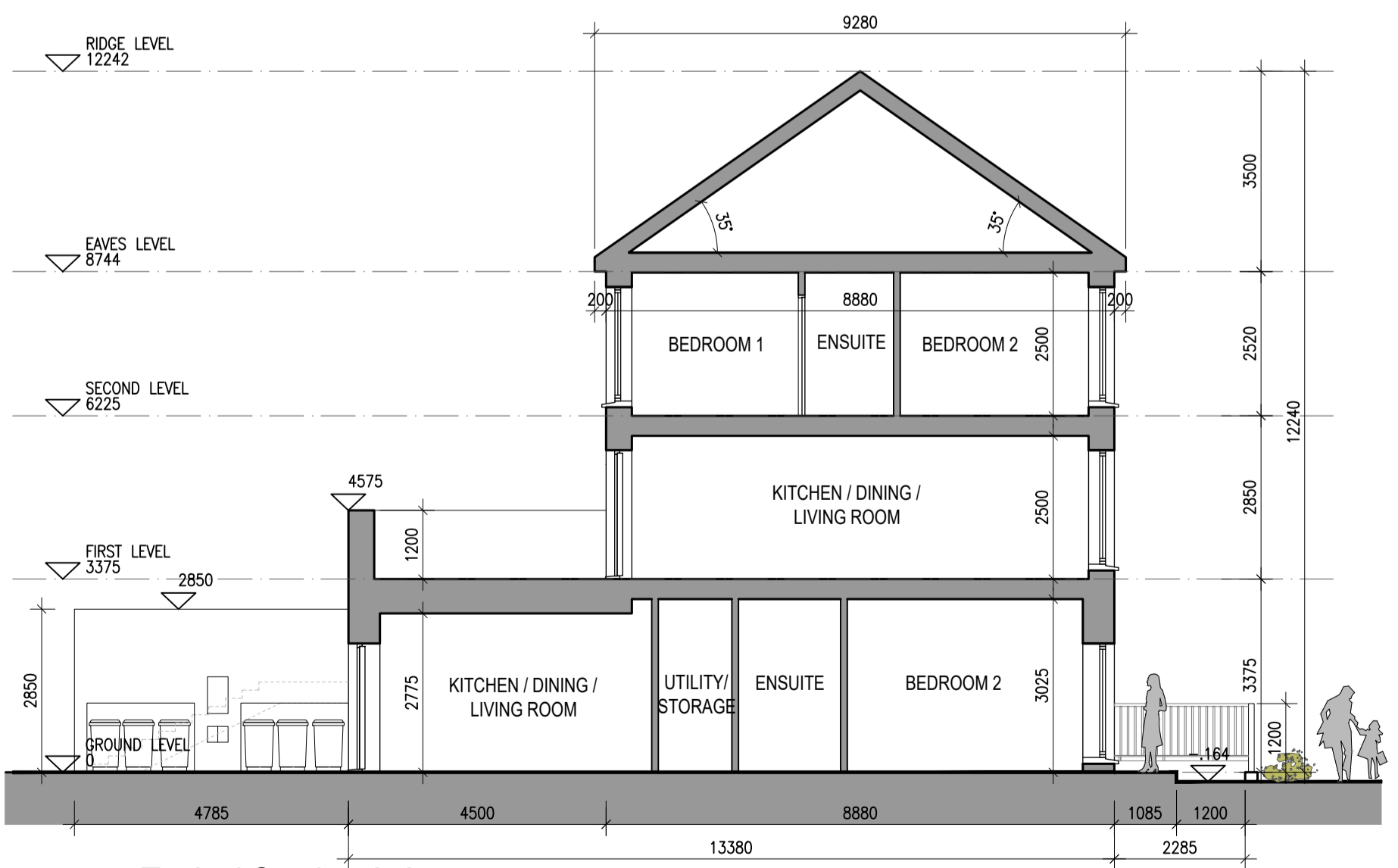
03 Second Floor Plan



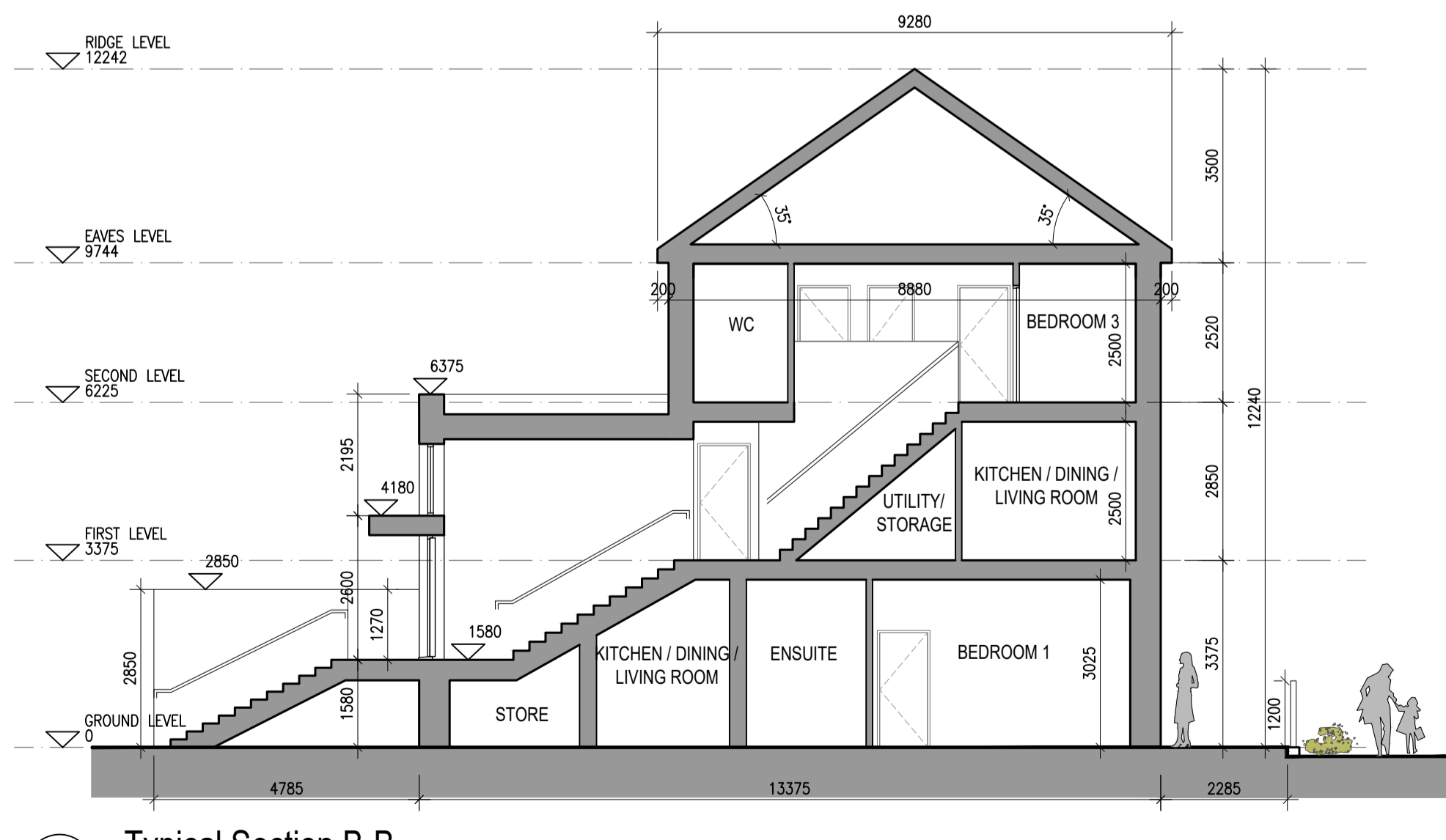
04 Roof Plan -Pitch



05 Roof Plan -Gable



06 Typical Section A-A  
1:100BA1



07 Typical Section B-B  
1:100BA1

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR UPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBTAINED BY GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** UPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** UPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

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**Issue Status**

Progress	Planning Application	
Fire Cert	Disability Cert	
Tender	Construction	
As Built	Information Only	

M:\Project Section - Current\6268 Clonburris Housing\CAD\Drawings\Planning\T\Sheets\200 Series - Duplex Types\6268-Duplex JK2 - Sheetfile.dwg 30/01/2023 15:53:37

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project: Adamstown Extension - Clonburris SDZ Residential Development

Drawing Title: Duplex Type JK2 - (end) Non Handed - Plans & Section

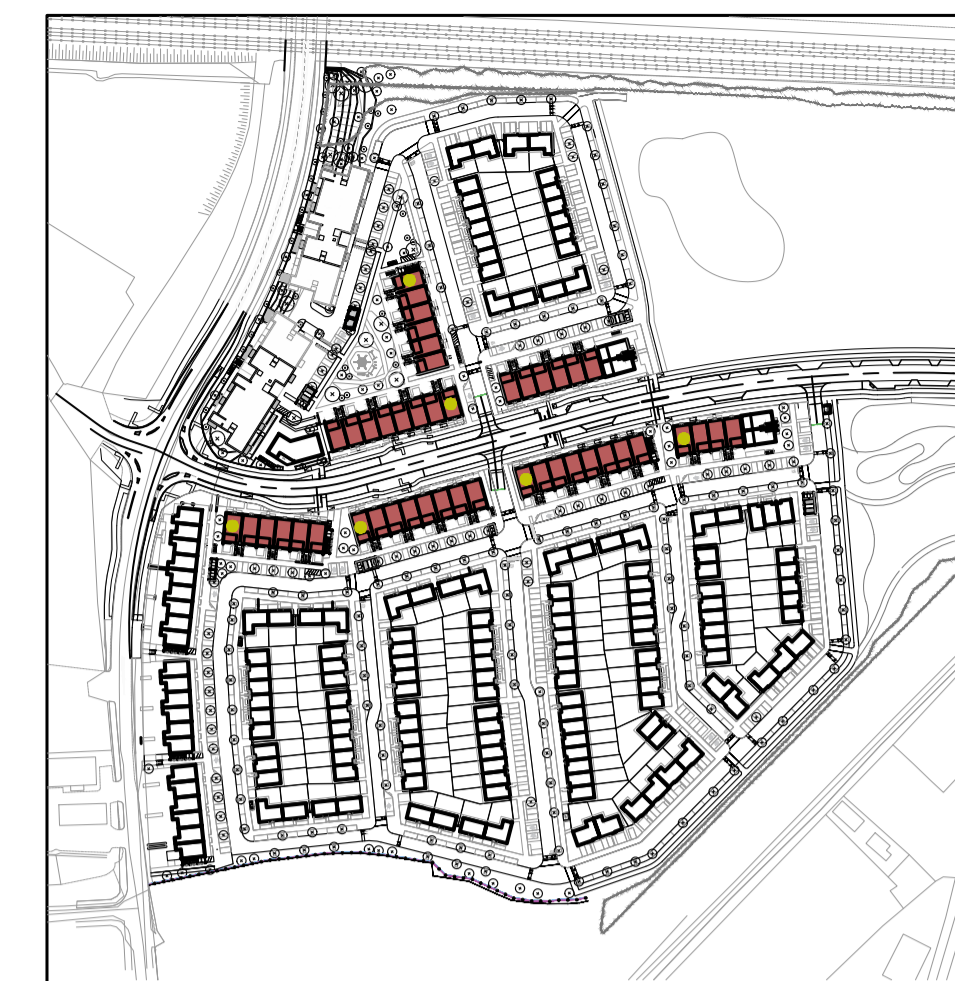
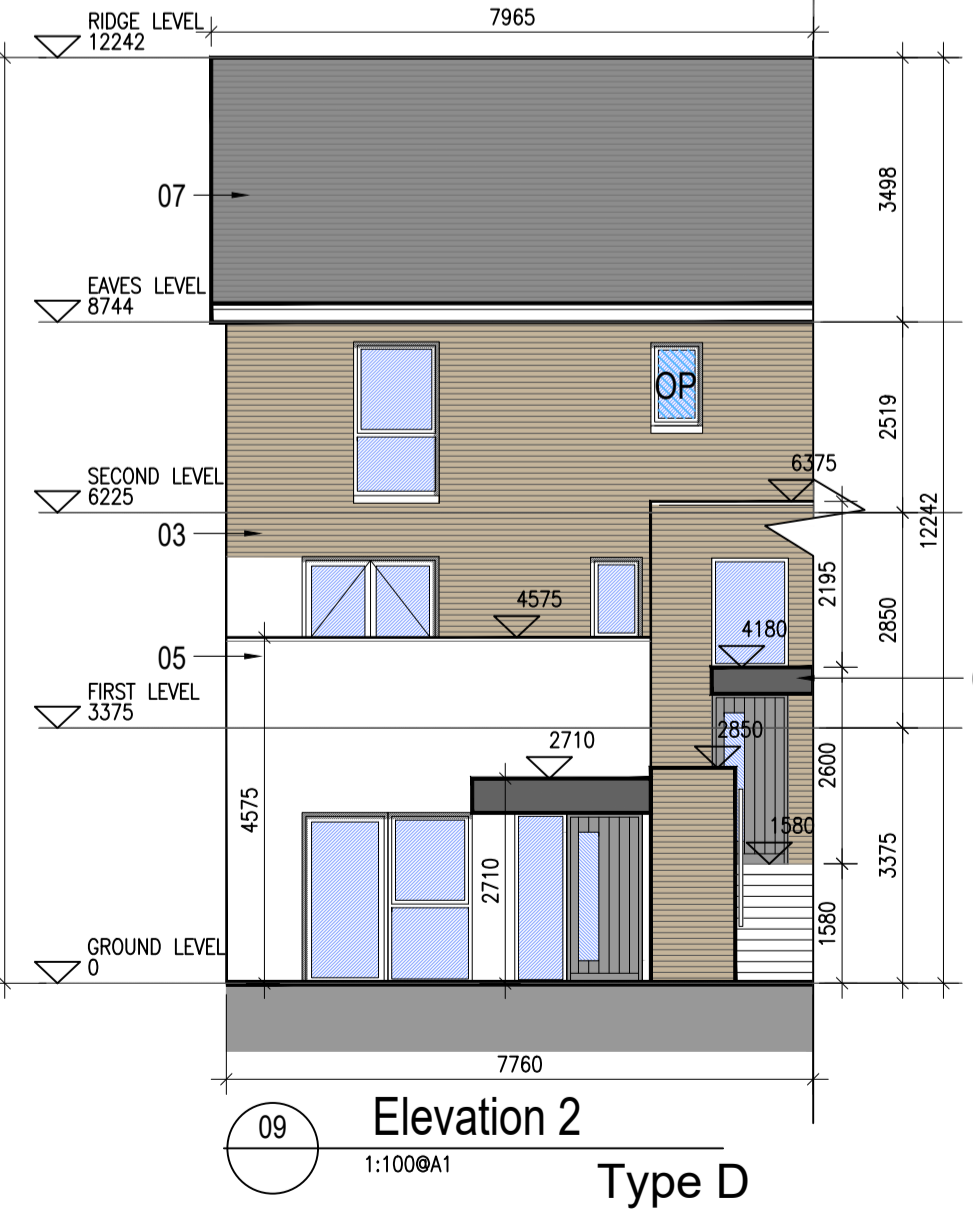
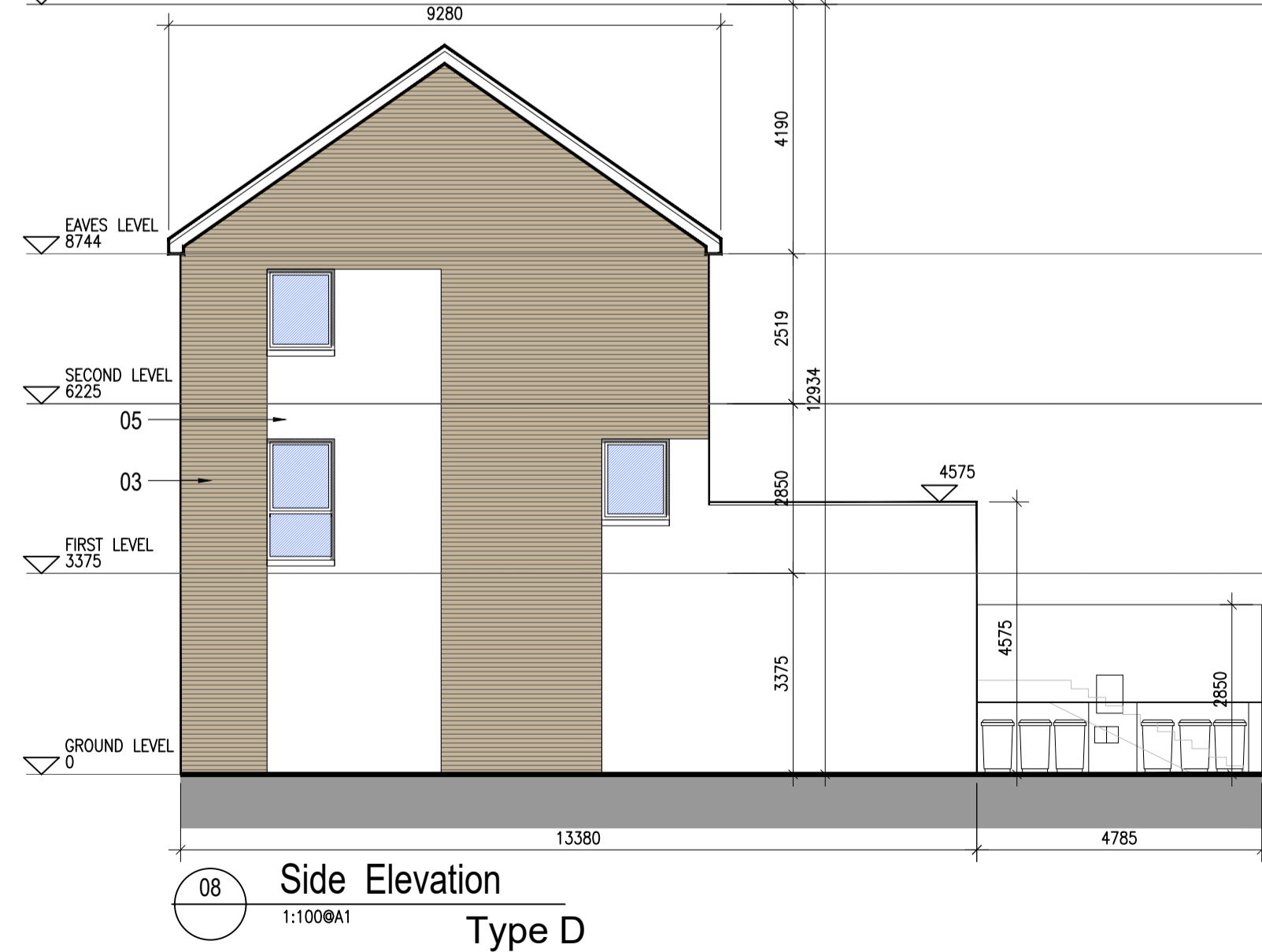
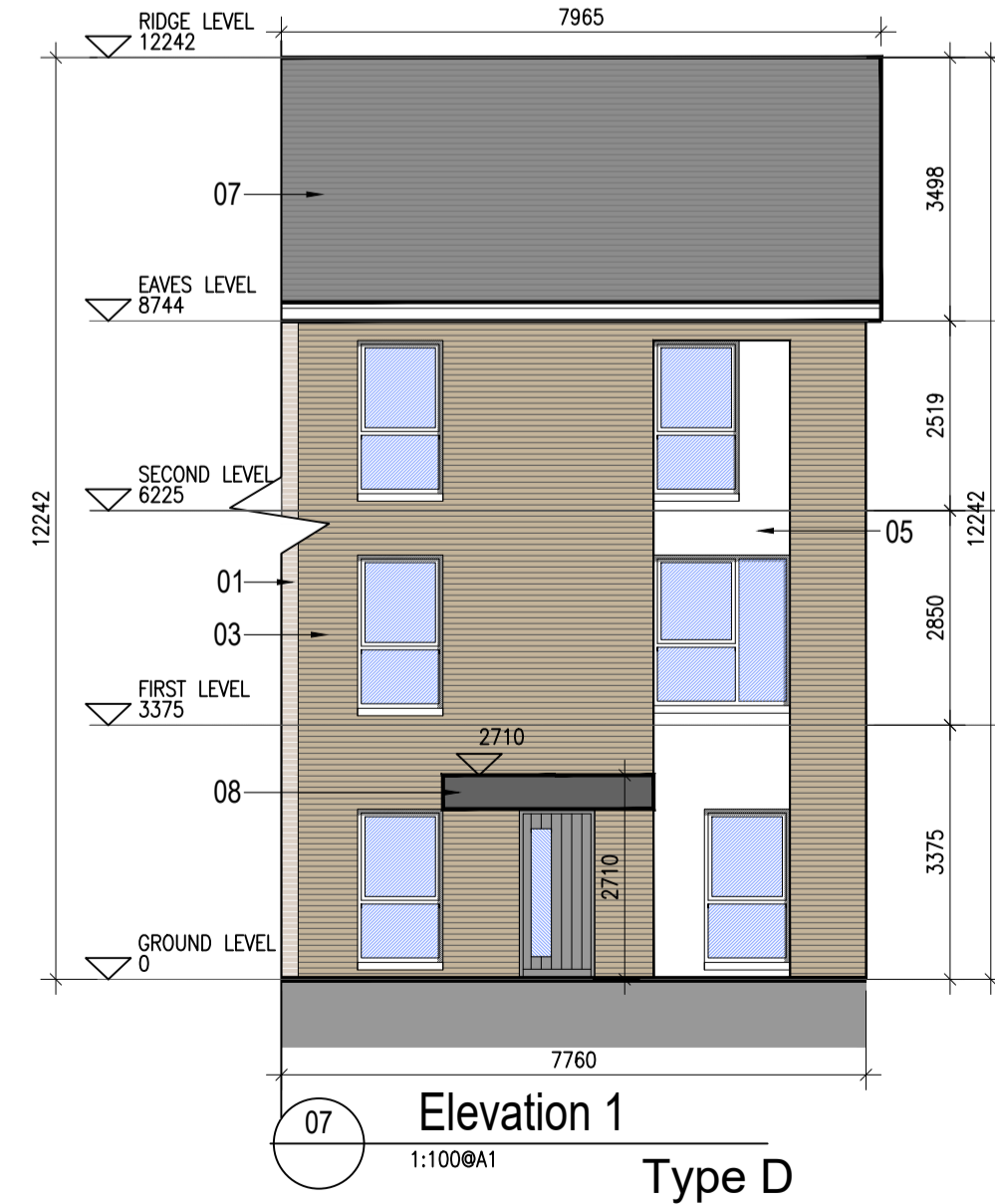
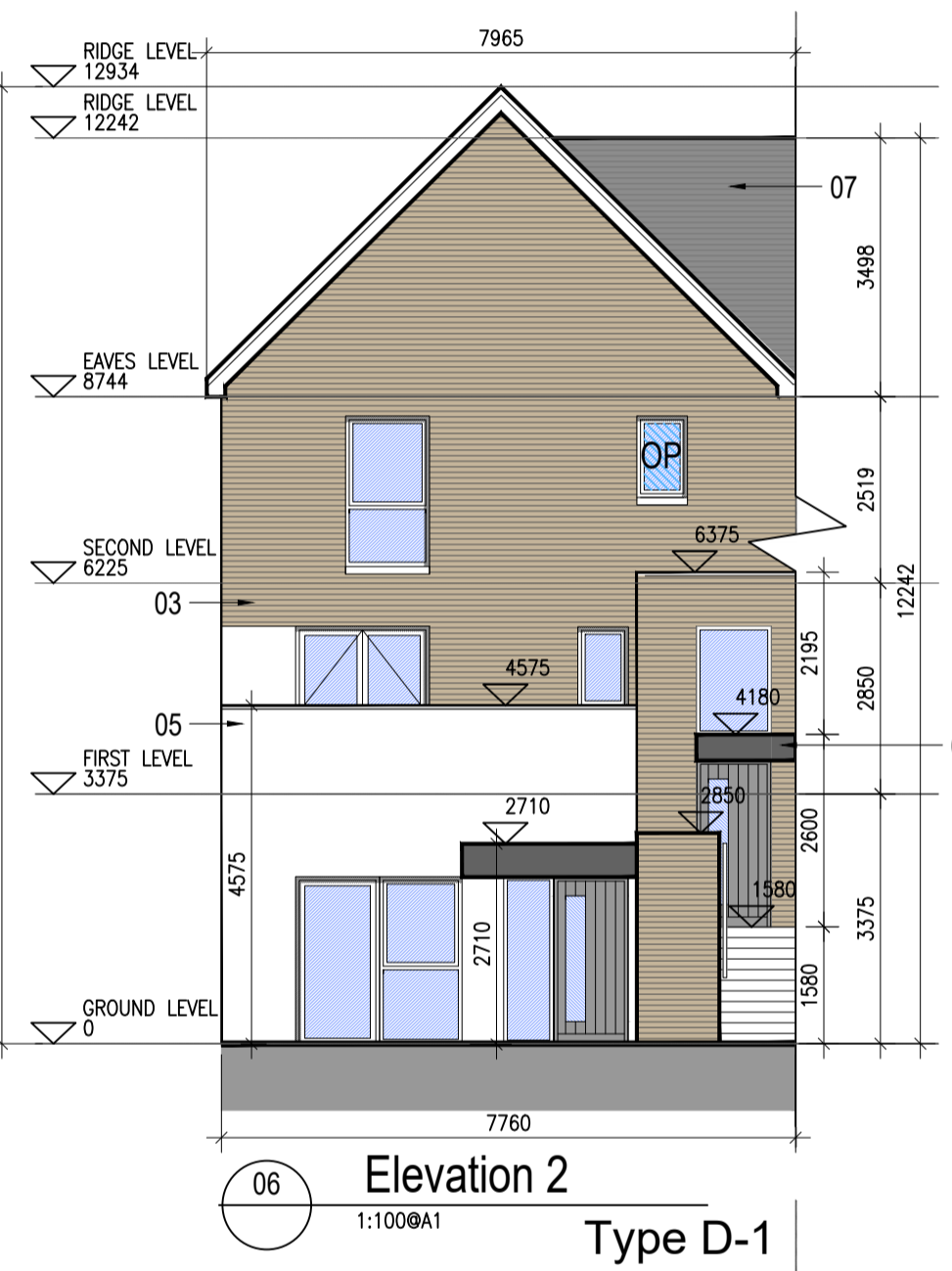
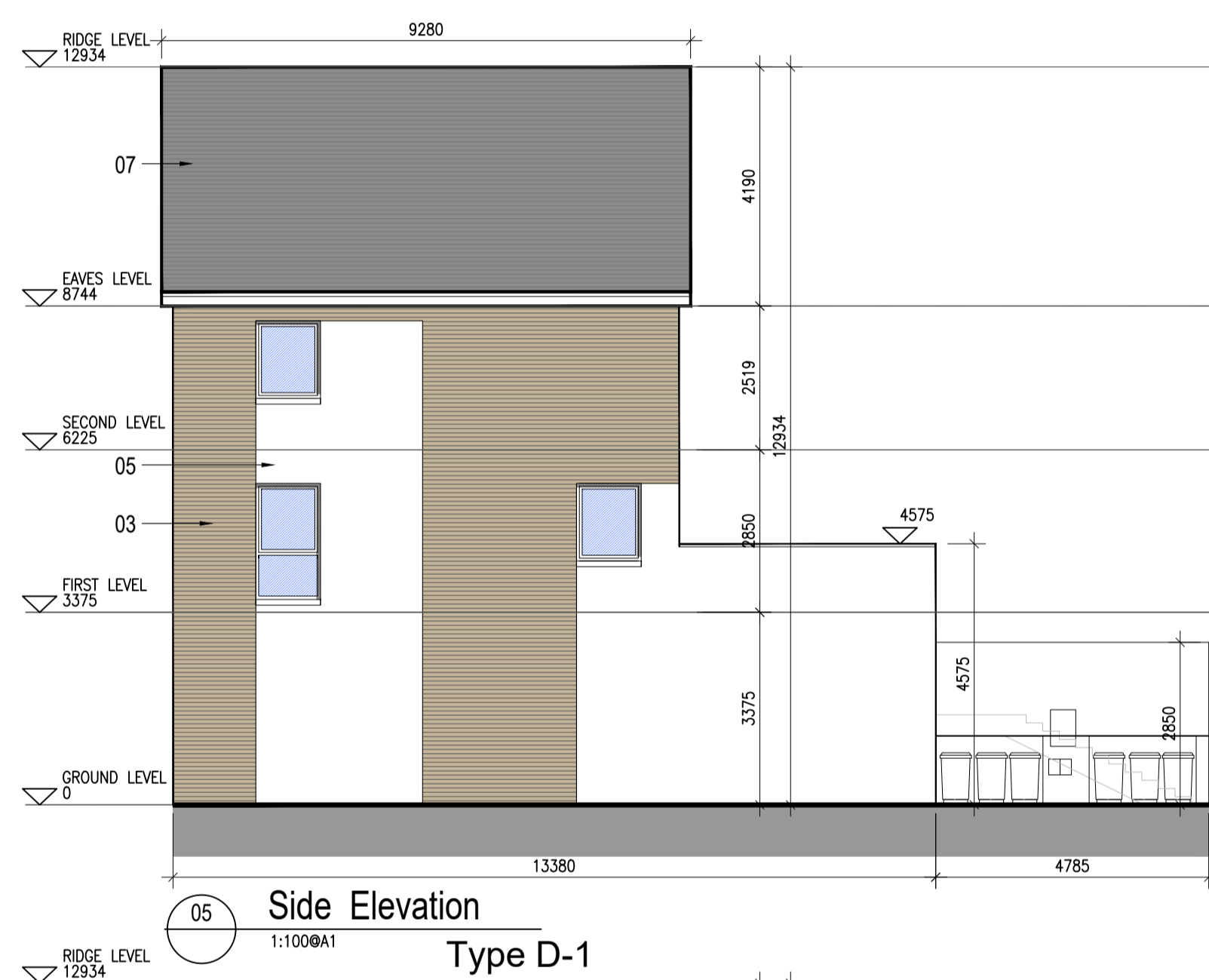
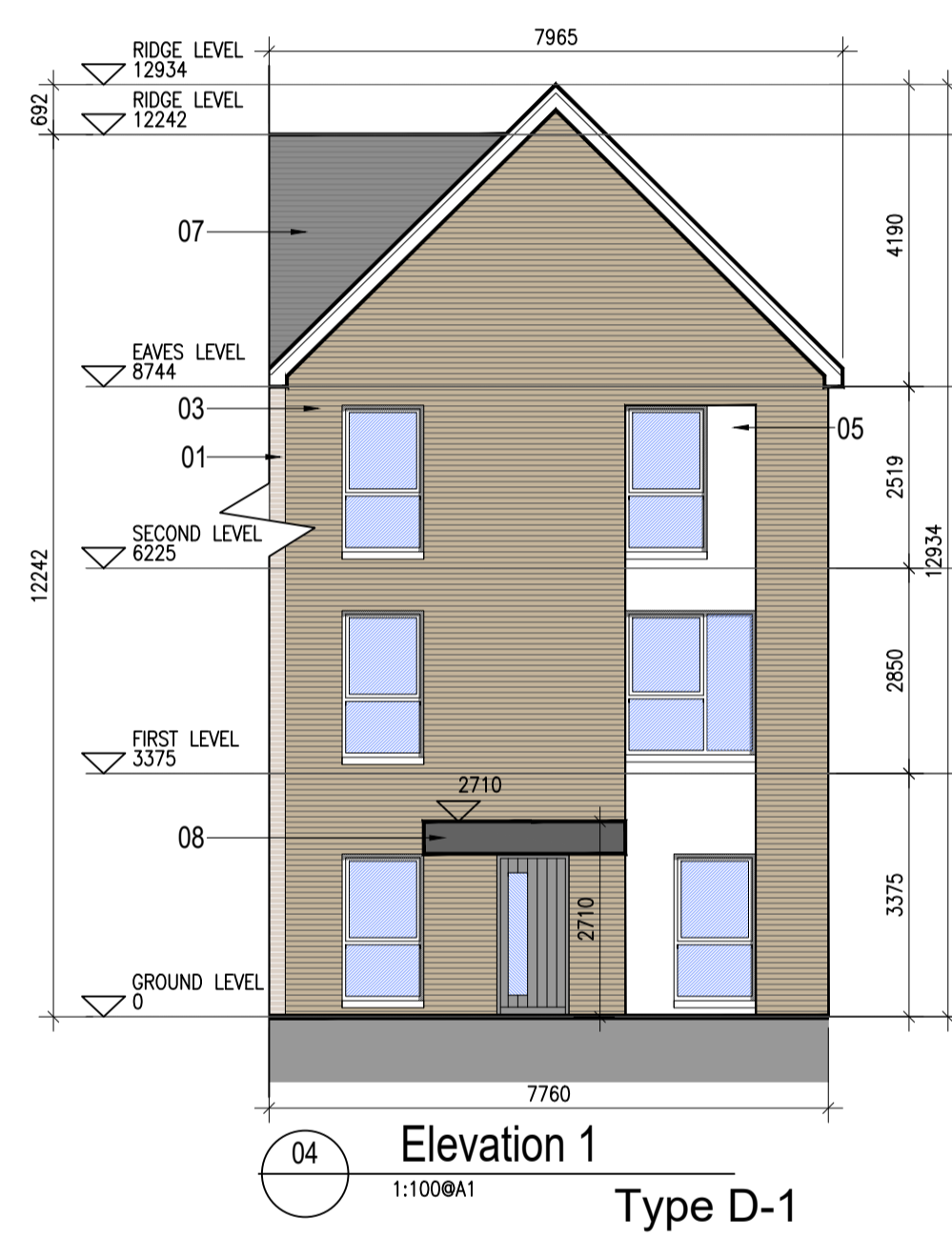
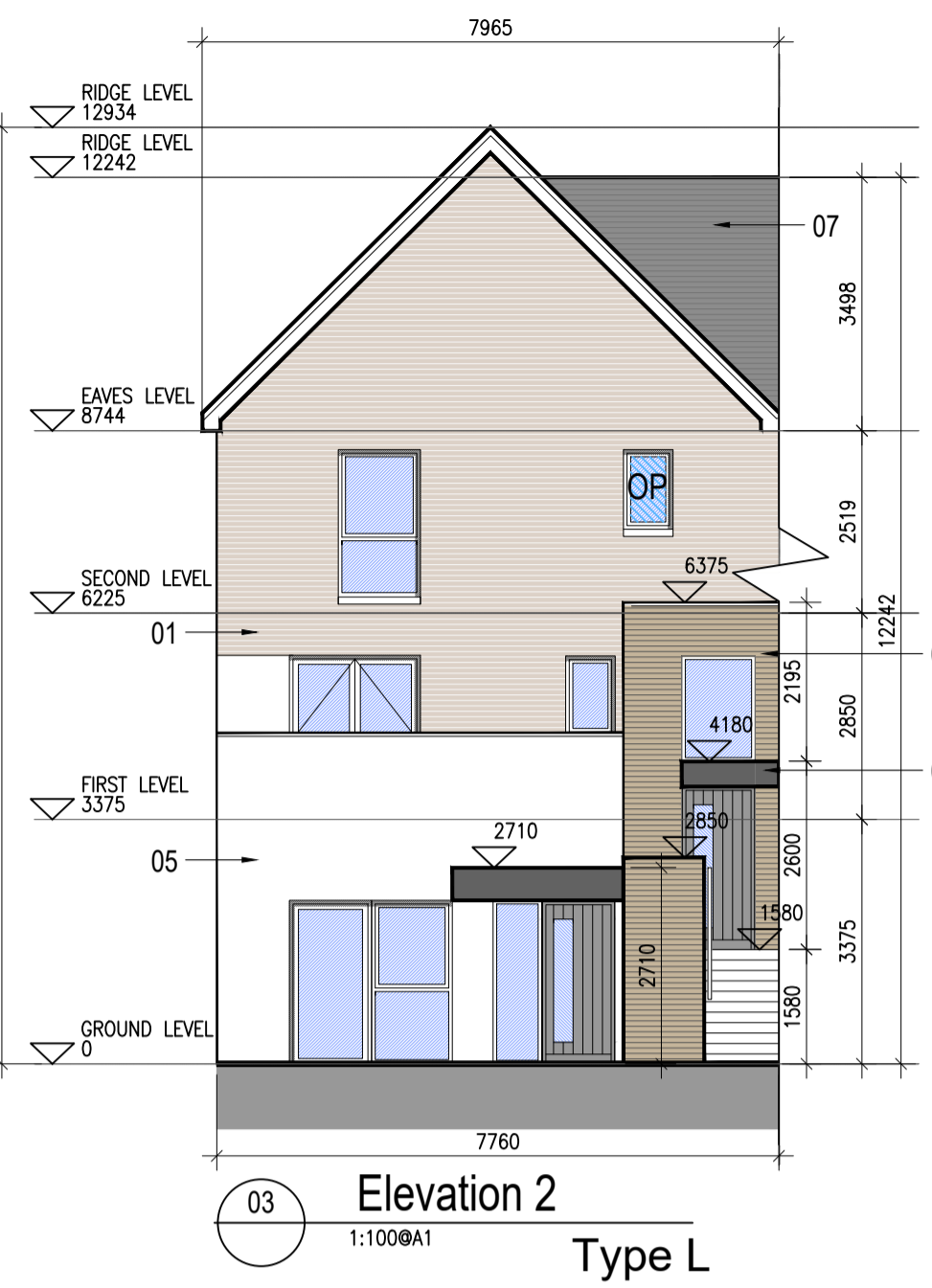
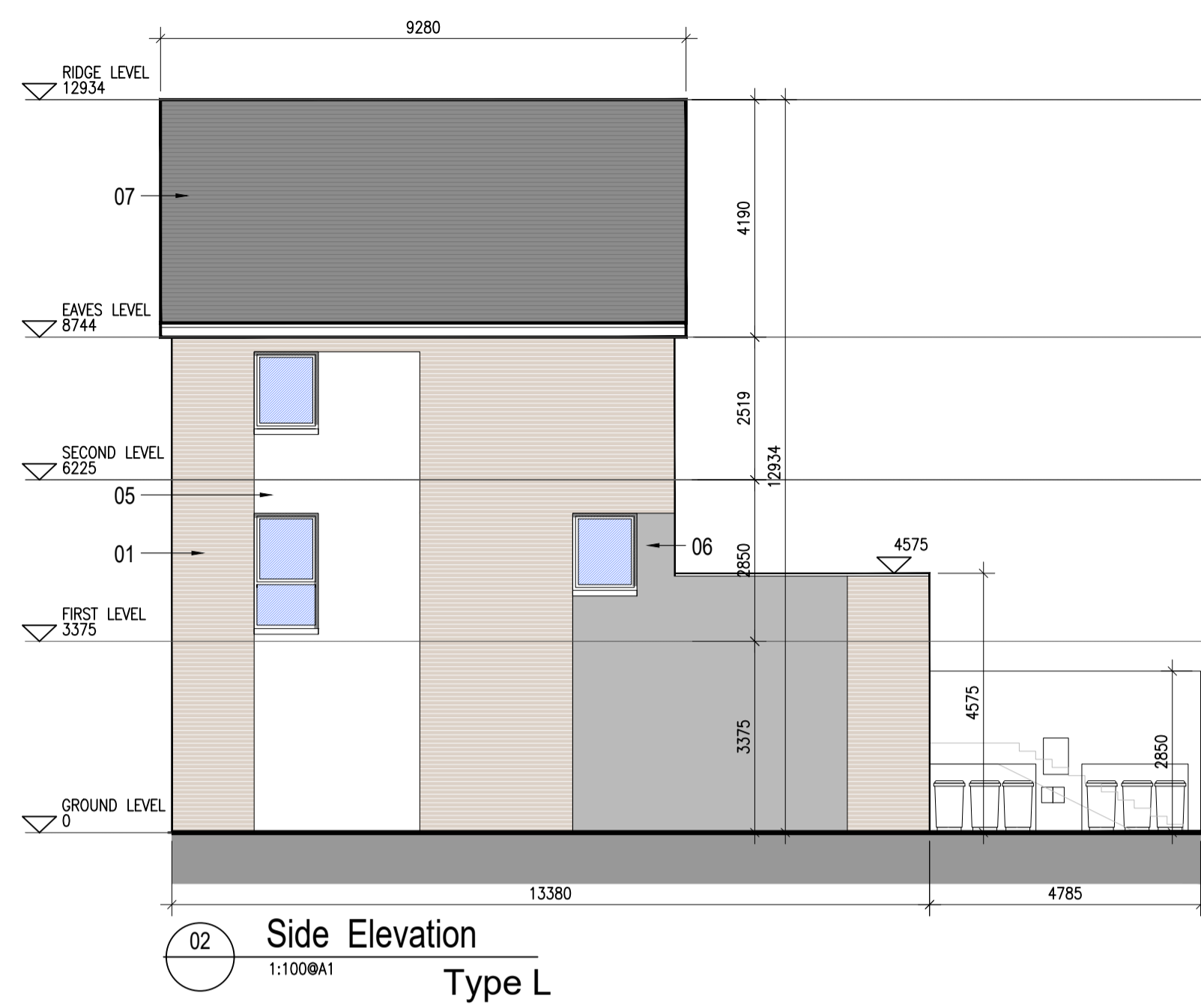
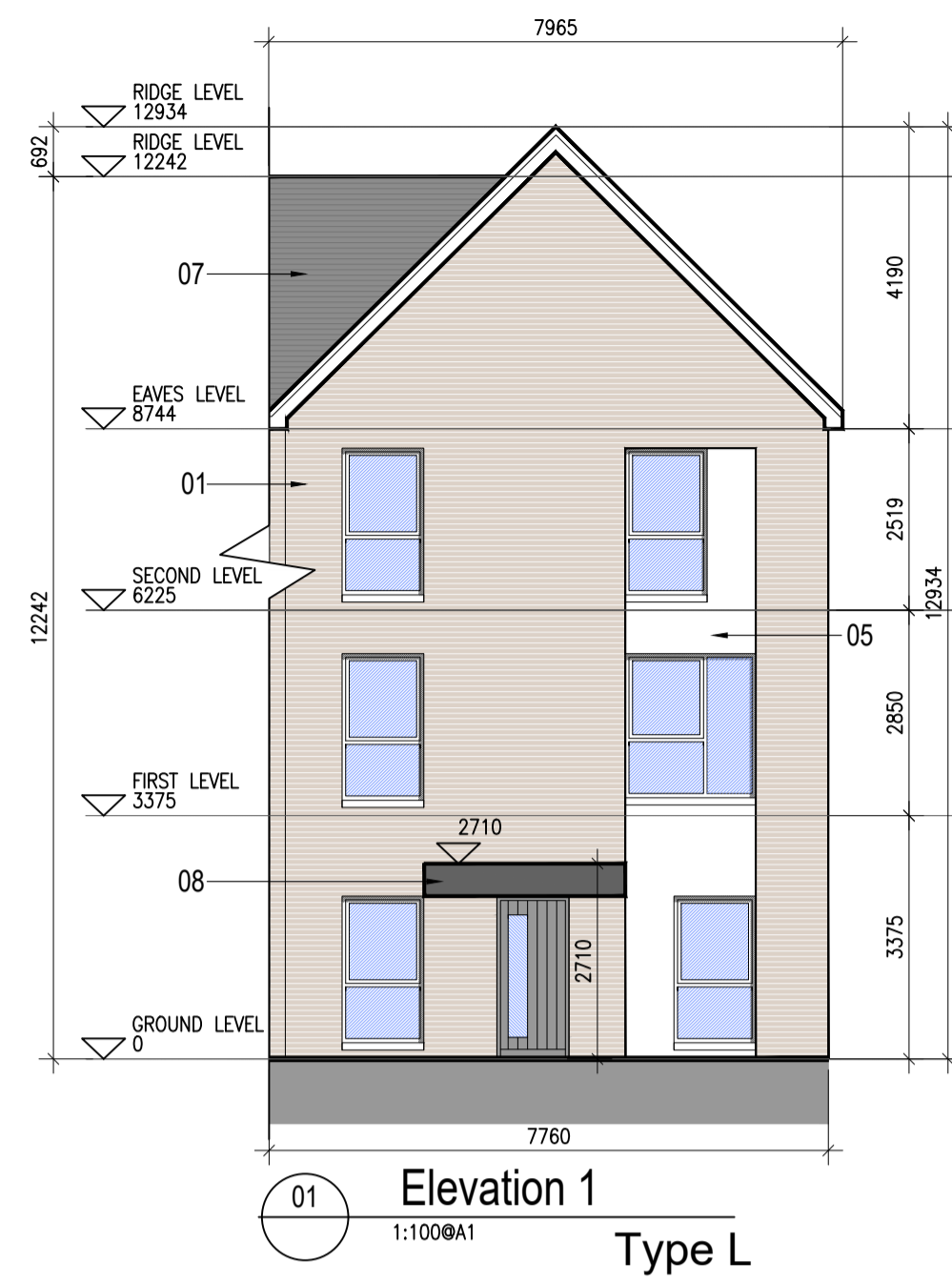
Drawing No: 6268-P-202

Scale: 1:100 @ A1 Rev: 01 Drawn: SH/JNAM Date: JAN/2023

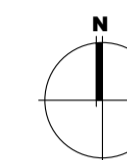
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www.bkd.ie

**bkd architects**  
BURKE-KENNEDY DOYLE

**TYPE J2K2 - DUPLEX**



Indicates unit locations  
**KEY PLAN [NTS]**



Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022

MATERIAL CODE LEGEND	
01	BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
02	BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
03	BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
04	BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
05	SELF COLOURED RENDER - LIGHT APPROVED TONE
06	SELF COLOURED RENDER - DARK APPROVED TONE
07	CONCRETE ROOF TILES - DARK APPROVED TONE
08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
09	POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
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RAINWATER GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED. MILDSTEEL RAILINGS AND BALUSTRADES

**REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION**

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

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6. Sizes of proprietary items shall be checked with manufacturer.	Construction
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	Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type J2K2 - (end) Non Handed - Elevations
Drawing No	6268-P-203
Scale	1:100 @ A1
Rev	01
Drawn	SH/JNAM
Date	JAN/2023

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**bkd architects**  
BURKE-KENNEDY DOYLE

**TYPE J2 Handed - 2 Bed GF apartment**

APARTMENT TYPE J  
Ground floor area 86.0m<sup>2</sup>  
Total Floor Area (2-bed unit): 86.0m<sup>2</sup>

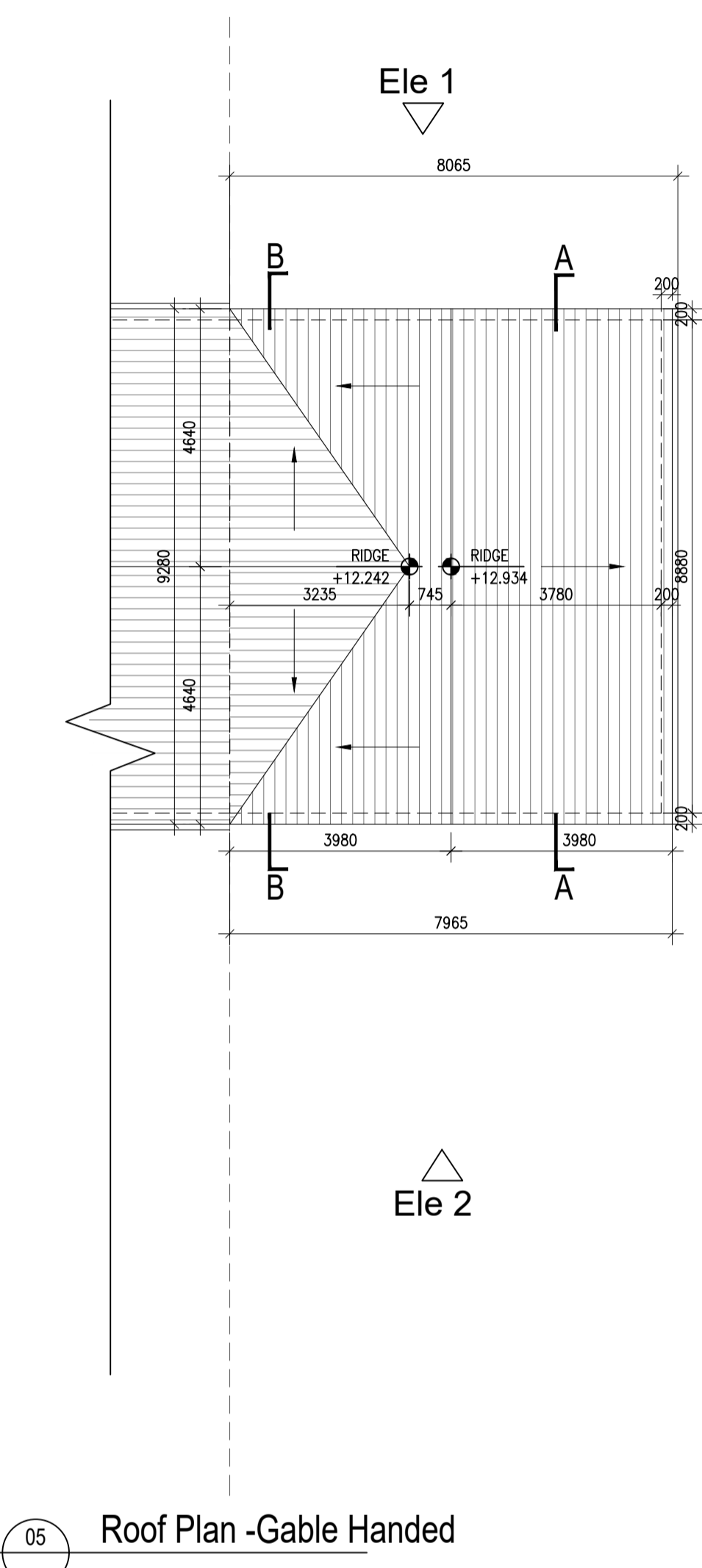
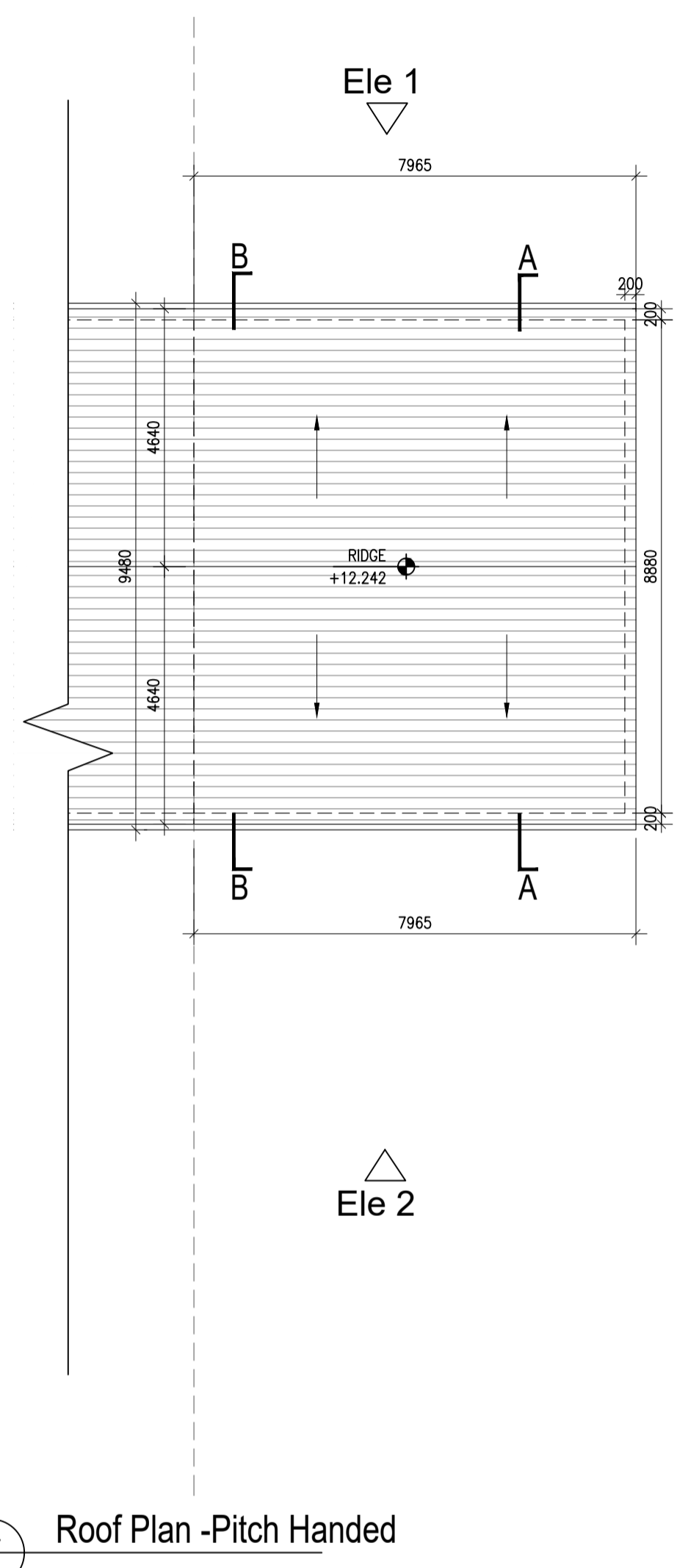
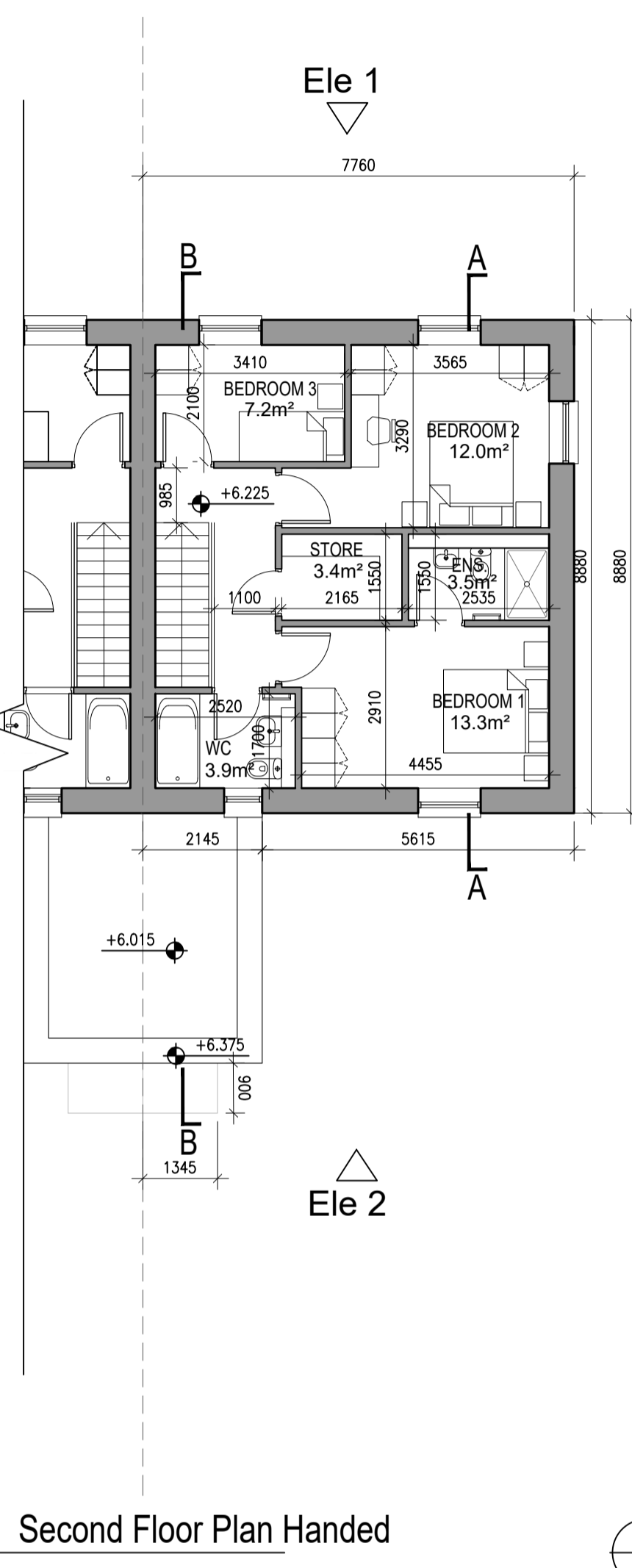
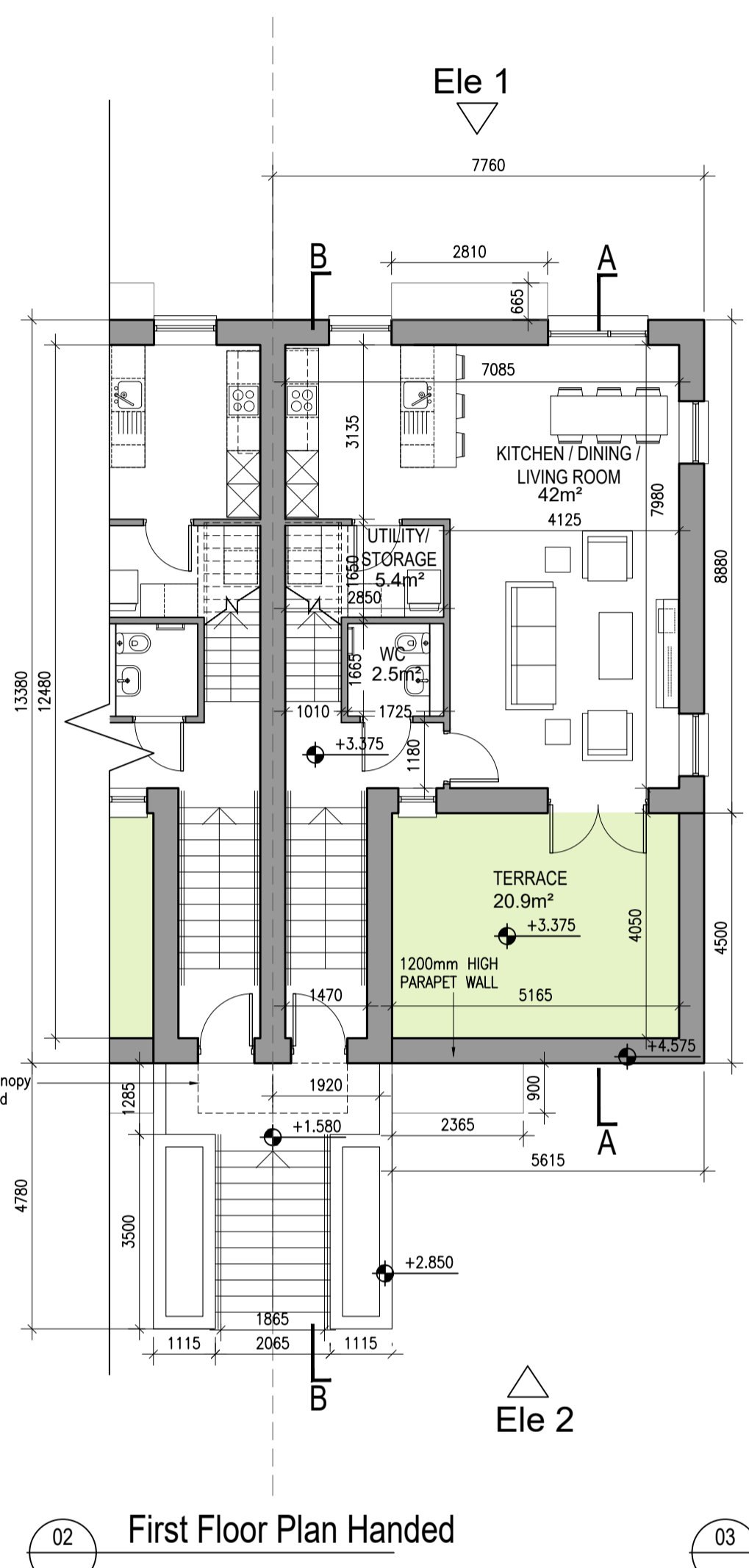
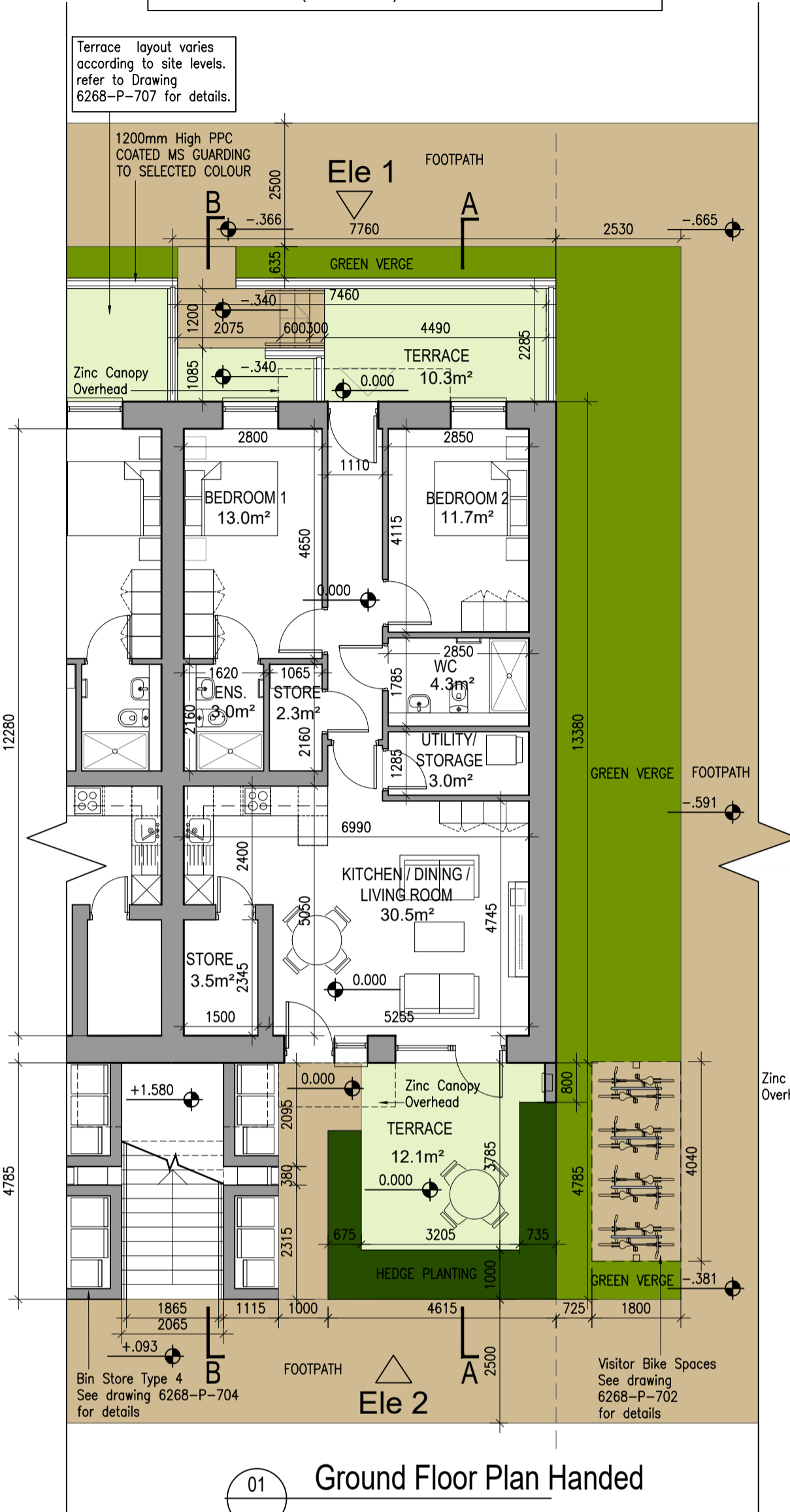
**TYPE K2 Handed - 3 Bed FF duplex**

DUPLIX TYPE K  
Ground floor priv. stair 6.6m<sup>2</sup>  
First floor area 56.5m<sup>2</sup>  
Second floor area 56.5m<sup>2</sup>  
Total Floor Area (3-bed unit): 119.7m<sup>2</sup>

Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



Indicates unit locations  
**KEY PLAN [NTS]**



**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

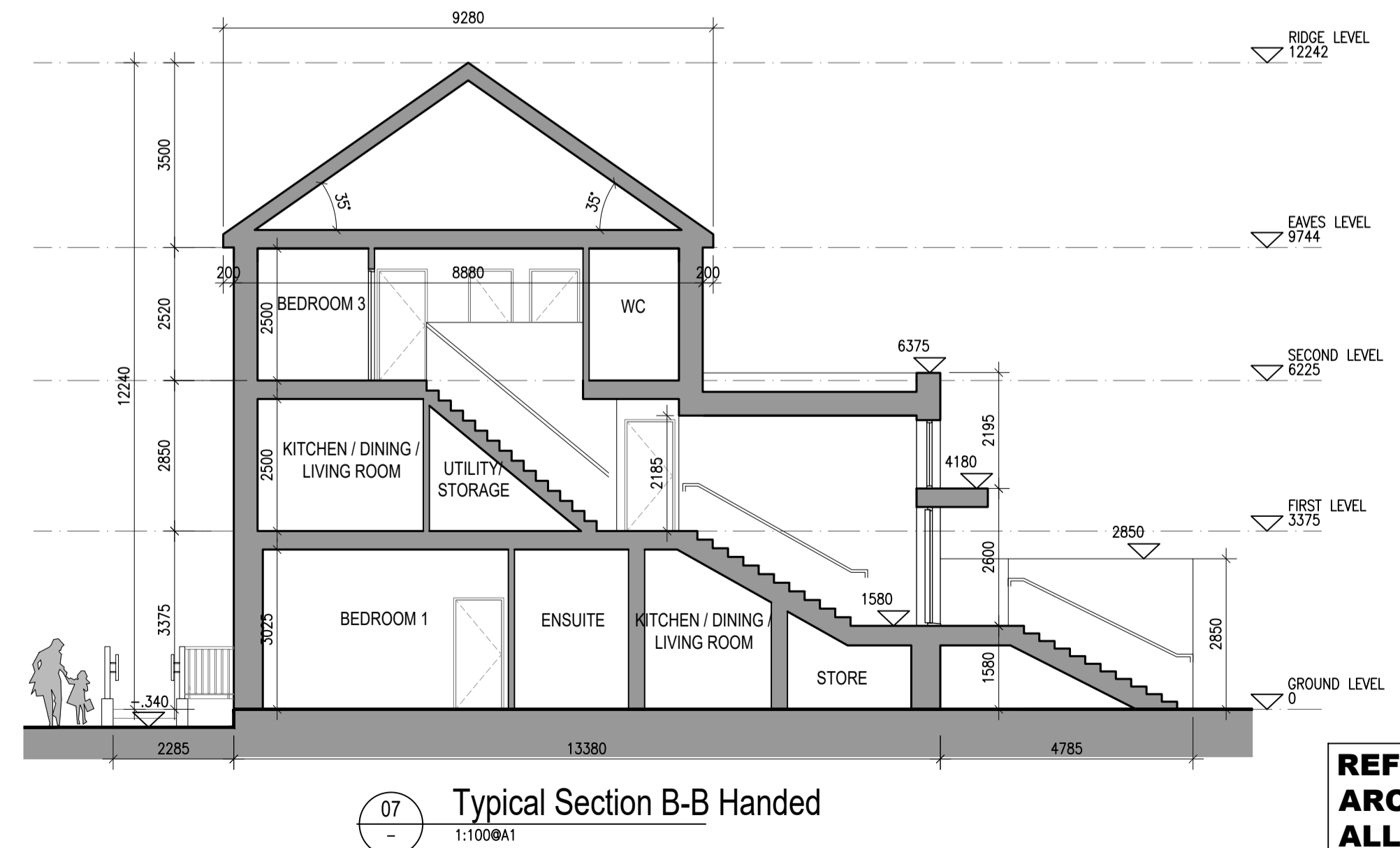
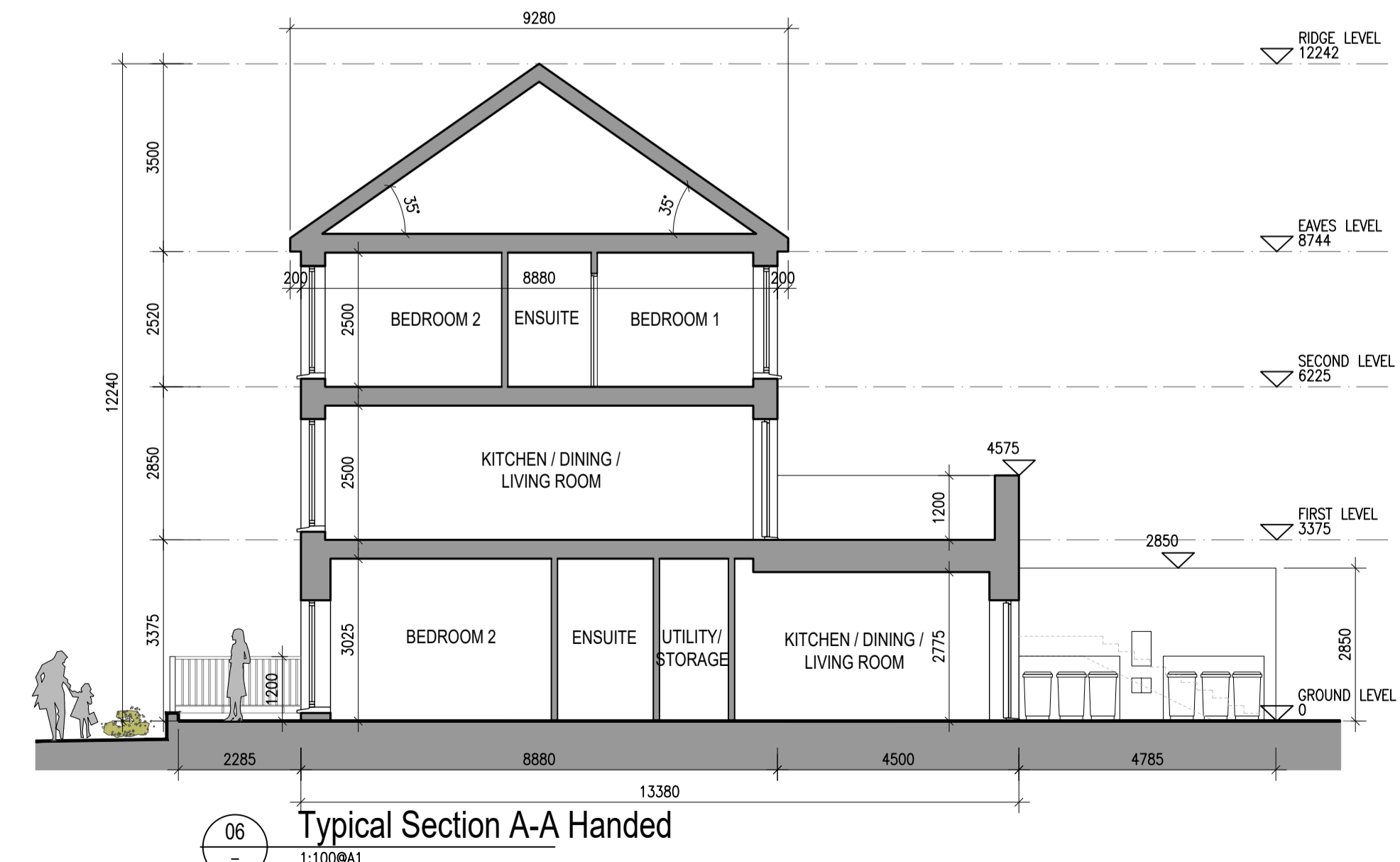
**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

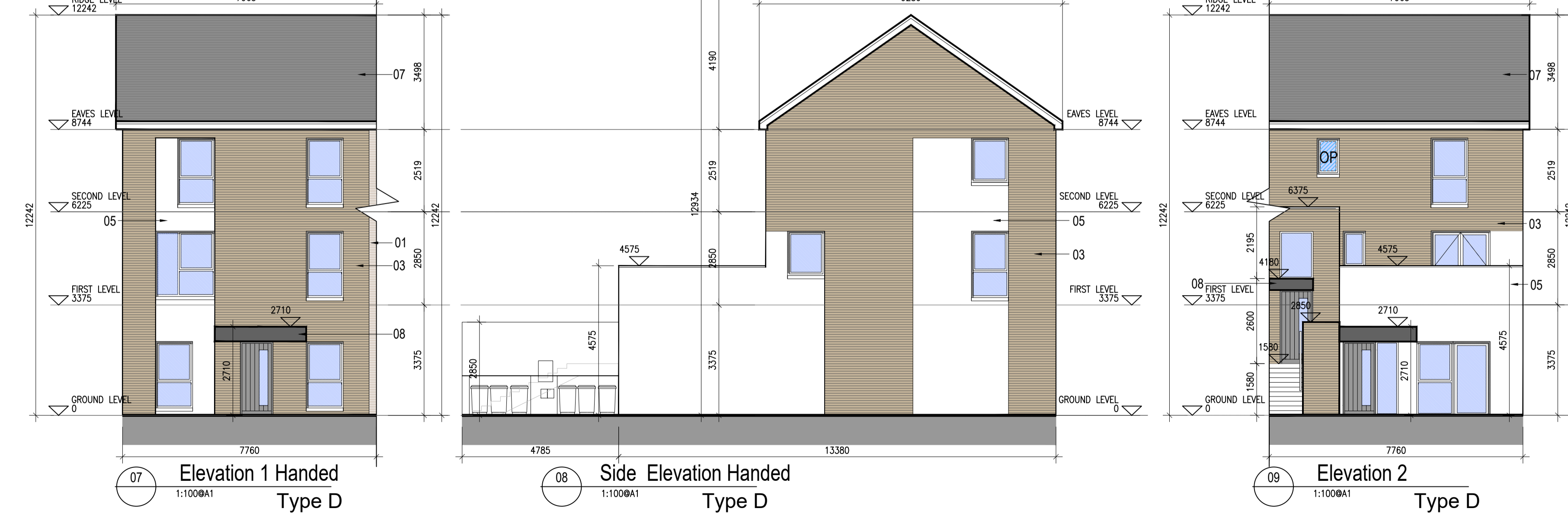
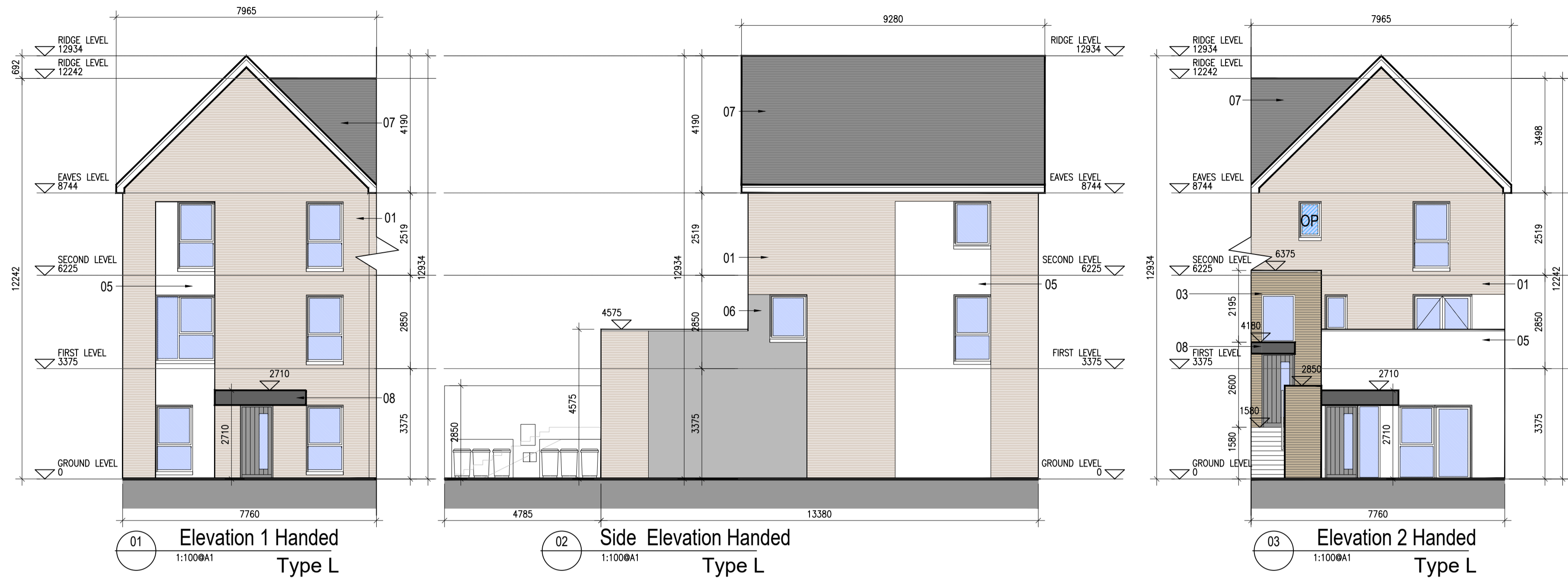


**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

**TYPE J2K2 Handed - DUPLEX**



Indicates unit locations  
**KEY PLAN [NTS]**



Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022

**MATERIAL CODE LEGEND**

01	– BUFF BRICK – STANDARD BOND – LIGHT APPROVED TONE
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11	– OPAFICED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

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RAINWATER GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

**REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION**

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

Notes	Issue Status
1. Copyright Reserved	Progress
2. Work to figure dimensions only. Do not scale drawing	Planning Application
3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect	Fire Cert
4. Where appropriate, for details of r.c. structure, or mechanical and electrical details, see Engineers drawings	Disability Cert
5. Proprietary items shall be fixed in strict accordance with manufacturers instructions.	Tender
6. Sizes of proprietary items shall be checked with manufacturer.	Construction
7. The contractor shall be responsible for the coordination of structure, finishes and services.	As Built
	Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type J2K2 - (end) Handed - Elevations
Drawing No	6268-P-205
Scale	1:100 @ A1
Rev	01
Drawn	SH/JNAM
Date	JAN/2023

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**bkd architects**  
BURKE-KENNEDY DOYLE

**TYPE L1 - 2 Bed**  
Level 00-01- Duplex

DUPLEX TYPE L	
Ground floor area	61.0m <sup>2</sup>
First floor area	53.0m <sup>2</sup>
Total Floor Area (2-bed unit):	114.0m <sup>2</sup>

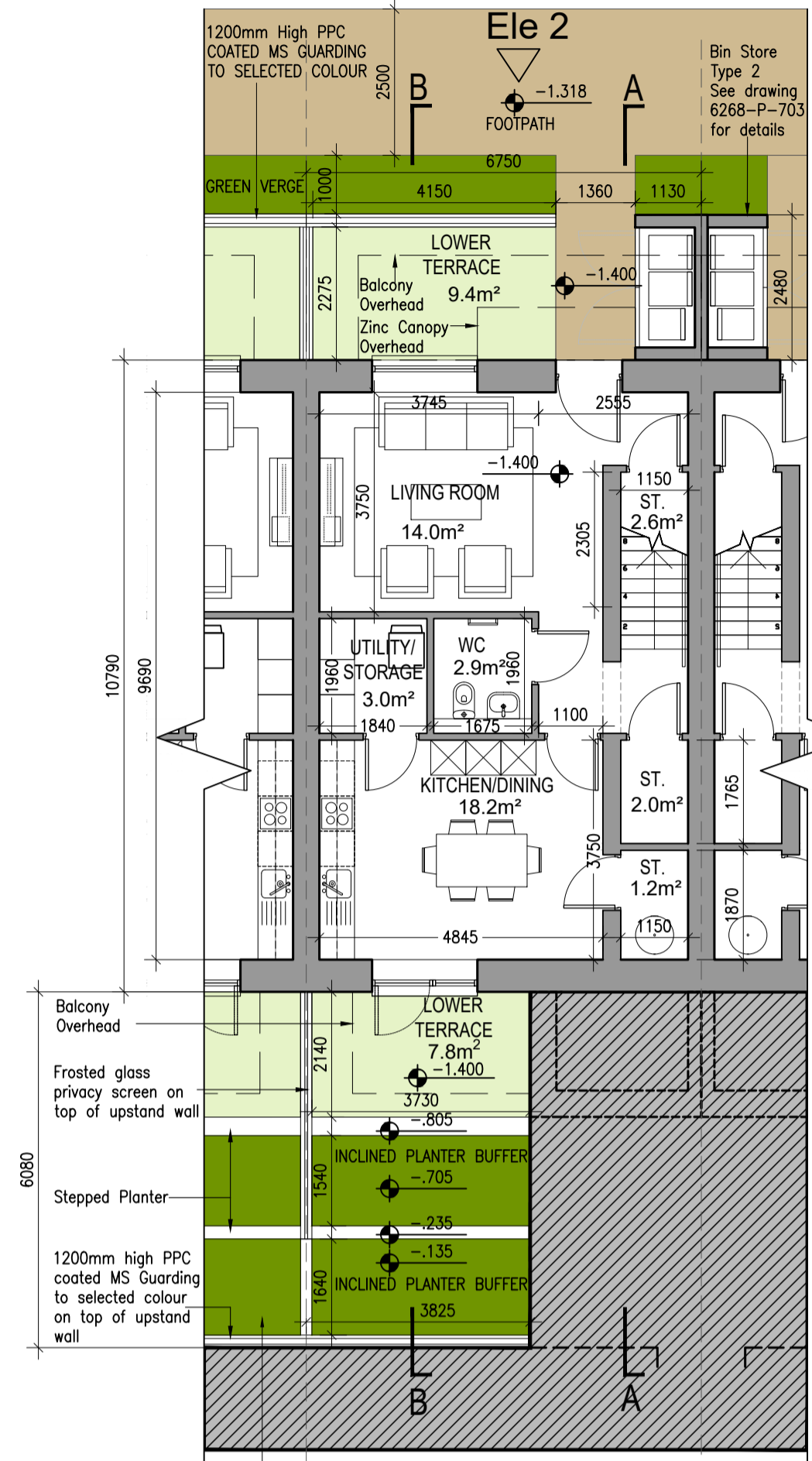
**TYPE M1 - 3 Bed**  
Level 02-03-Duplex

DUPLEX TYPE M	
First floor (stair)	10.9m <sup>2</sup>
Second floor area	62.3m <sup>2</sup>
Third floor area	62.3m <sup>2</sup>
Total Floor Area (3-bed unit):	135.5m <sup>2</sup>

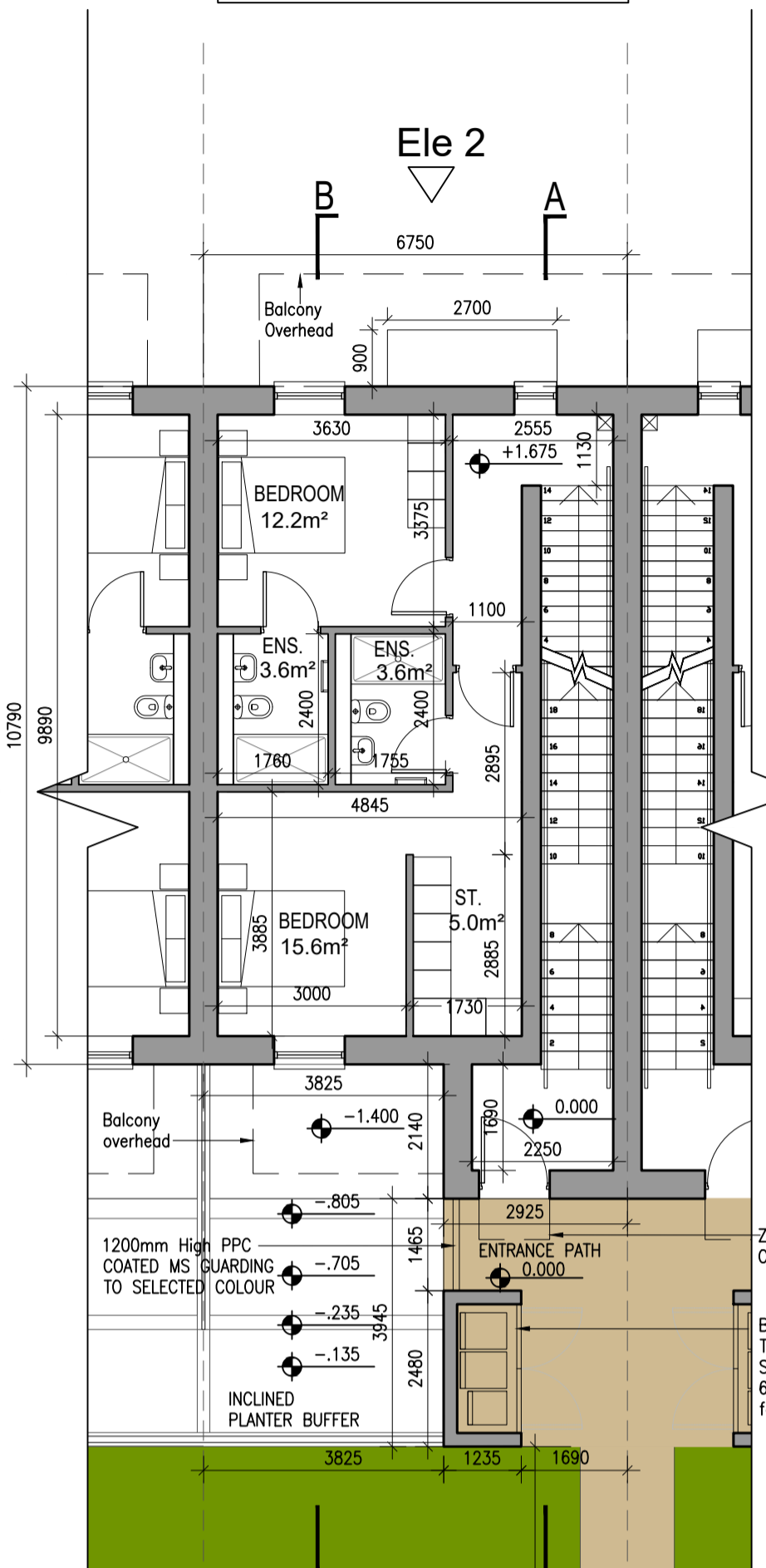
Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



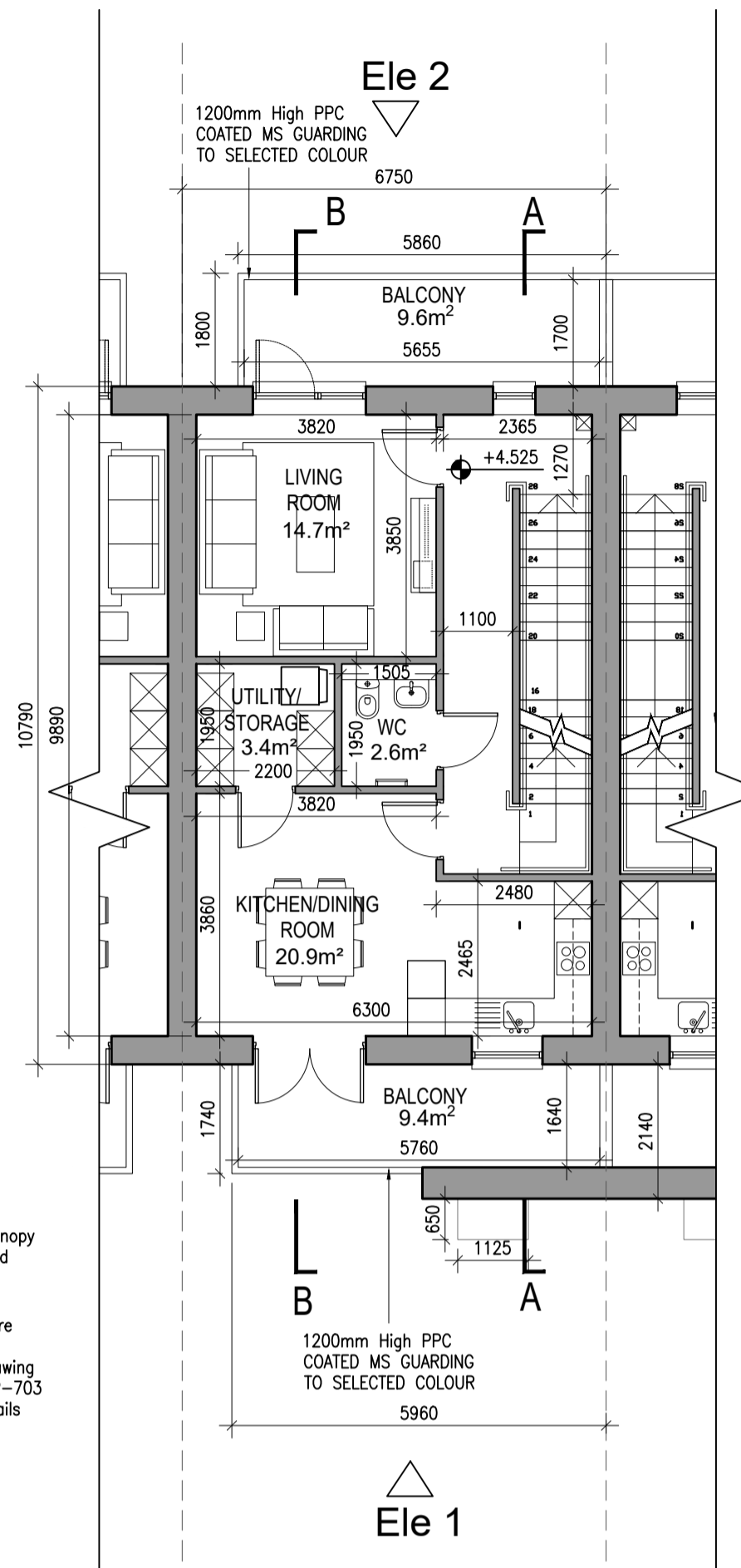
Indicates unit locations  
**KEY PLAN [NTS]**



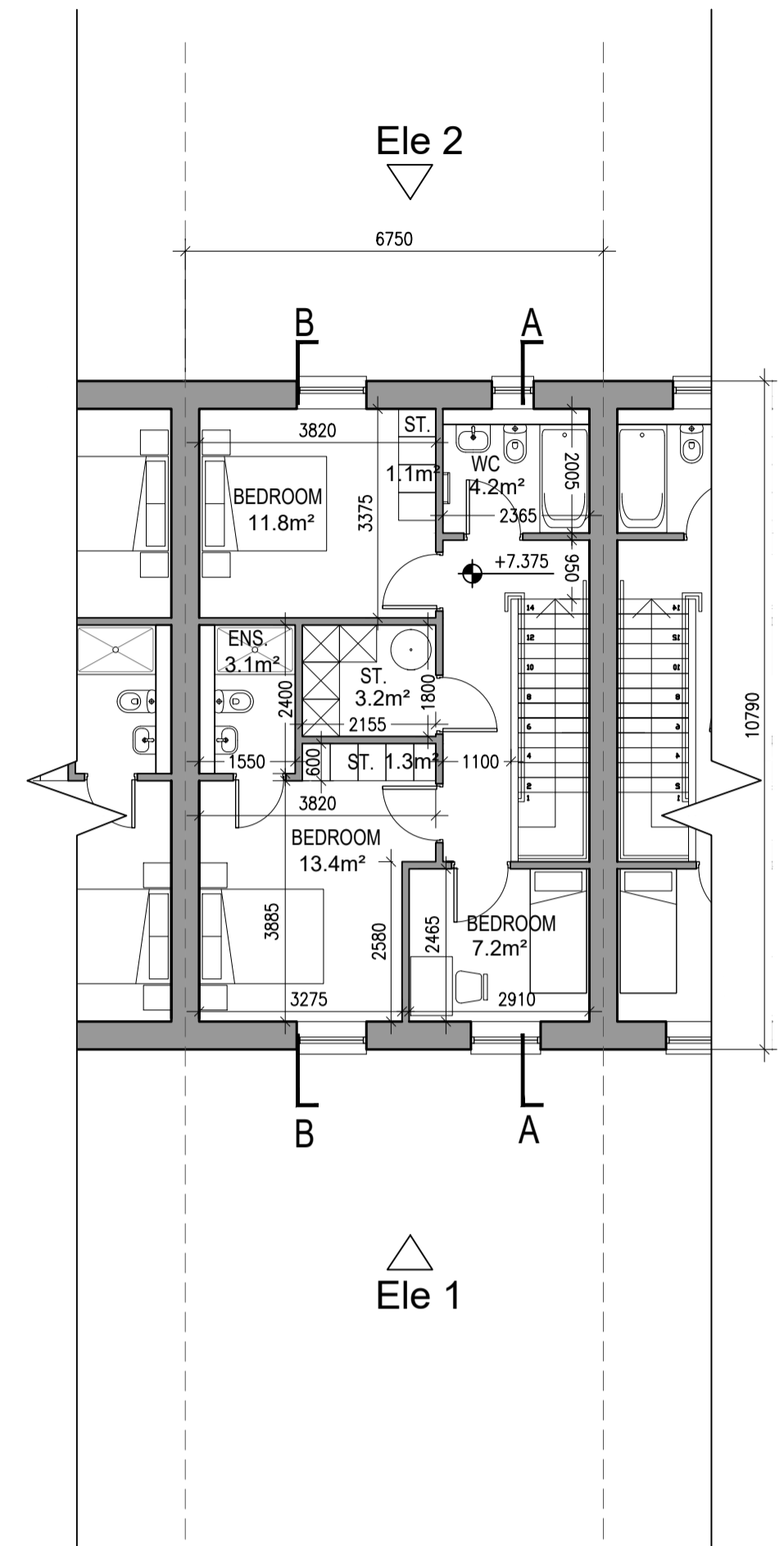
01 Ground Floor Plan



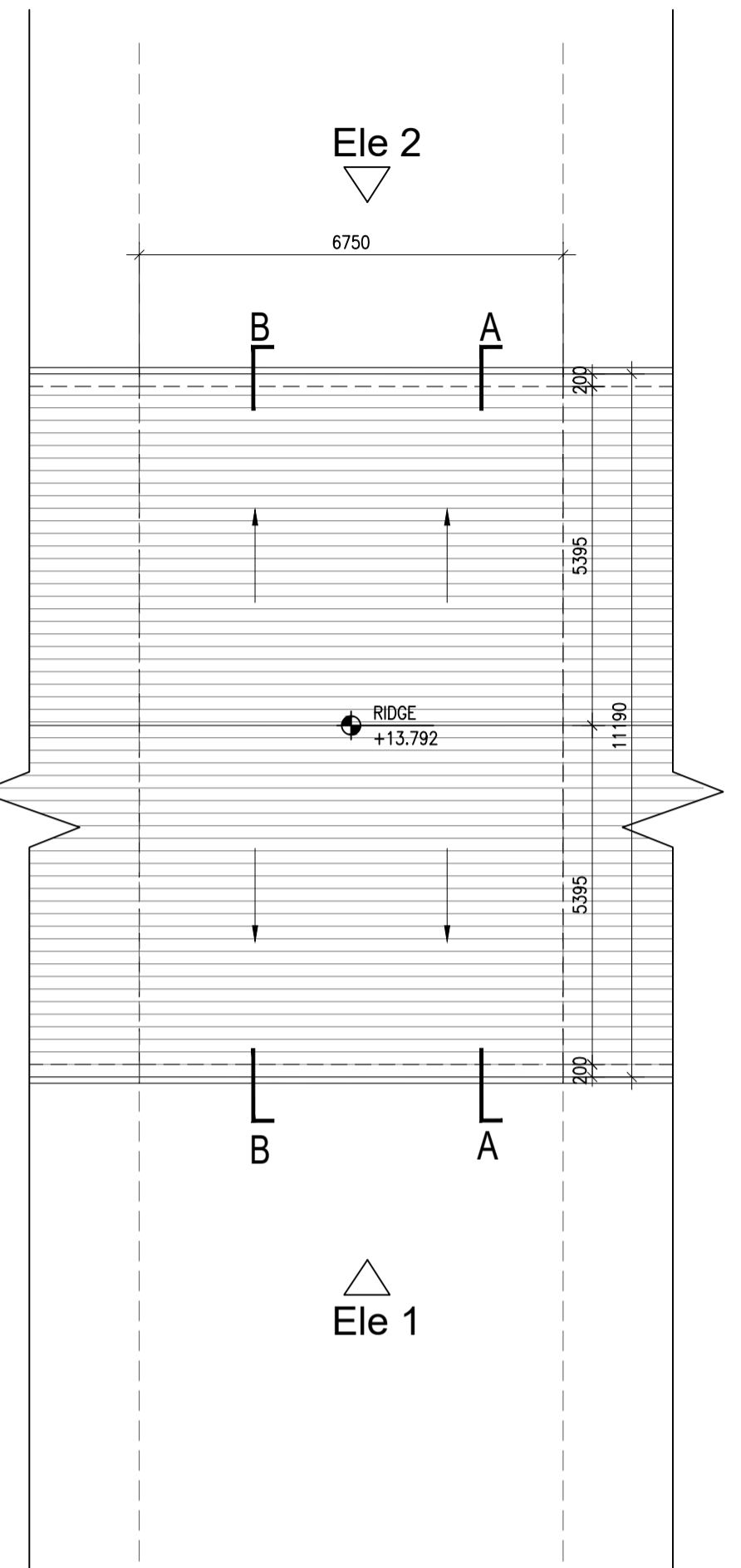
02 First Floor Plan



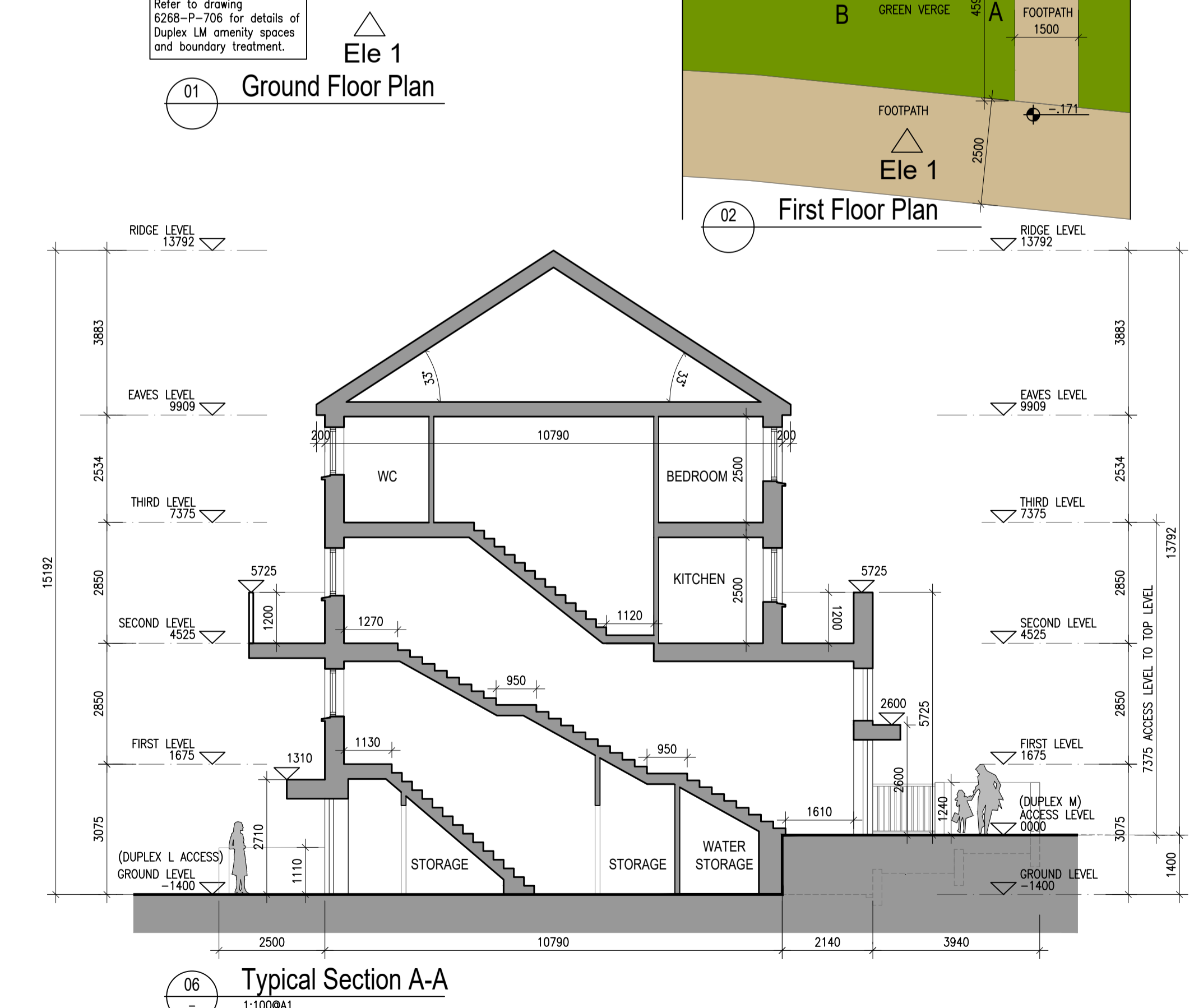
03 Second Floor Plan



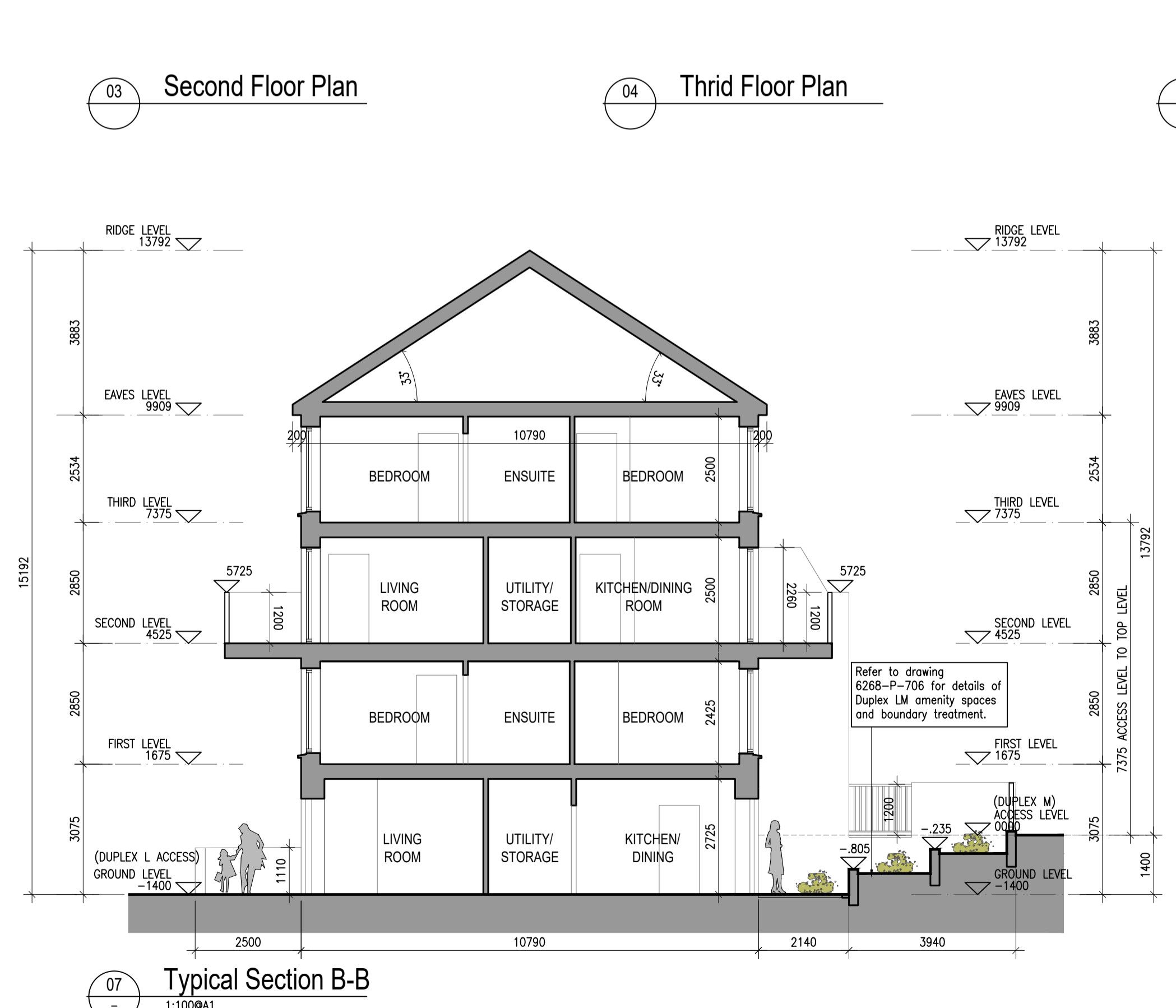
04 Third Floor Plan



05 Roof Plan



06 Typical Section A-A  
1:100BA1



07 Typical Section B-B  
1:100BA1

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

**MATERIAL CODE LEGEND**

01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
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**EXTERNAL FINISHES**

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**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

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Issue Status	
Progress	
Planning Application	
Fire Cert	
Disability Cert	
Tender	
Construction	
As Built	
Information Only	

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project: Adamstown Extension - Clonburris SDZ Residential Development

Drawing Title: Duplex Type L1M1 - (mid) Non Handled - Plans & Section

Drawing No: 6268-P-206

Scale: 1:100 @ A1 Rev: 01 Drawn: SH/JN/AM Date: JAN/2023

**bkdarchitects**  
BURKE-KENNEDY DOYLE

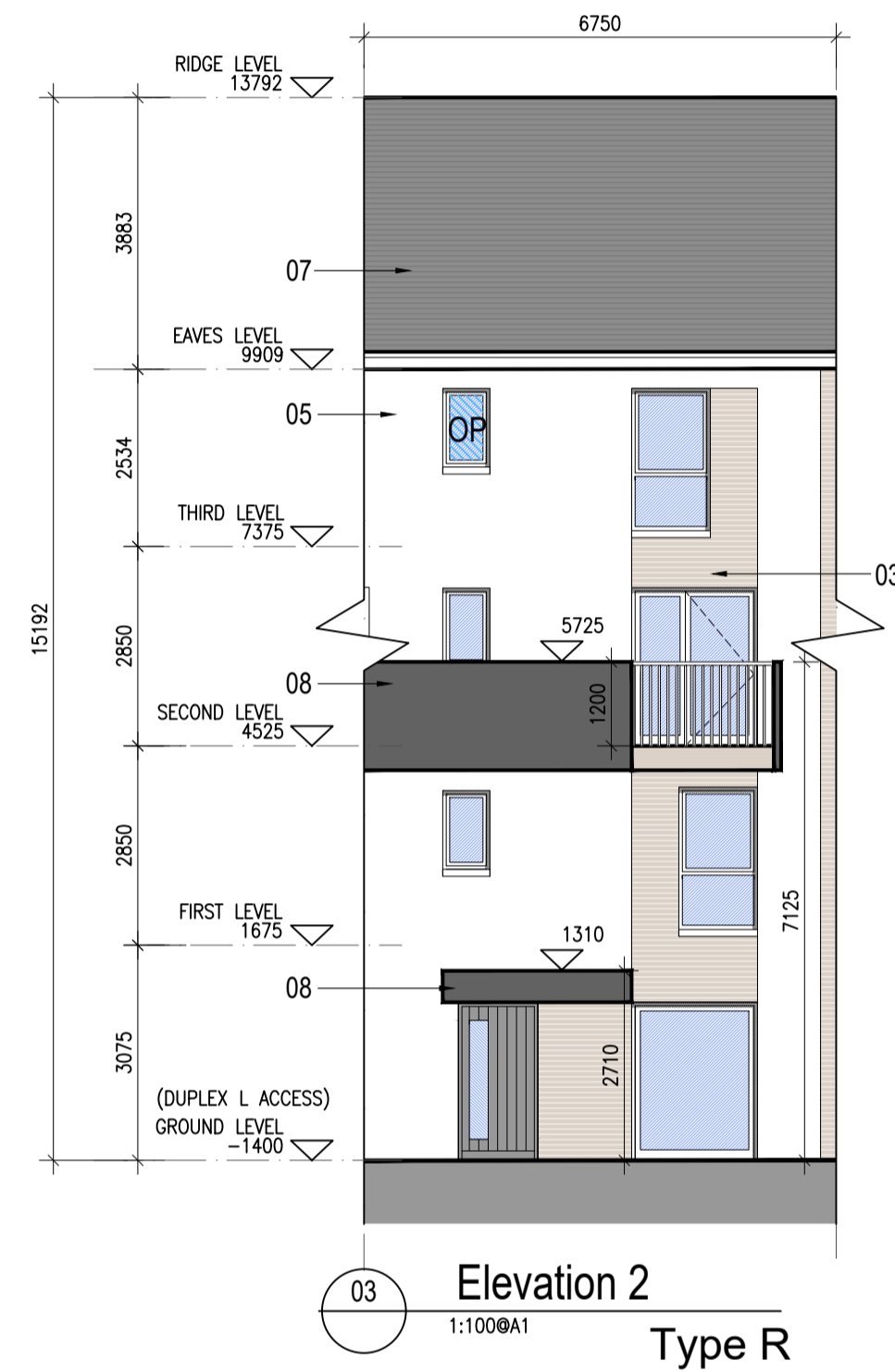
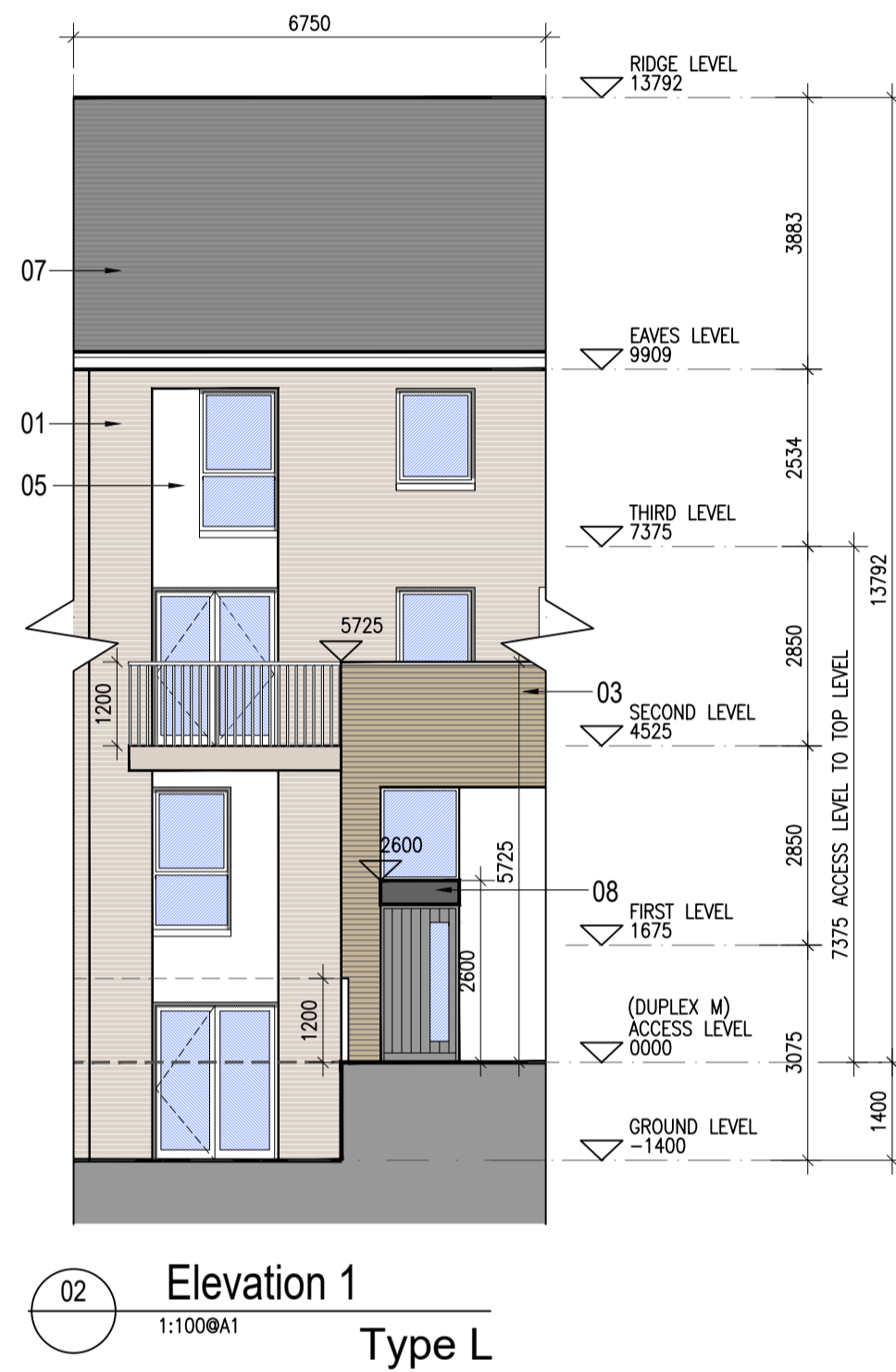
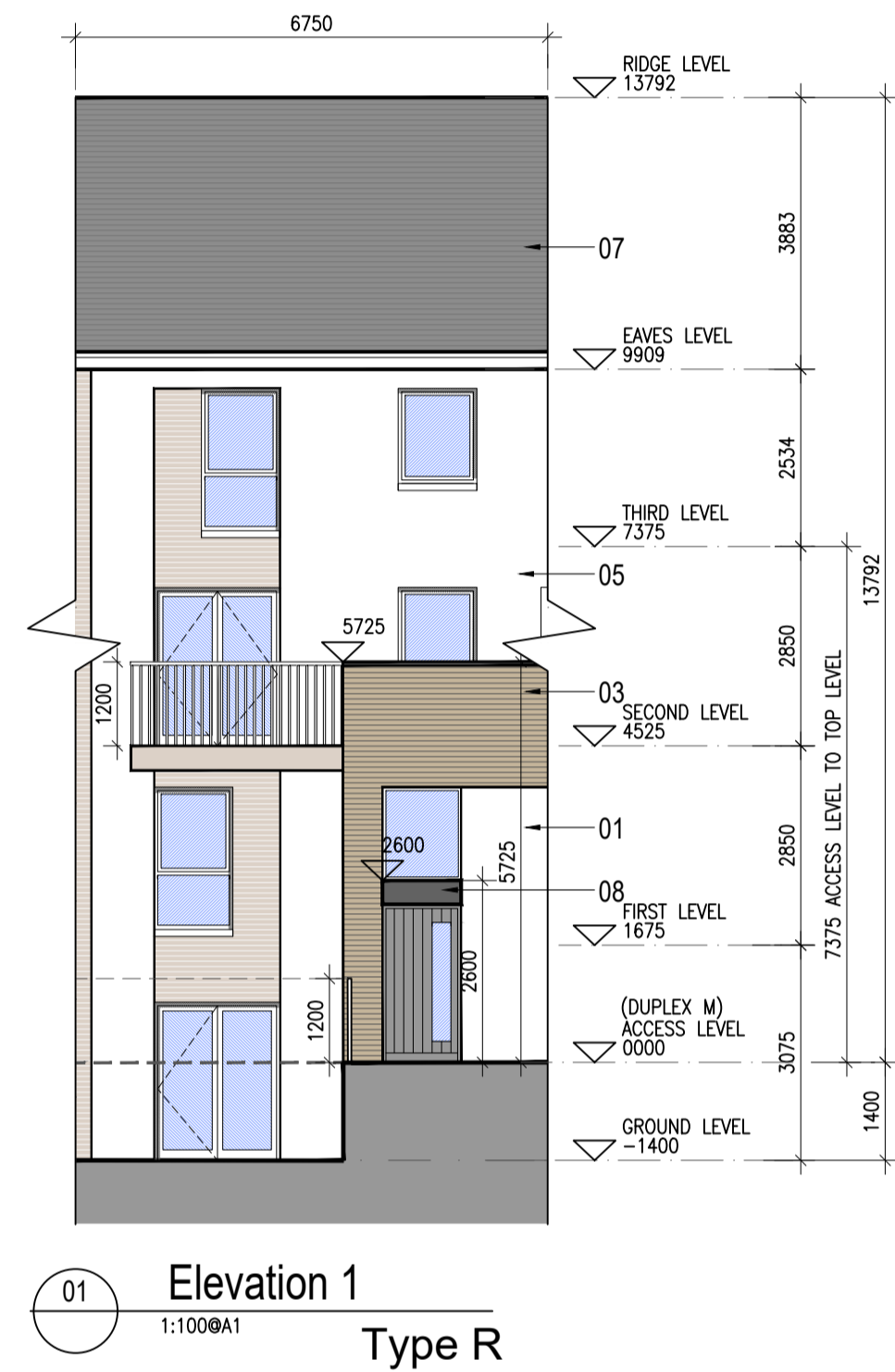
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Duplex Drawings - as submitted under granted planning permission.  
 Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



Indicates unit locations  
**KEY PLAN [NTS]**

**TYPE L1M1 - DUPLEX**



**REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION**

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

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**EXTERNAL FINISHES**

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Notes	Issue Status	No.	Date	Revision	Initials
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3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect	Fire Cert				
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	Information Only				

**Project** Adamstown Extension - Clonburris SDZ Residential Development

**Drawing Title** Duplex Type L1M1 - (mid) Non Handed - Elevations

**Drawing No** 6268-P-207

**Scale** 1:100 @ A1 **Rev** 01 **Drawn** SH/JN/AM **Date** JAN/2023

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 architects@bkd.ie  
**bkdarchitects**  
 BURKE-KENNEDY DOYLE



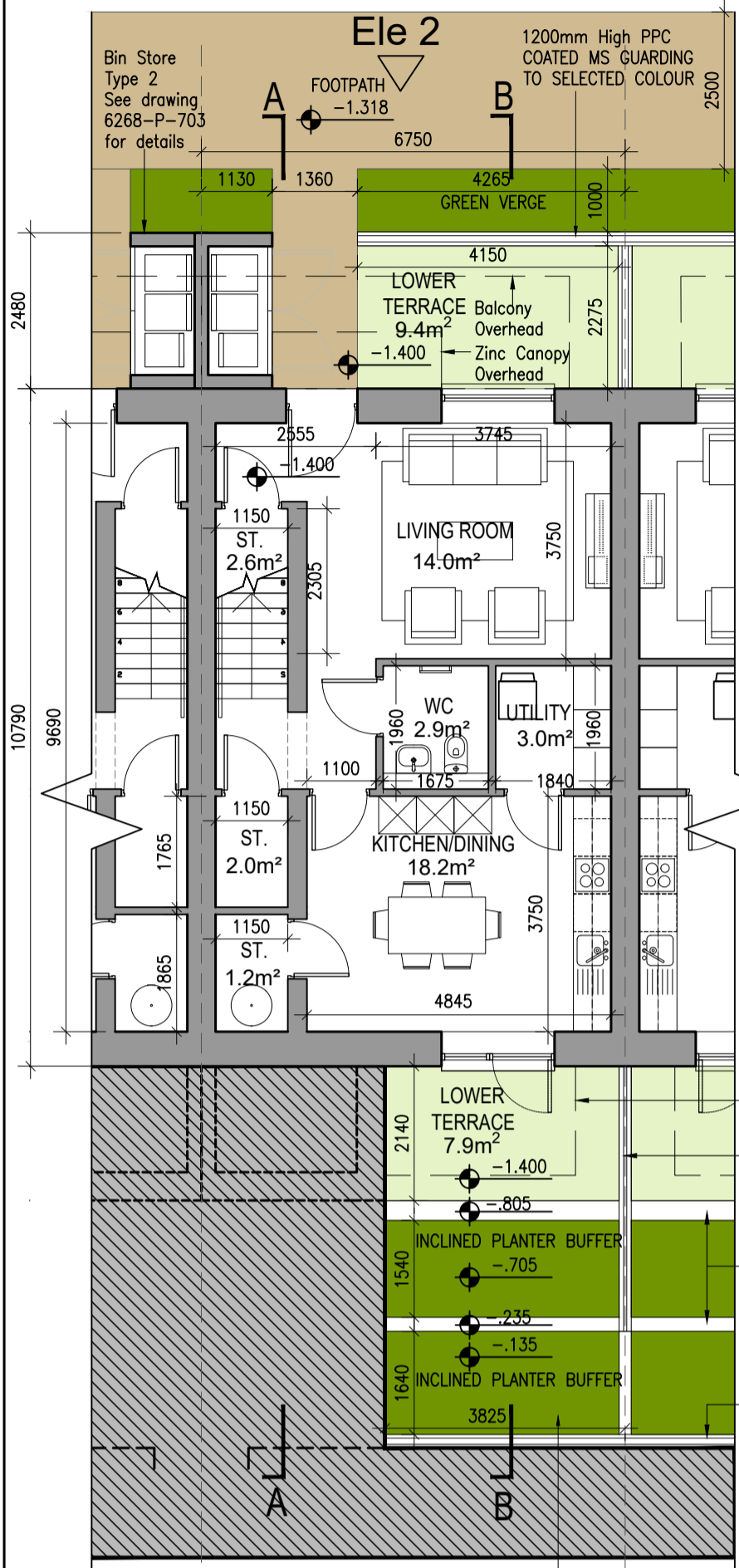
Duplex Drawings - as submitted under granted planning permission.  
 Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022

**TYPE L1 Handed - 2 Bed**  
 Level 00-01- Duplex

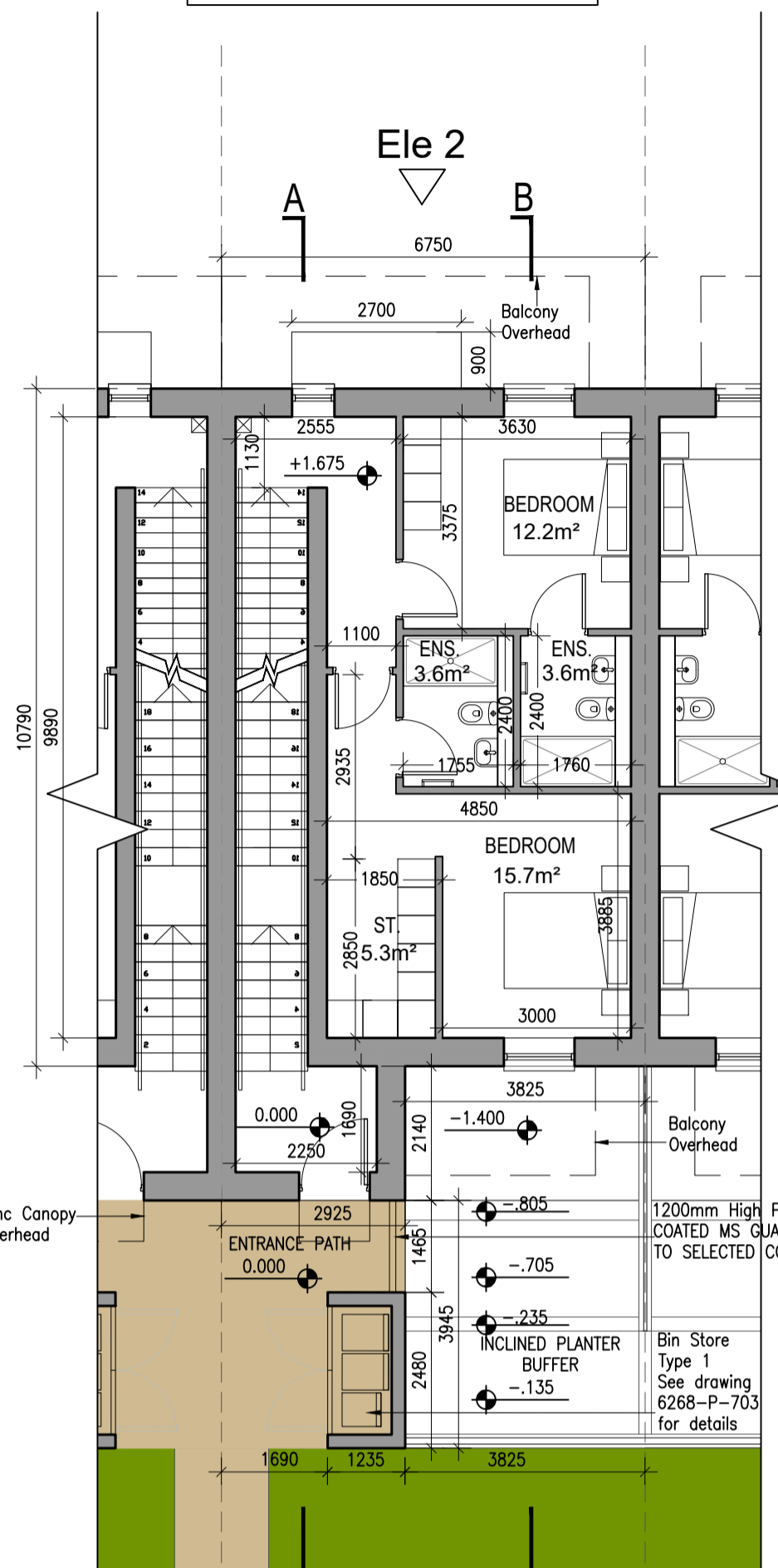
DUPLEX TYPE L	
Ground floor area	61.0m <sup>2</sup>
First floor area	53.0m <sup>2</sup>
Total Floor Area (2-bed unit):	114.0m <sup>2</sup>

**TYPE M1 Handed - 3 Bed**  
 Level 02-03-Duplex

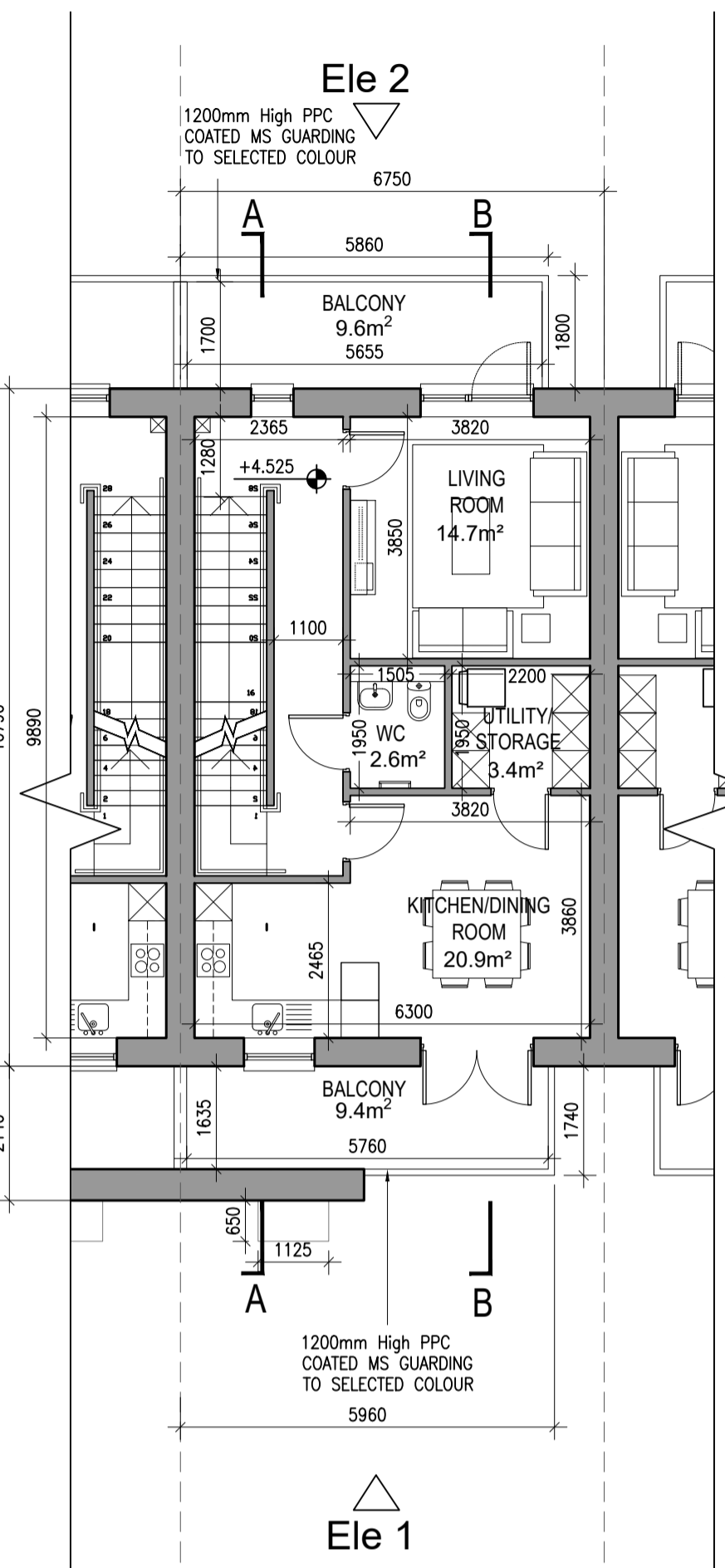
DUPLEX TYPE M	
First floor (stair)	10.9m <sup>2</sup>
Second floor area	62.3m <sup>2</sup>
Third floor area	62.3m <sup>2</sup>
Total Floor Area (3-bed unit):	135.5m <sup>2</sup>



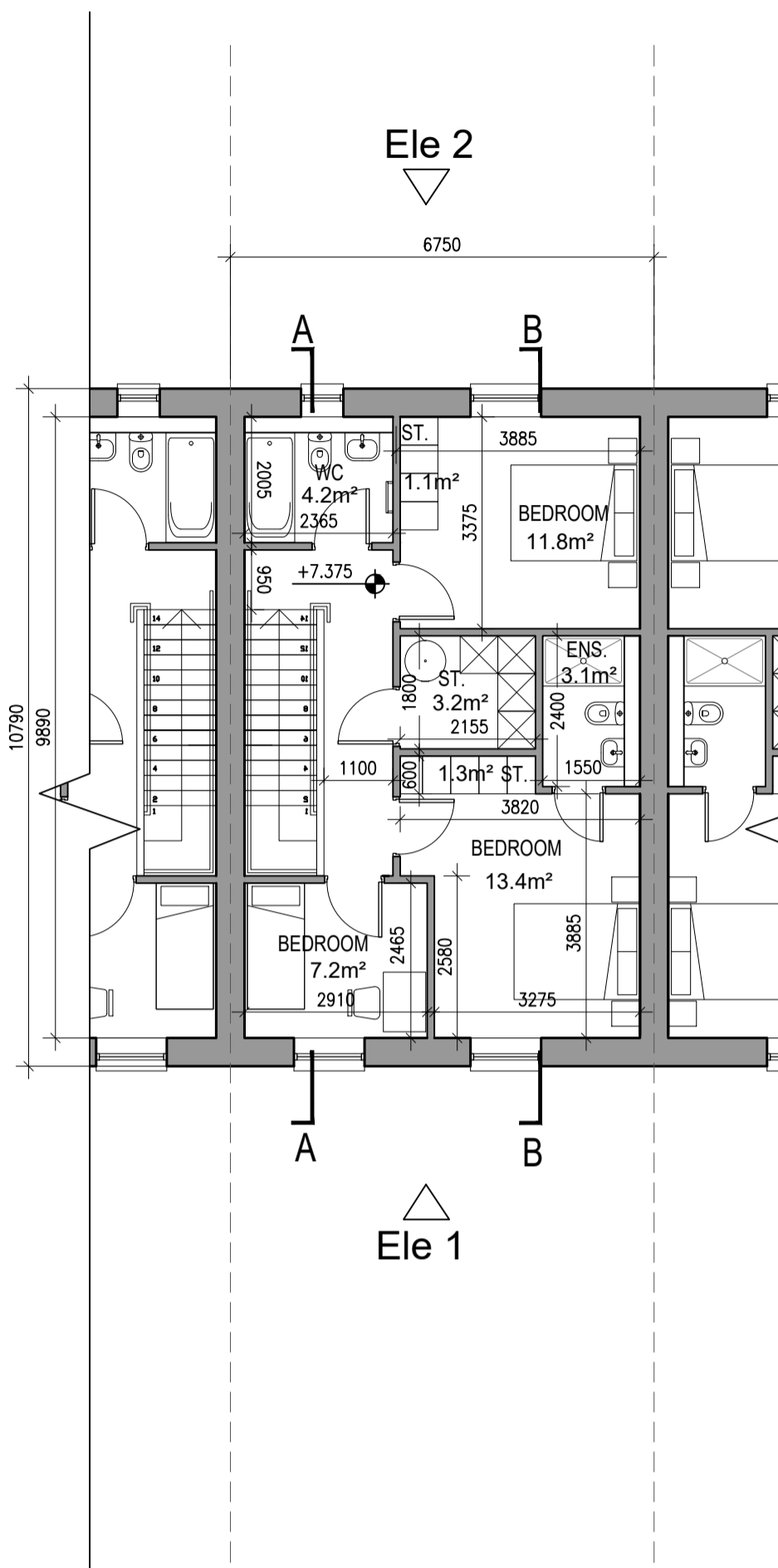
01 Ground Floor Plan Handed



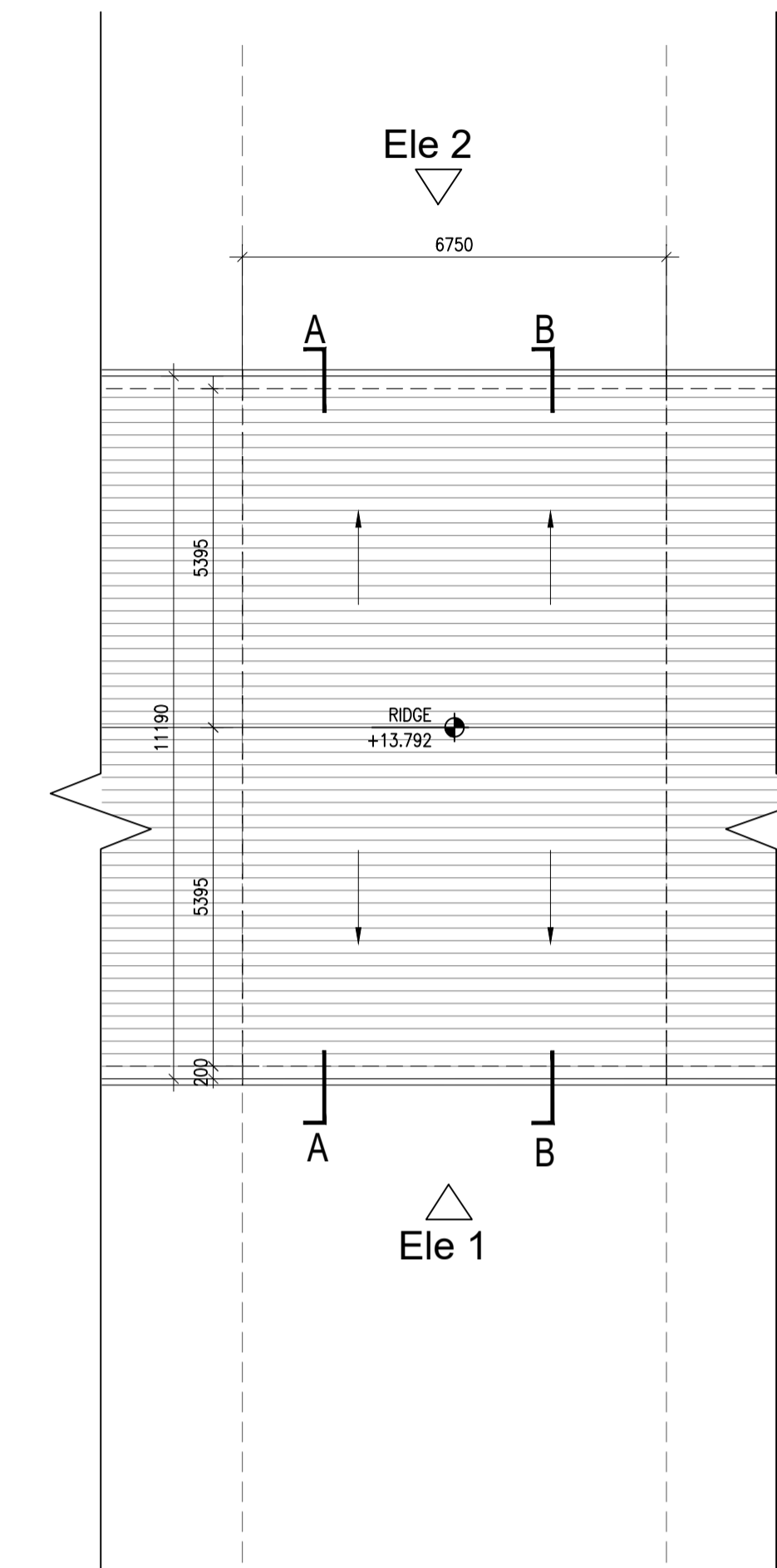
02 First Floor Plan Handed



03 Second Floor Plan Handed



04 Third Floor Plan Handed



05 Roof Plan Handed



Indicates unit locations  
**KEY PLAN [NTS]**

Refer to drawing 6268-P-706 for details of Duplex LM amenity spaces and boundary treatment.

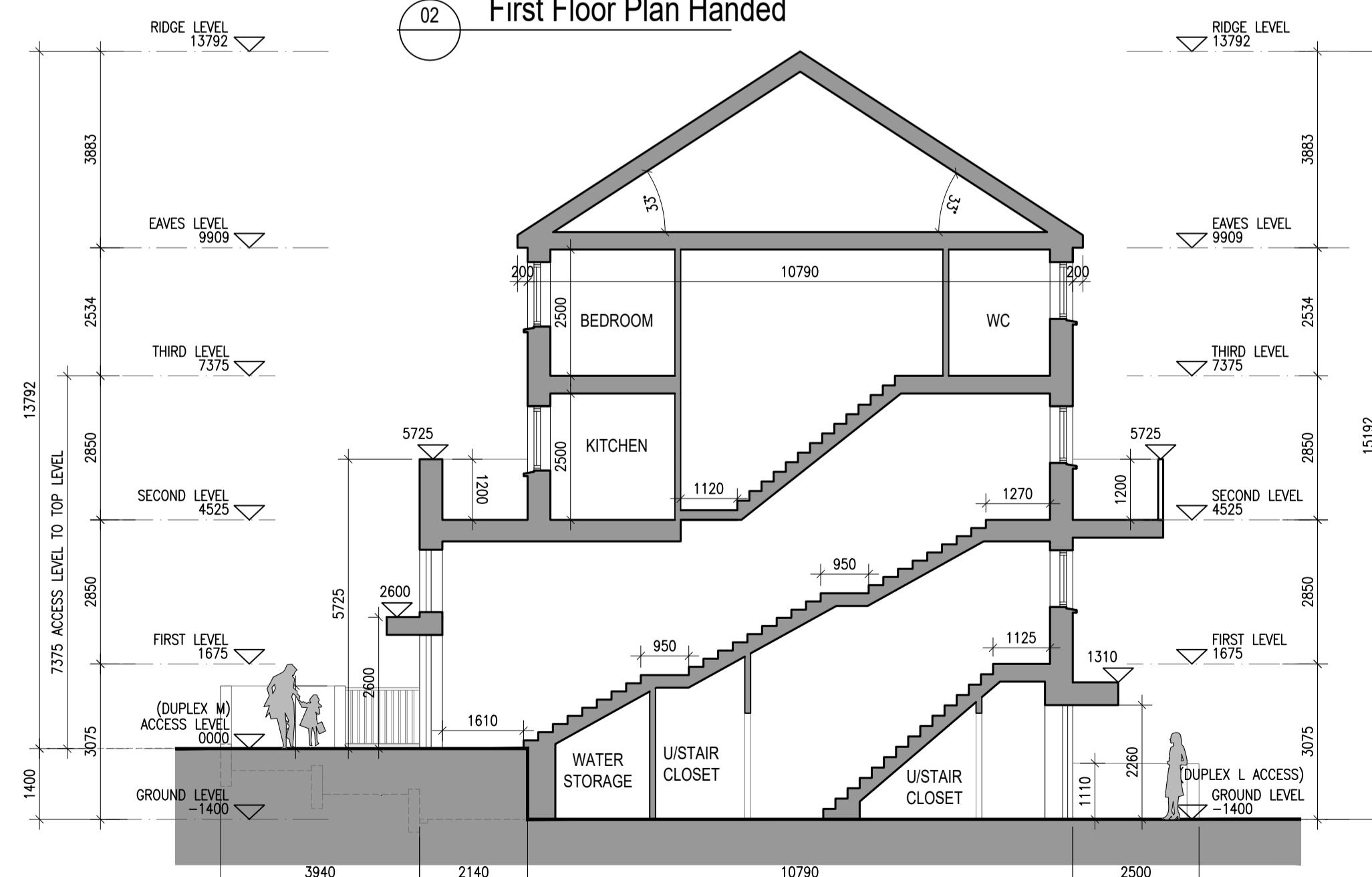
**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

**MATERIAL CODE LEGEND**

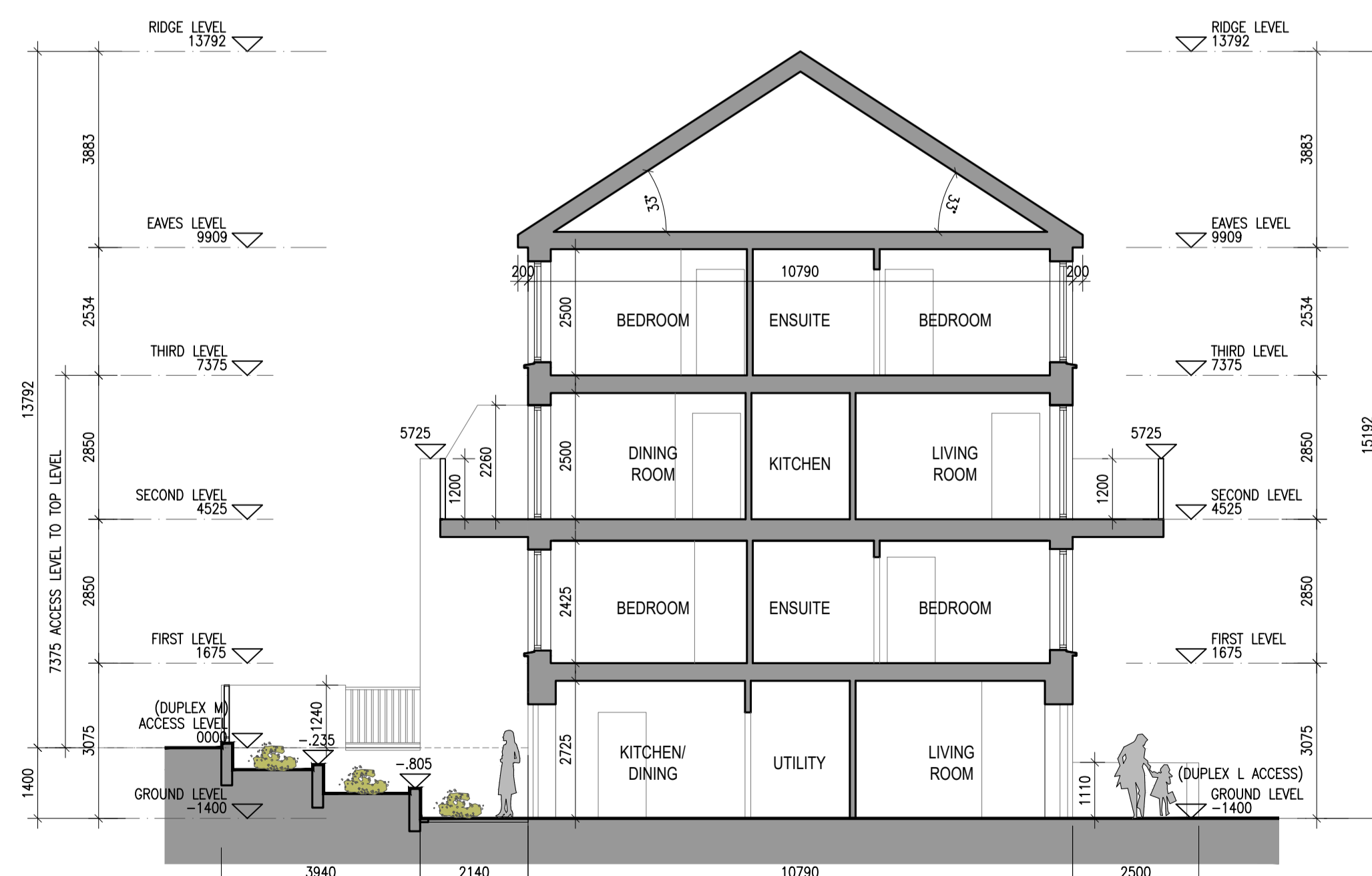
- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
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- MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.
- LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS
- OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIA, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES



06 Typical Section A-A Handed



07 Typical Section B-B Handed

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Issue Status  
 Progress  
 Planning Application  
 Fire Cert  
 Disability Cert  
 Tender  
 Construction  
 As Built  
 Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type L1M1 - (mid) Handed-Plans & Section
Drawing No.	6268-P-208
Scale	1:100 @ A1
Rev	01
Drawn	SH/JN/AM
Date	JAN/2023

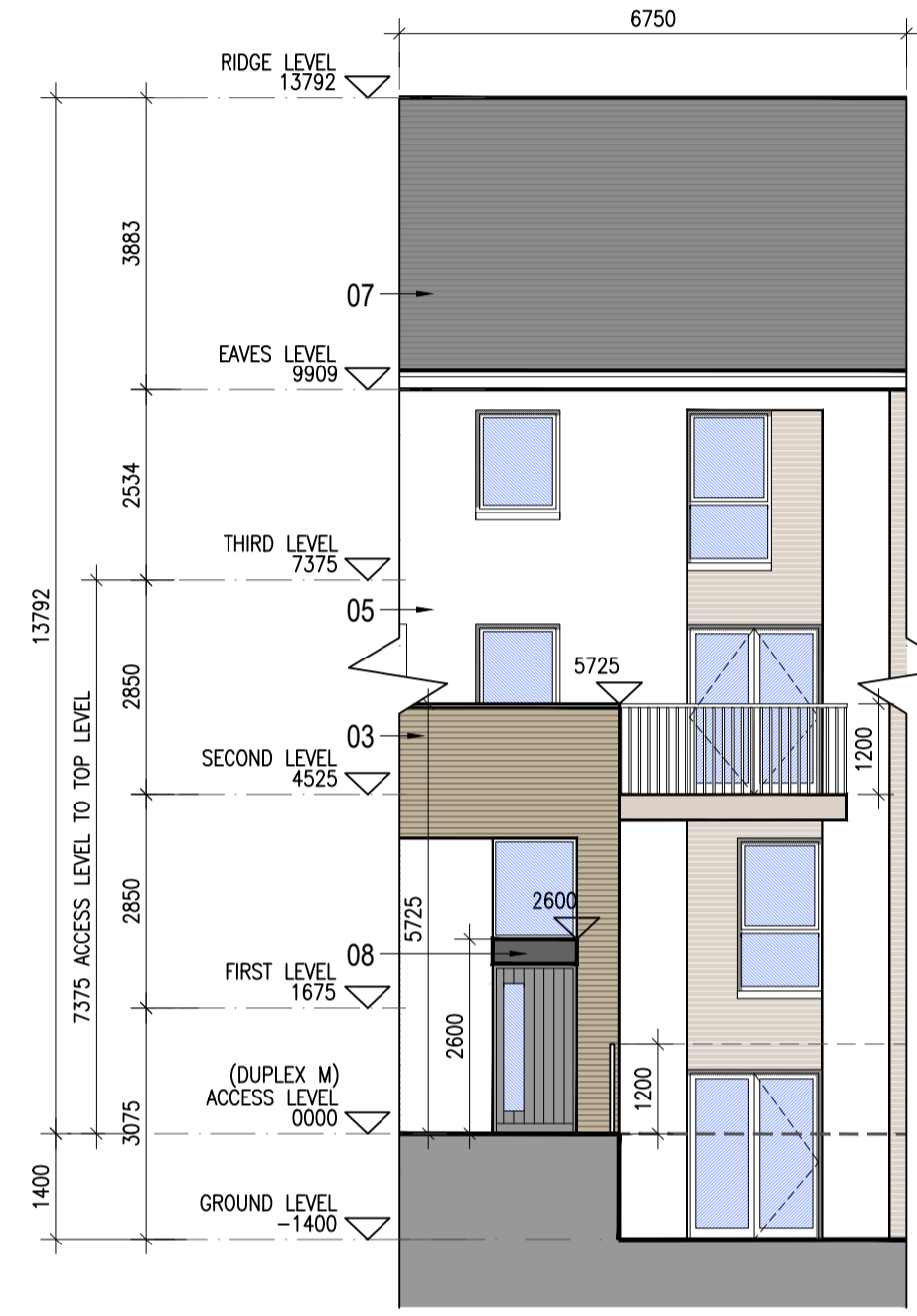
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 www.bkd.ie  
**bkdarchitects**  
 BURKE-KENNEDY DOYLE

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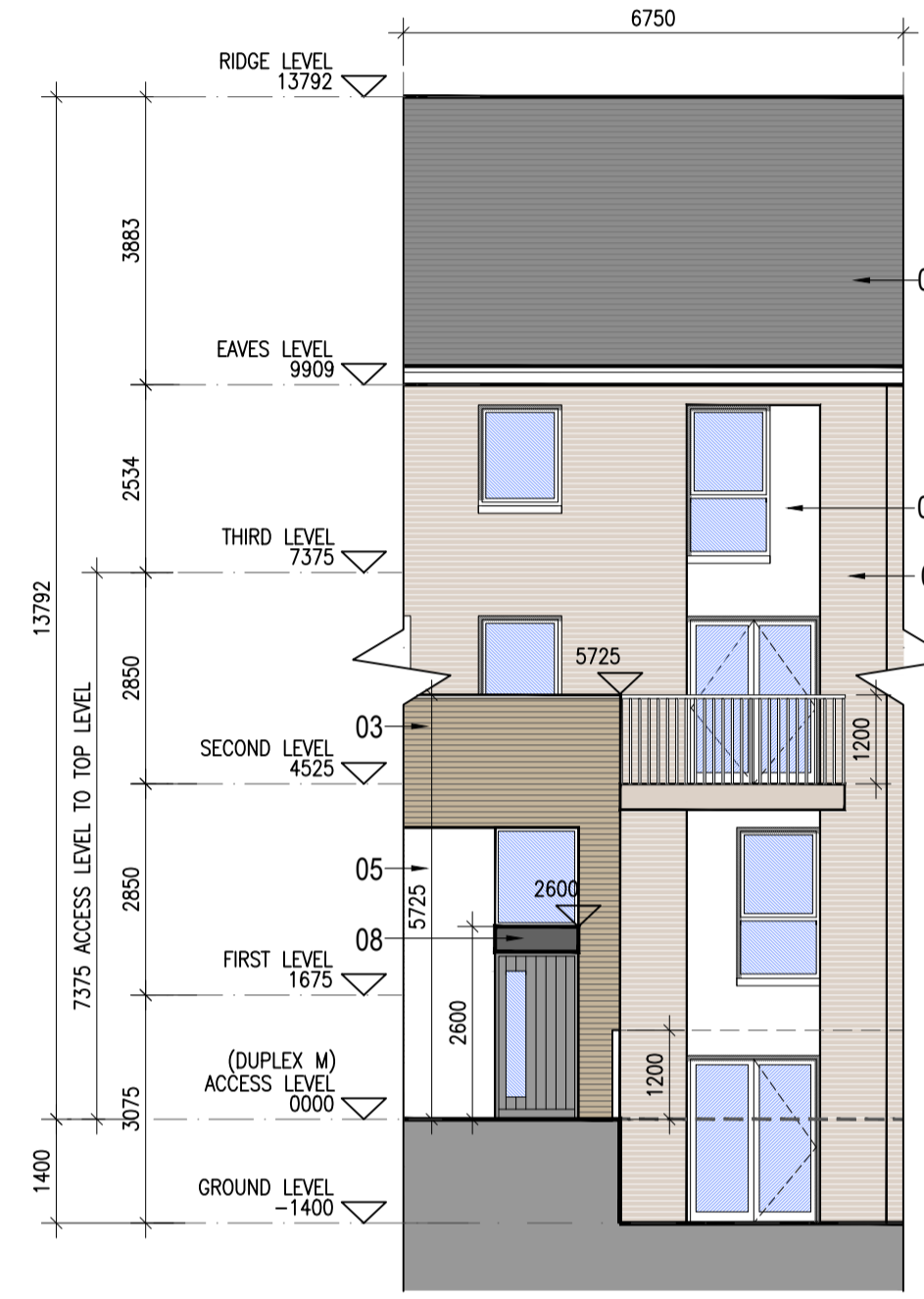


Indicates unit locations  
**KEY PLAN [NTS]**

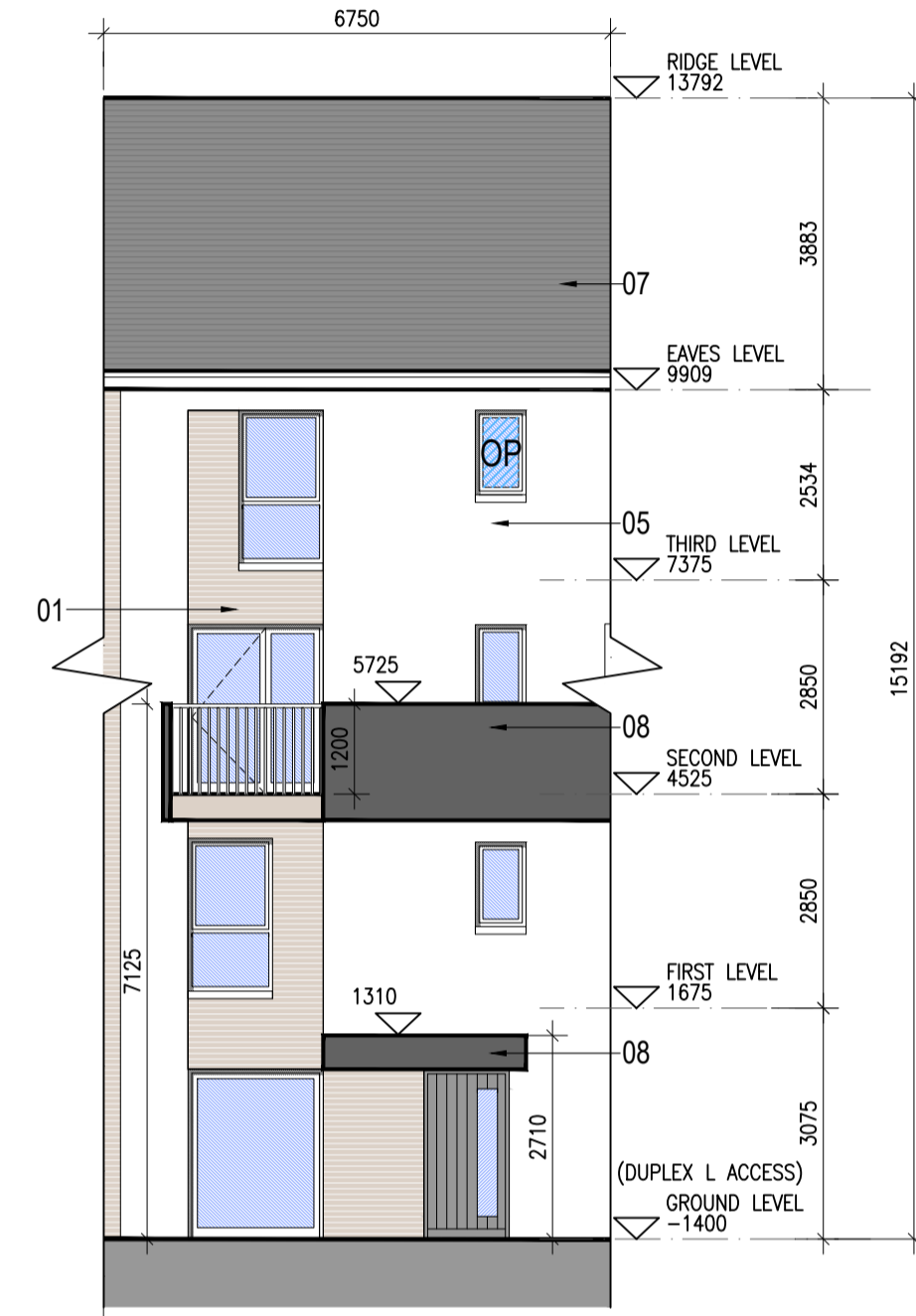
**TYPE L1M1 Handed - DUPLEX**



01 Elevation 1 Handed  
 1:100@A1 Type R



02 Elevation 1 Handed  
 1:100@A1 Type L



03 Elevation 2 Handed  
 1:100@A1 Type R

**REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION**

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

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- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPAFICIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

- WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
- WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.
- DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
- RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
- MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.
- LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS
- OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

Notes	Issue Status	No.	Date	Revision	Initials
1. Copyright Reserved	Progress	01	27/01/23	Planning Application	AM
2. Work to figure dimensions only. Do not scale drawing	Planning Application				
3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect	Fire Cert				
4. Where appropriate, for details of r.c. structure, or mechanical and electrical details, see Engineers drawings	Disability Cert				
5. Proprietary items shall be fixed in strict accordance with manufacturers instructions.	Tender				
6. Sizes of proprietary items shall be checked with manufacturer.	Construction				
7. The contractor shall be responsible for the coordination of structure, finishes and services.	As Built				
	Information Only				

**Project** Adamstown Extension - Clonburris SDZ Residential Development

**Drawing Title** Duplex Type L1M1 - (mid) Handed - Elevations

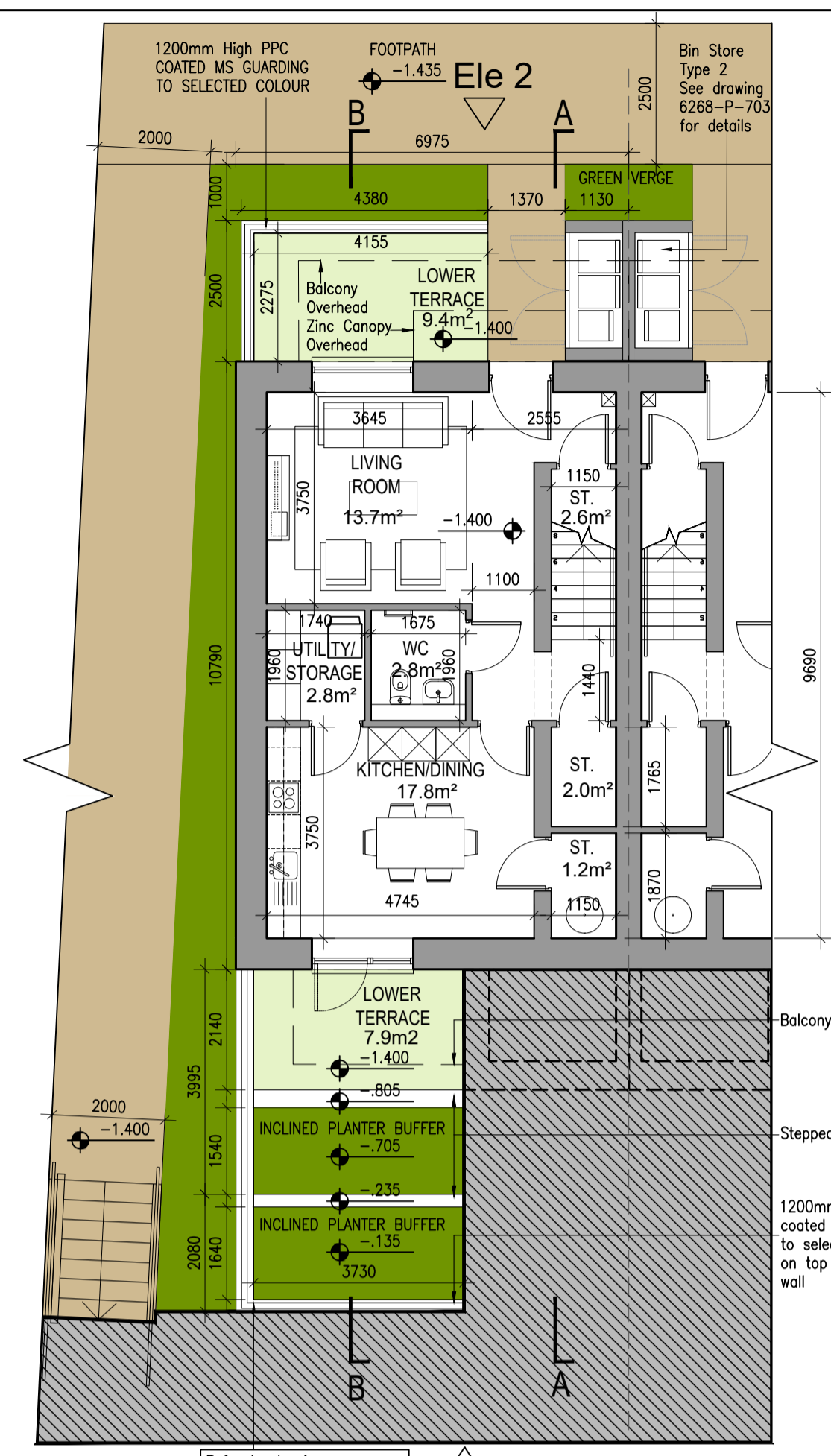
**Drawing No** 6268-P-209

**Scale** 1:100 @ A1 **Rev** 01 **Drawn** SH/JN/AM **Date** JAN/2023

**6-7 HARDCOURT TERRACE, DUBLIN 2, IRELAND**  
 1-353-1-618-2400 1-353-1-676-7306  
 architects@bkd.ie  
**bkdarchitects**  
 BURKE-KENNEDY DOYLE

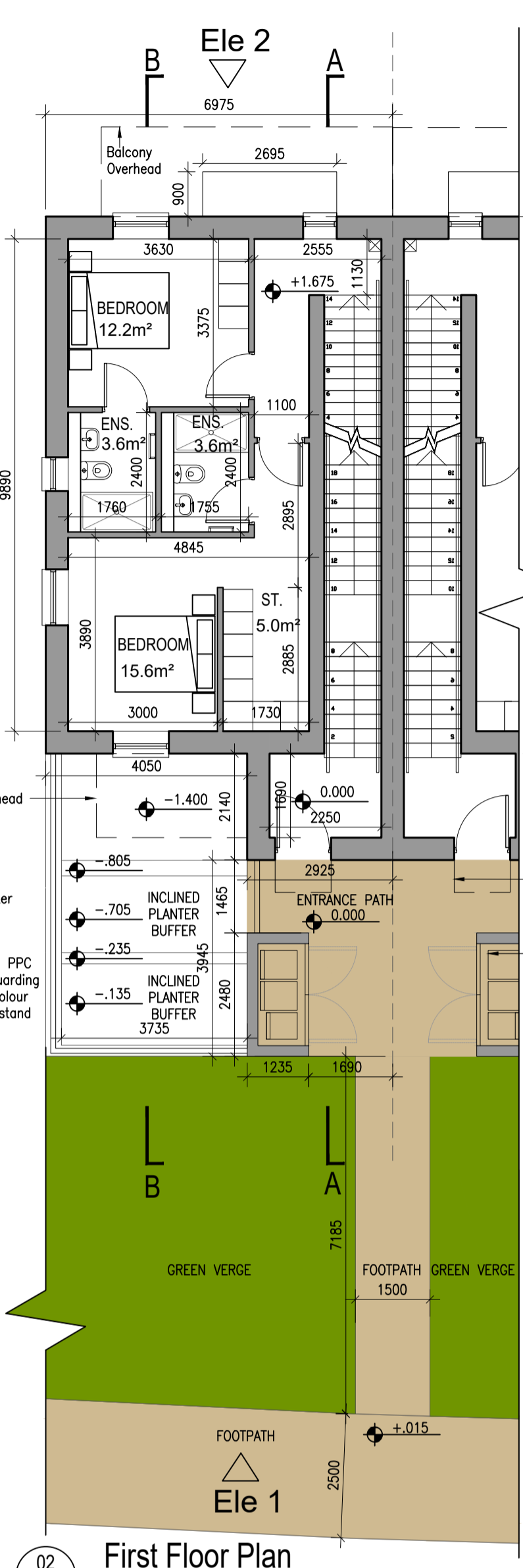
**TYPE L2 - 2 Bed  
Level 00-01- Duplex**

DUPLUX TYPE L	
Ground floor area	60.0m <sup>2</sup>
First floor area	53.0m <sup>2</sup>
Total Floor Area (2-bed unit):	113.0m <sup>2</sup>



01 Ground Floor Plan

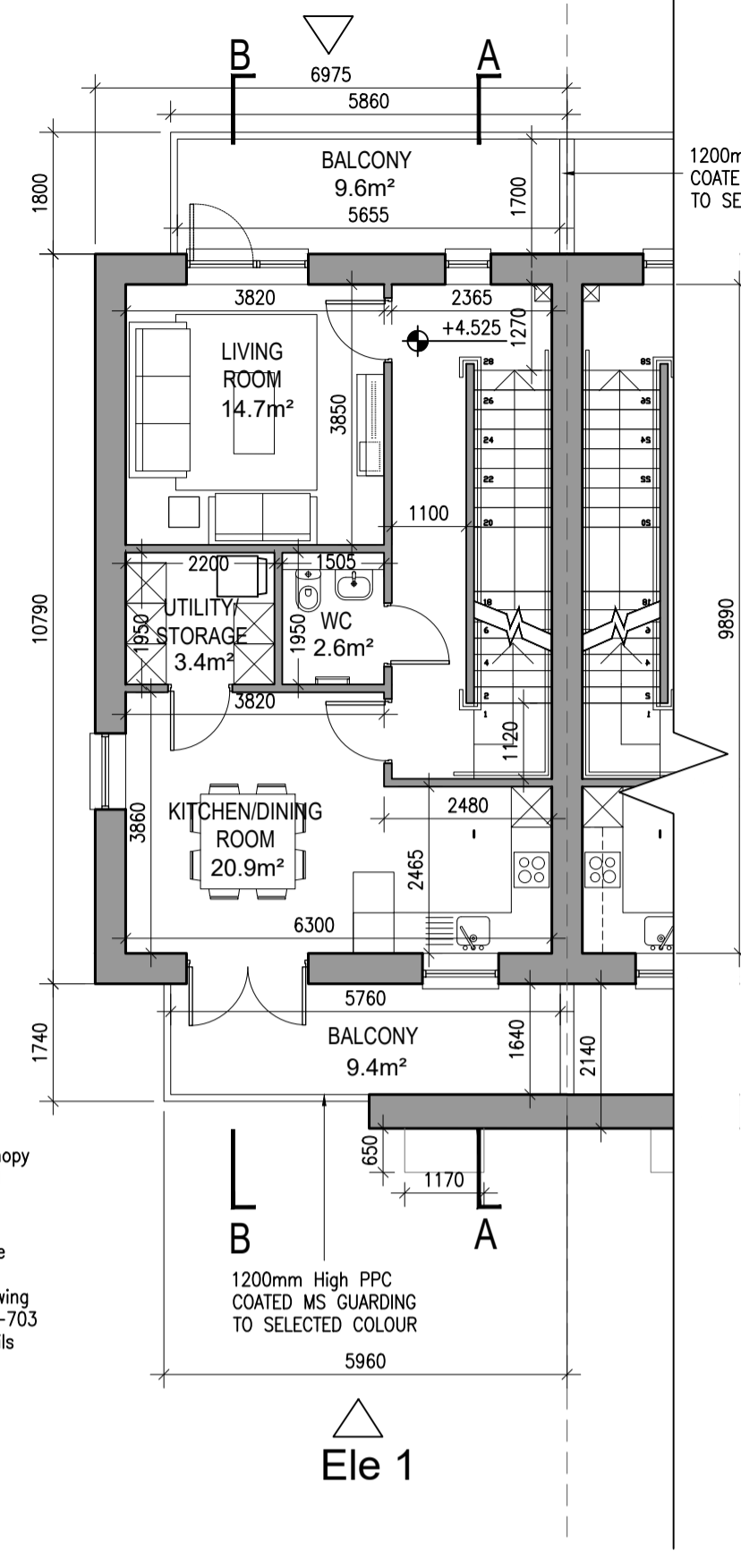
**Level 02-03-Duplex**



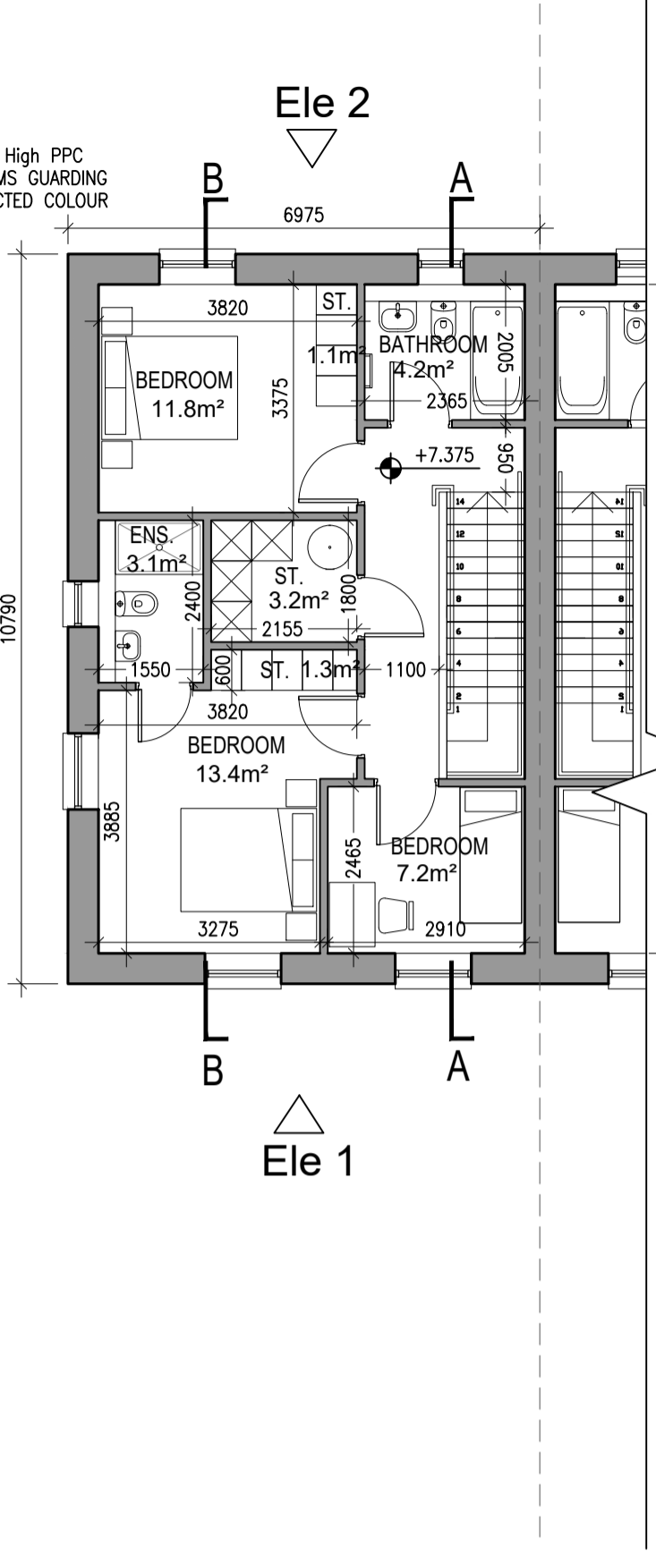
02 First Floor Plan

**TYPE M2 - 3 Bed**

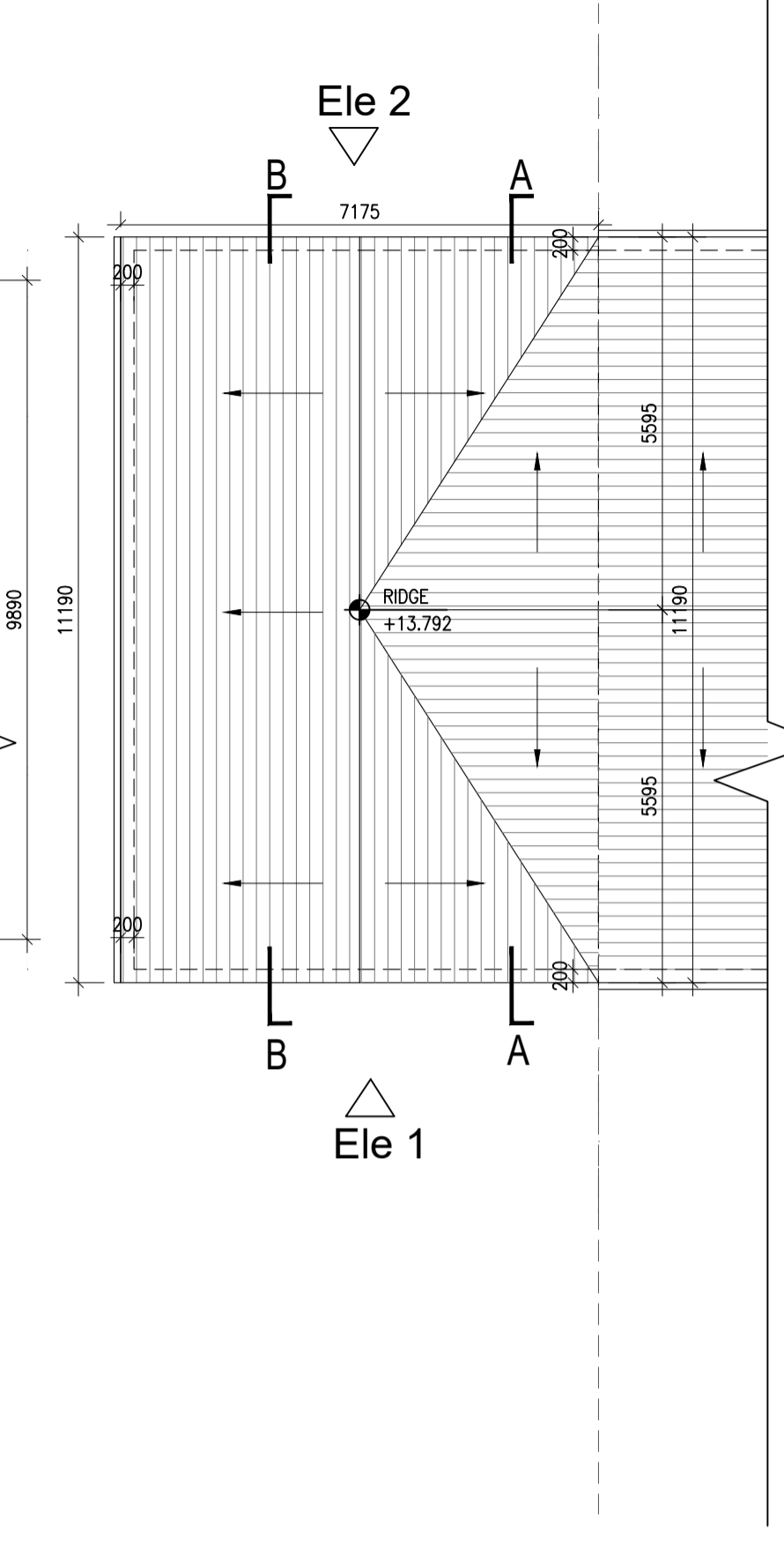
DUPLUX TYPE M	
First floor (stair)	10.9m <sup>2</sup>
Second floor area	62.2m <sup>2</sup>
Third floor area	62.2m <sup>2</sup>
Total Floor Area (3-bed unit):	135.3m <sup>2</sup>



03 Second Floor Plan



04 Third Floor Plan

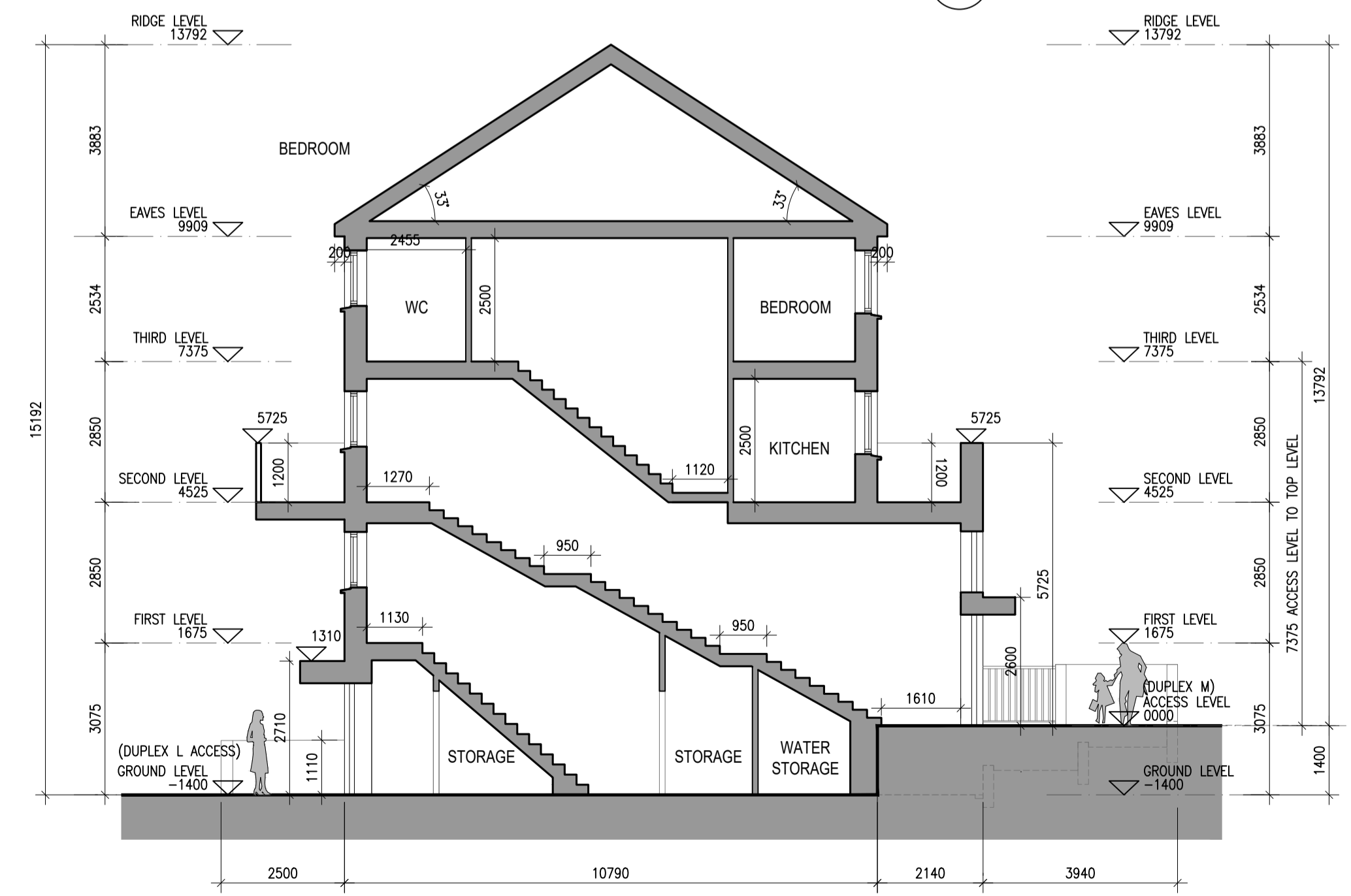


05 Roof Plan

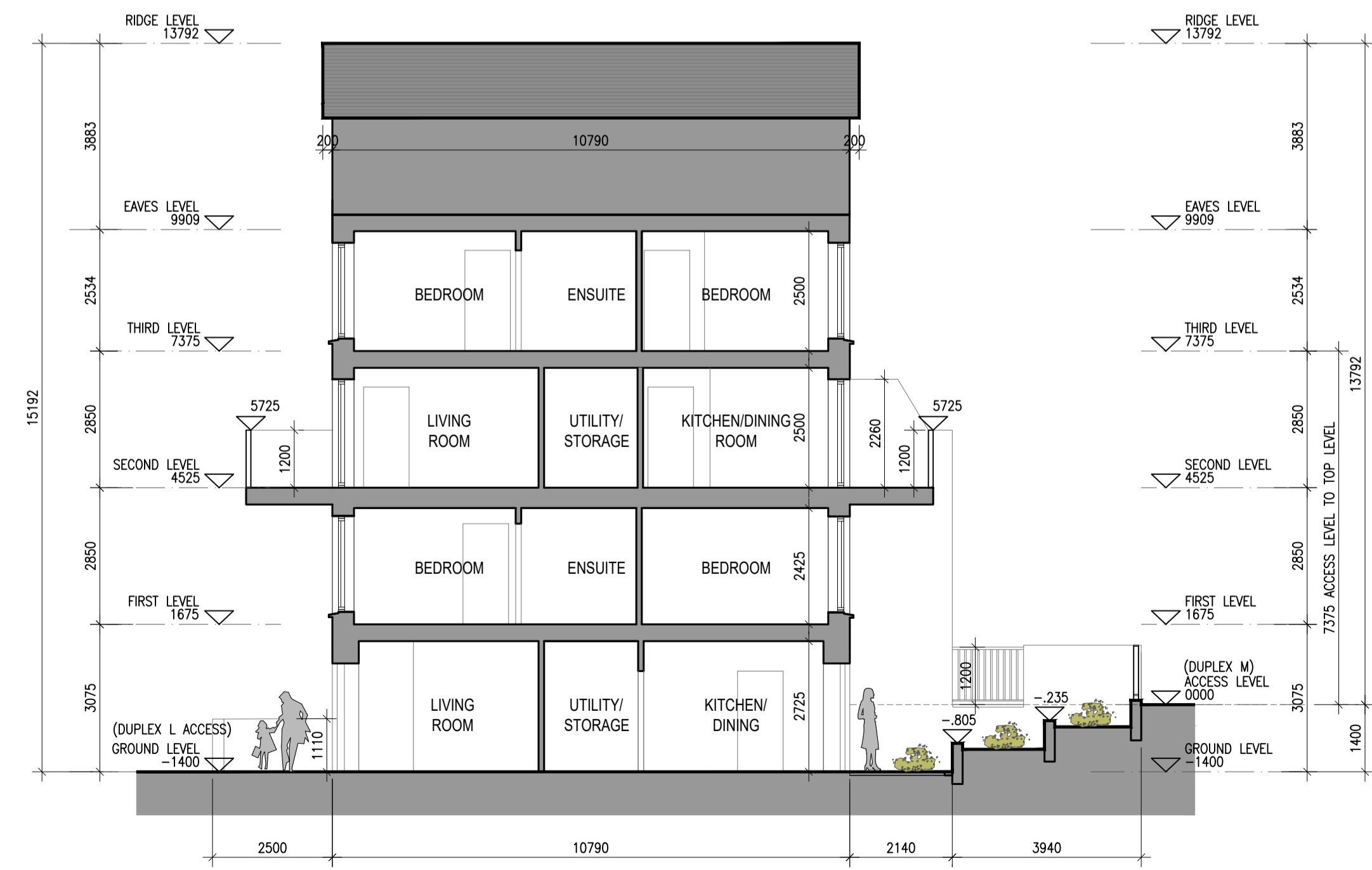


Indicates unit locations  
**KEY PLAN [NTS]**

Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



06 Typical Section A-A  
1:100@A1



07 Typical Section B-B  
1:100@A1

**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

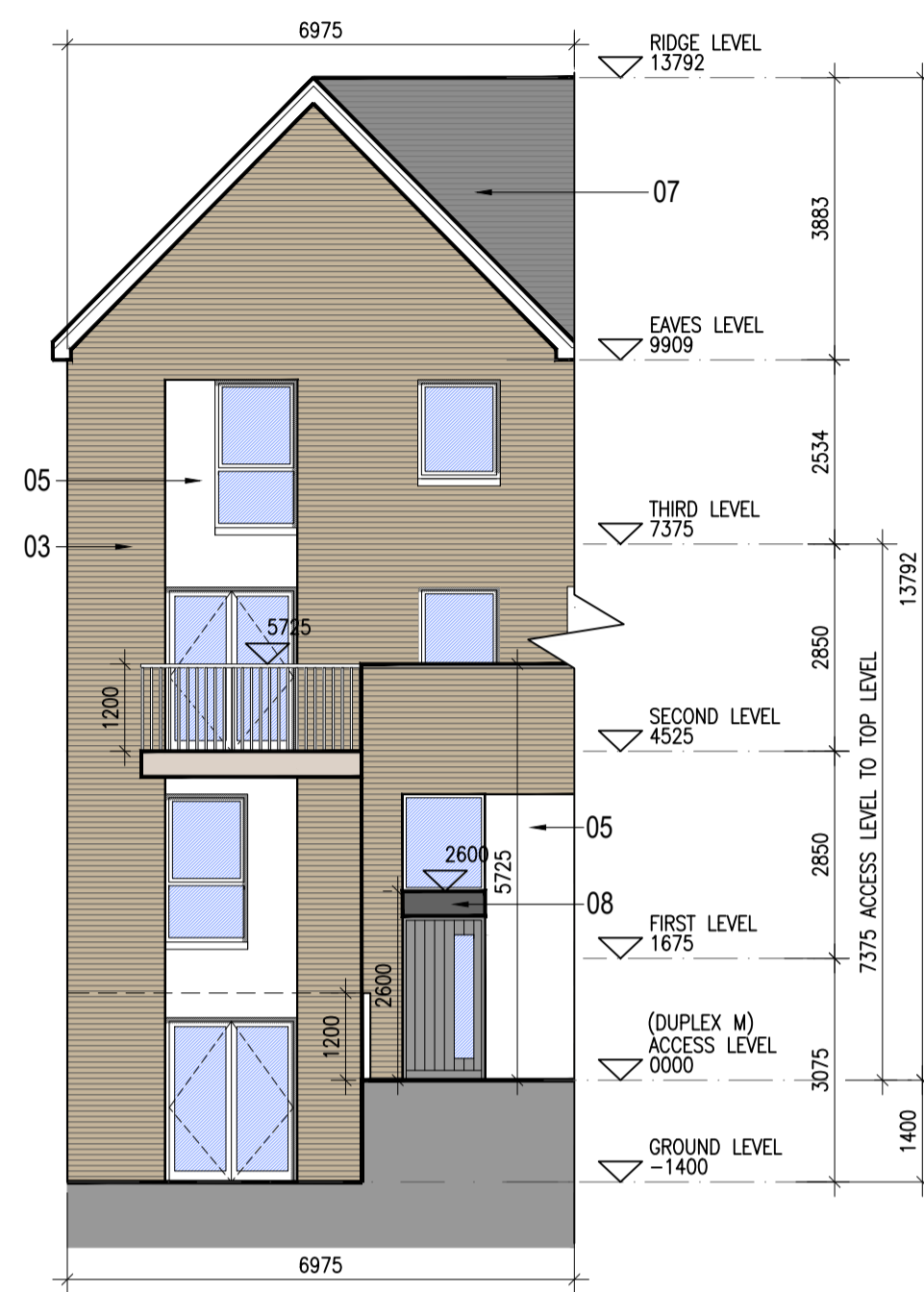
**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

Notes	Issue Status
1. Copyright Reserved	Progress
2. Work to signed dimensions only. Do not scale drawing.	Planning Application
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7. The contractor shall be responsible for the coordination of structure, finishes and services.	As Built
	Information Only

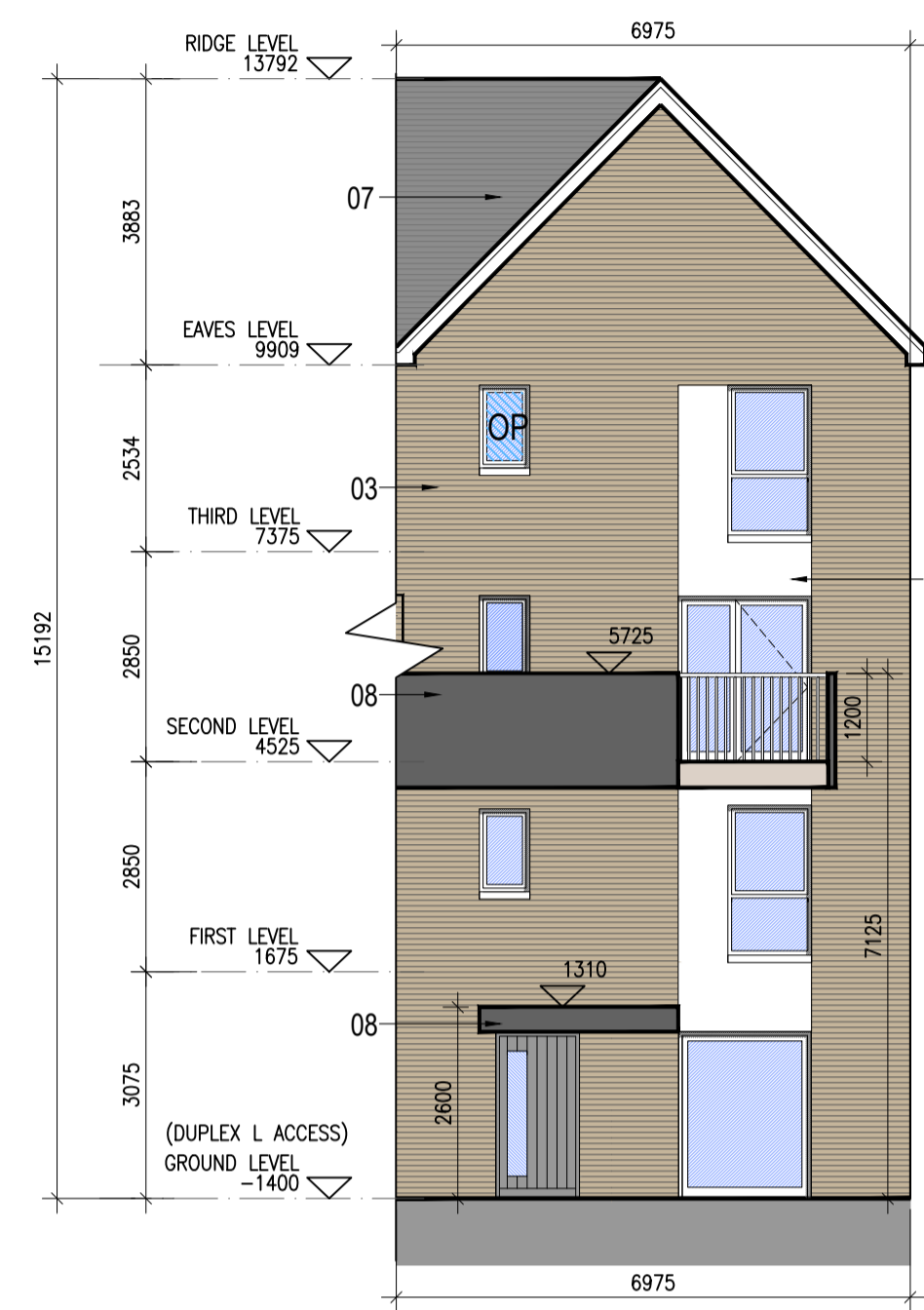
No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development	6-7 HARDCOURT TERRACE, DUBLIN 2, IRELAND T: +353-1-618-2400 F: +353-1-676-7365 www.bkd.ie			
Drawing Title	Duplex Type L2M2 - (end) Non-Handed-Plans & Section	<b>bkdarchitects</b> BURKE-KENNEDY DOYLE			
Drawing No.	6268-P-210				
Scale	1:100 @ A1				
Rev	01	Drawn	SH	Date	JAN/2023

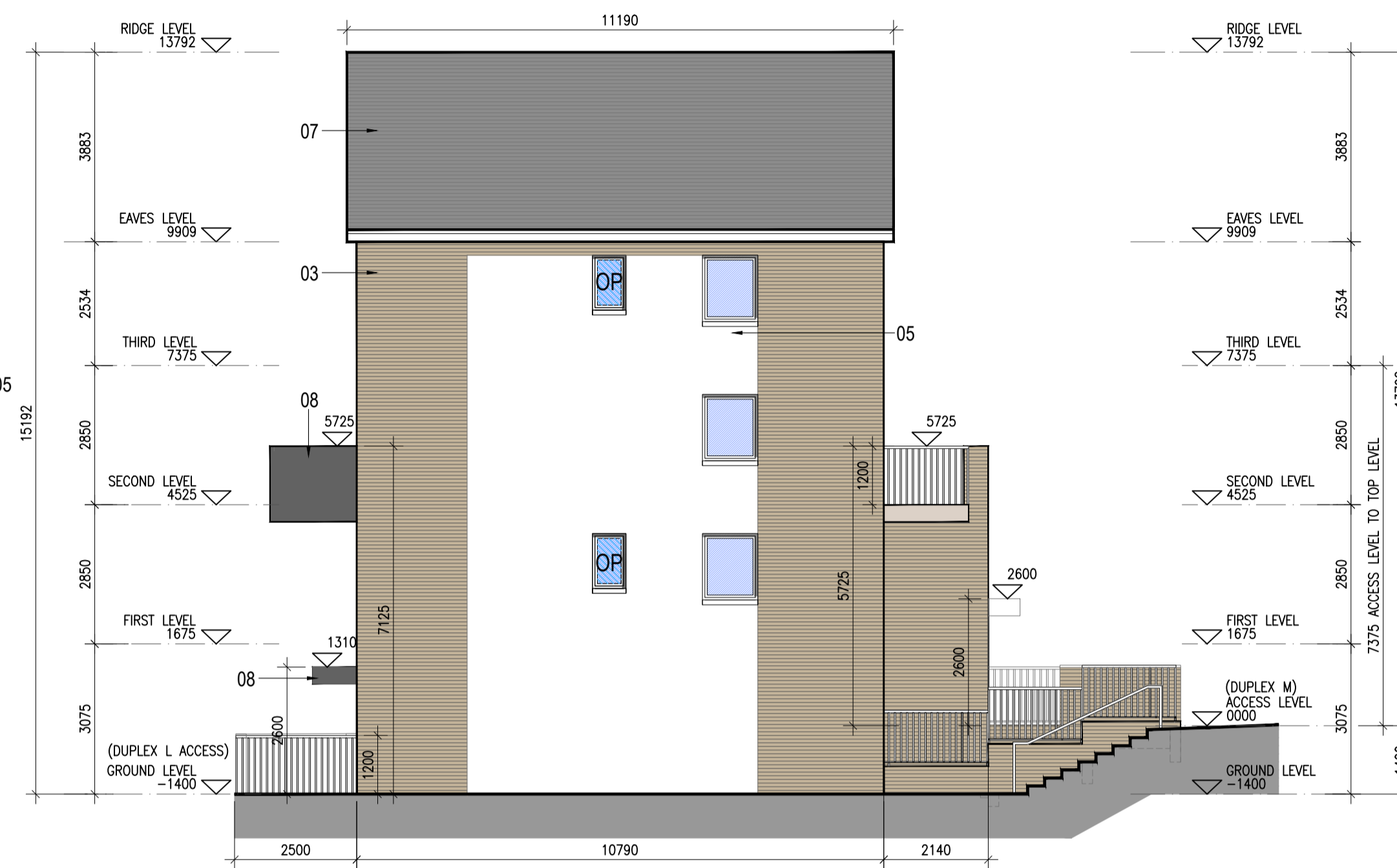
Duplex Drawings - as submitted under granted planning permission.  
 Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



01 Elevation 1  
 1:100@A1 Type D



02 Elevation 2  
 1:100@A1 Type D



03 Side Elevation (North facing)  
 1:100@A1 Type D



Indicates unit locations  
**KEY PLAN [NTS]**

MATERIAL CODE LEGEND	
01	BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
02	BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
03	BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
04	BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
05	SELF COLOURED RENDER - LIGHT APPROVED TONE
06	SELF COLOURED RENDER - DARK APPROVED TONE
07	CONCRETE ROOF TILES - DARK APPROVED TONE
08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
09	POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
10	CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
11	OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
WINDOWS:	SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.
DOORS:	SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
RAINWATER GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

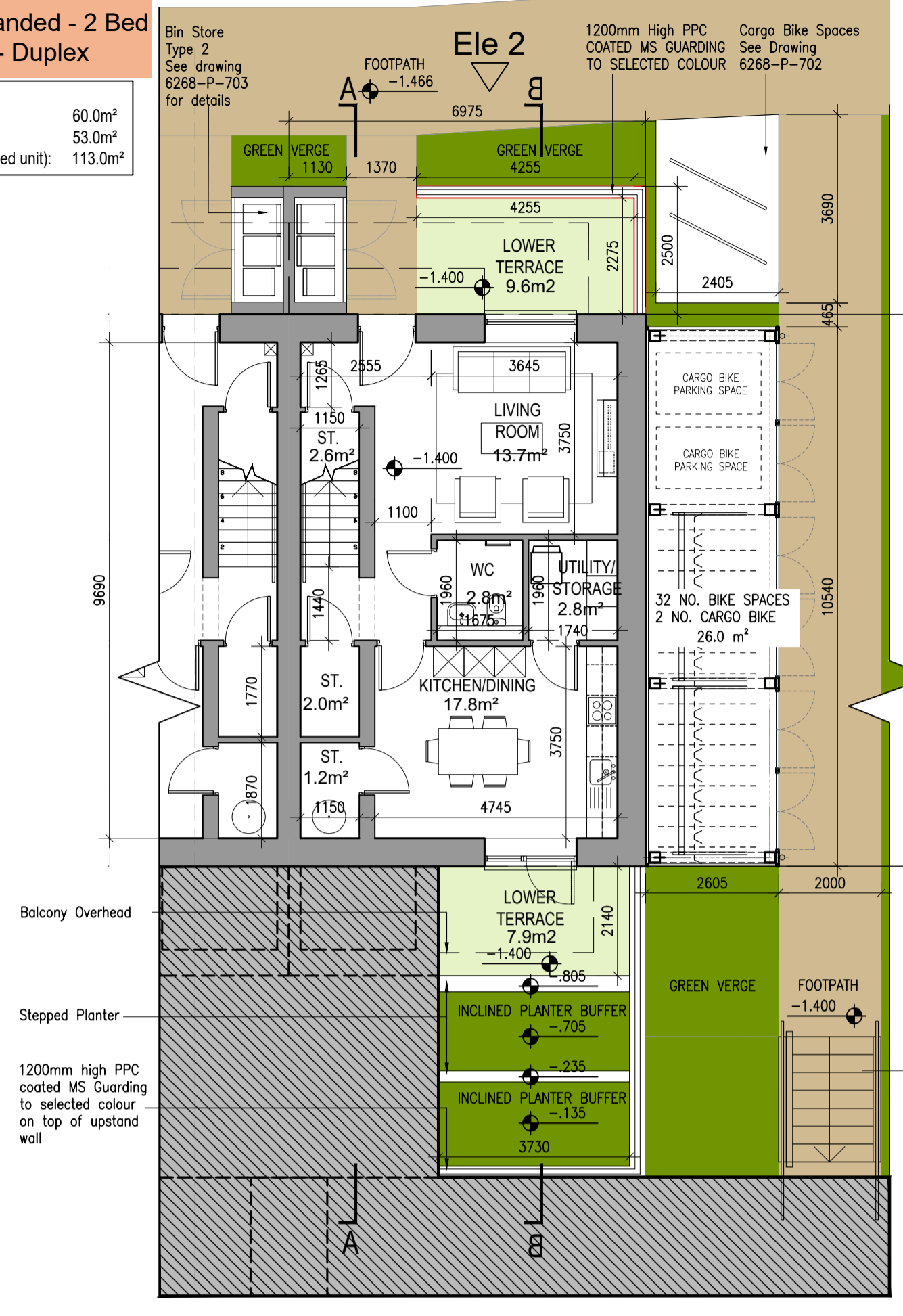
Notes	Issue Status	No.	Date	Revision	Initials
1. Copyright Reserved	Progress	01	27/01/23	Planning Application	AM
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7. The contractor shall be responsible for the coordination of structure, finishes and services.					

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type L2M2 - (end) Non Handed - Elevations
Drawing No	6268-P-211
Scale	1:100 @ A1
Rev	01
Drawn	SH
Date	JAN/2023

6-7 HARWOOD TERRACE, DUBLIN 2, IRELAND  
 1-353-1-6182400 1-353-1-6767366  
 architects@bkd.ie  
**bkdarchitects**  
 BURKE-KENNEDY DOYLE

**TYPE L2 Handed - 2 Bed Level 00-01- Duplex**

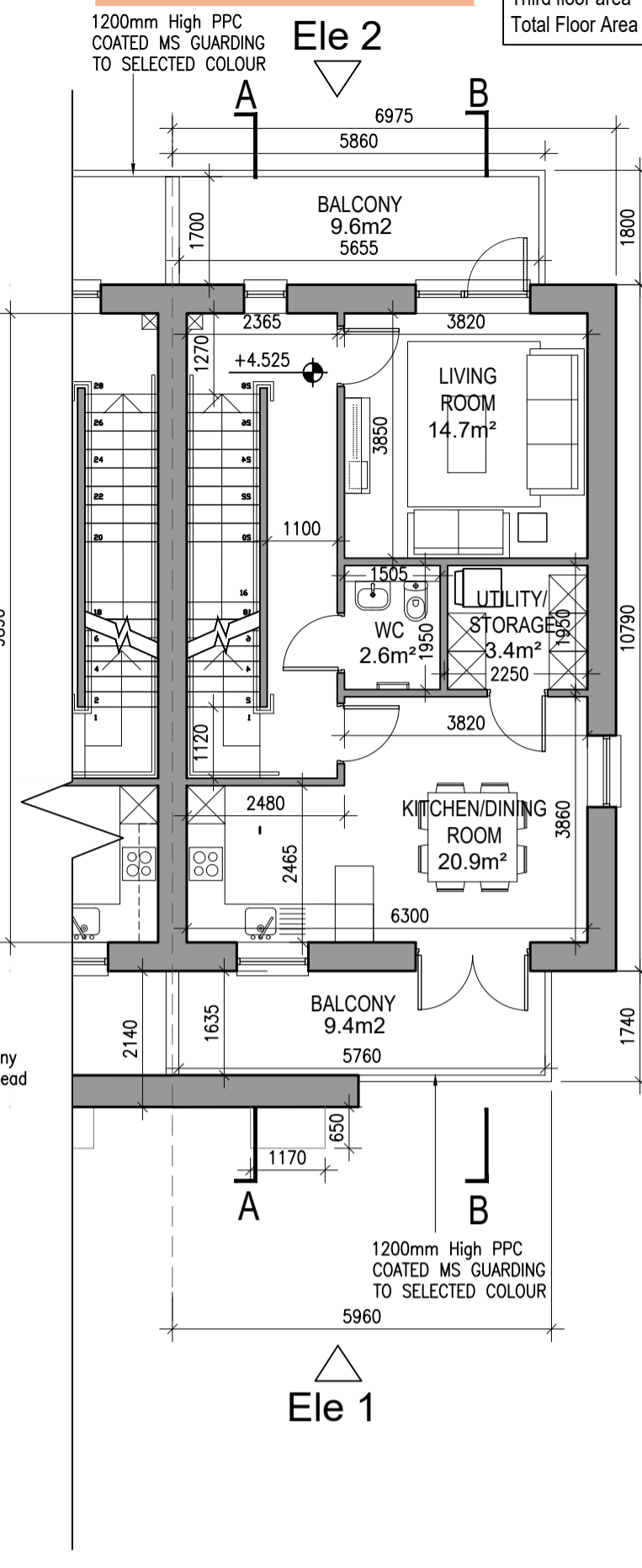
DUPLEX TYPE L  
Ground floor area 60.0m<sup>2</sup>  
First floor area 53.0m<sup>2</sup>  
Total Floor Area (2-bed unit): 113.0m<sup>2</sup>



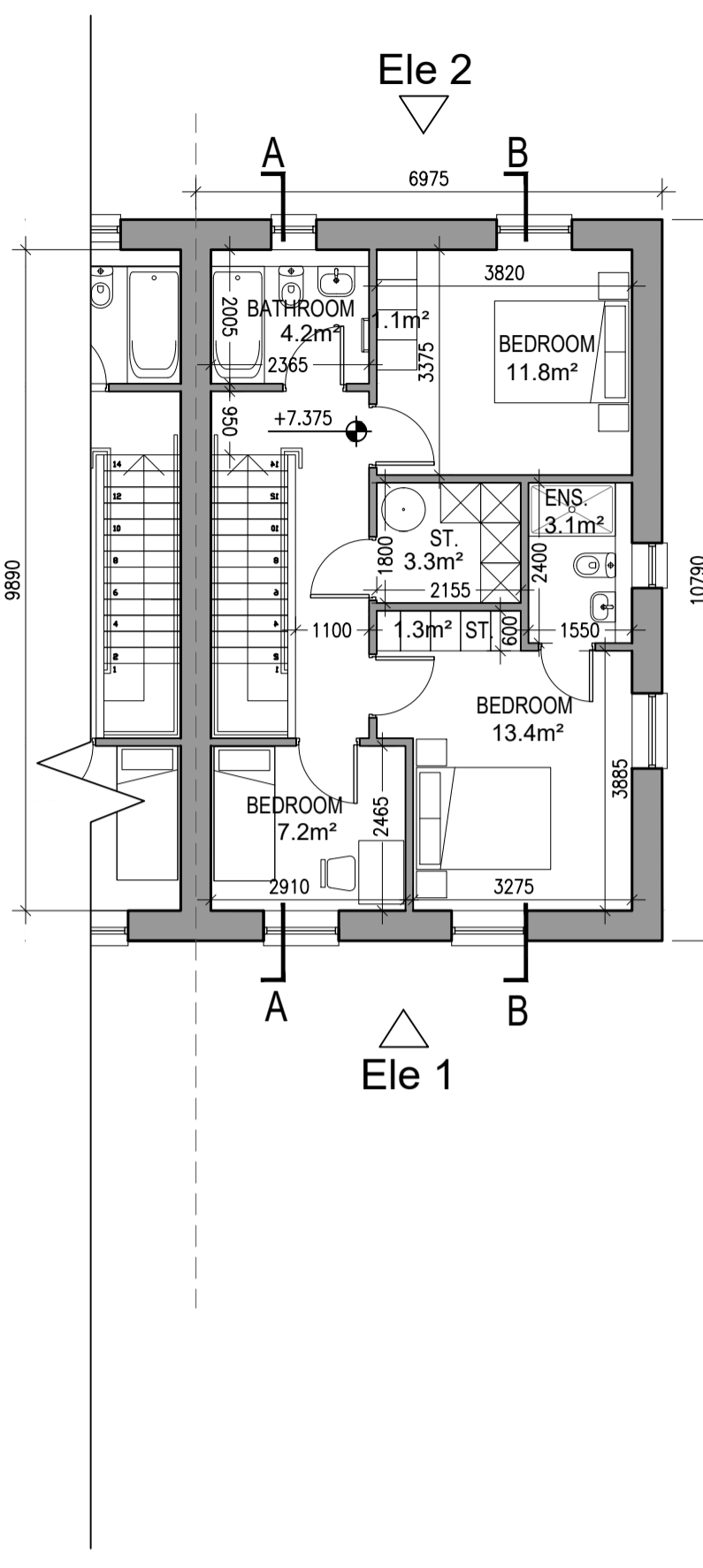
01 Ground Floor Plan Handed

**TYPE M2 Handed - 3 Bed Level 02-03-Duplex**

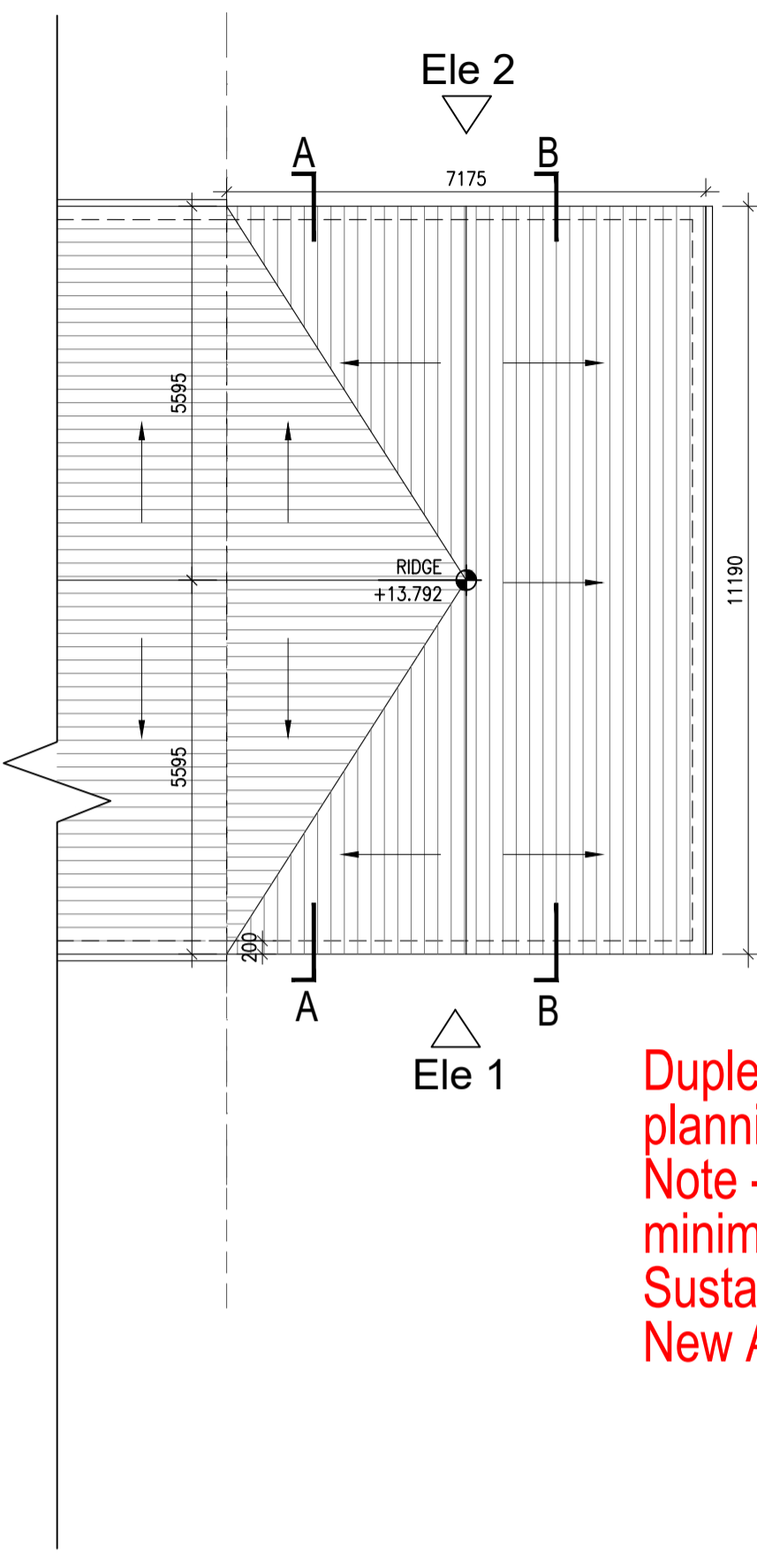
DUPLEX TYPE M  
First floor (stair) 10.9m<sup>2</sup>  
Second floor area 62.2m<sup>2</sup>  
Third floor area 62.2m<sup>2</sup>  
Total Floor Area (3-bed unit): 135.3m<sup>2</sup>



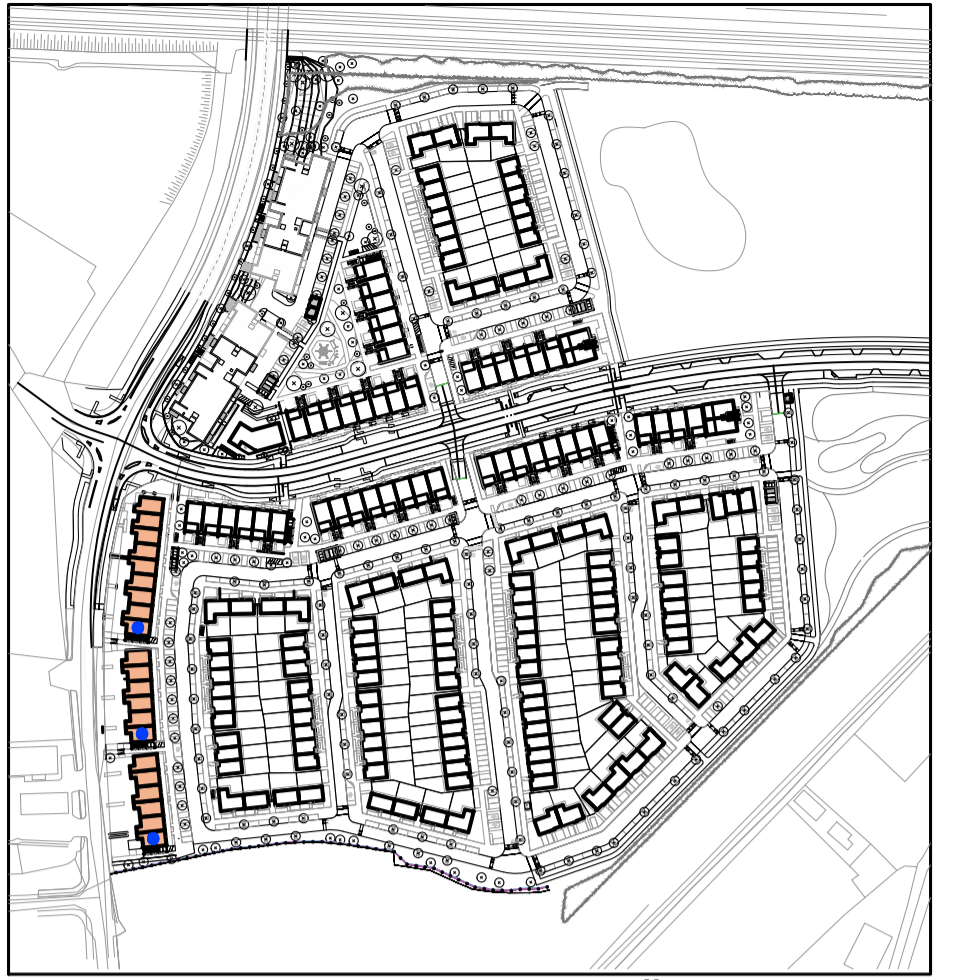
03 Second Floor Plan Handed



04 Third Floor Plan Handed

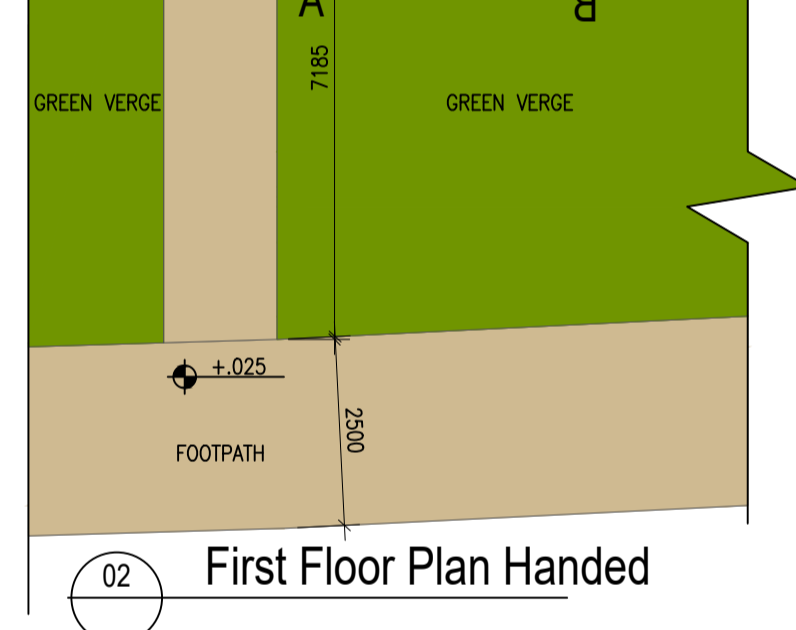


05 Roof Plan Handed

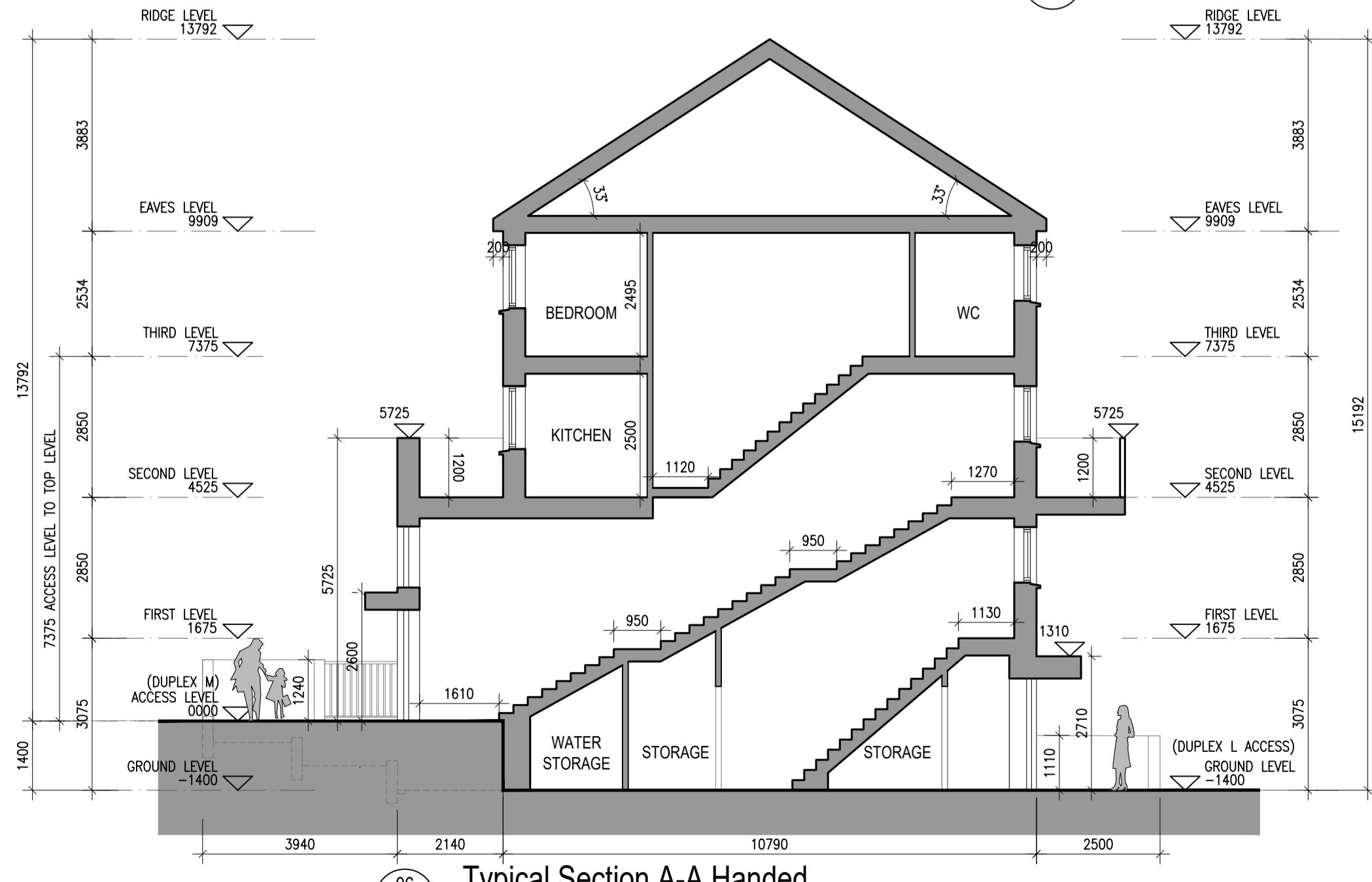


KEY PLAN [NTS]

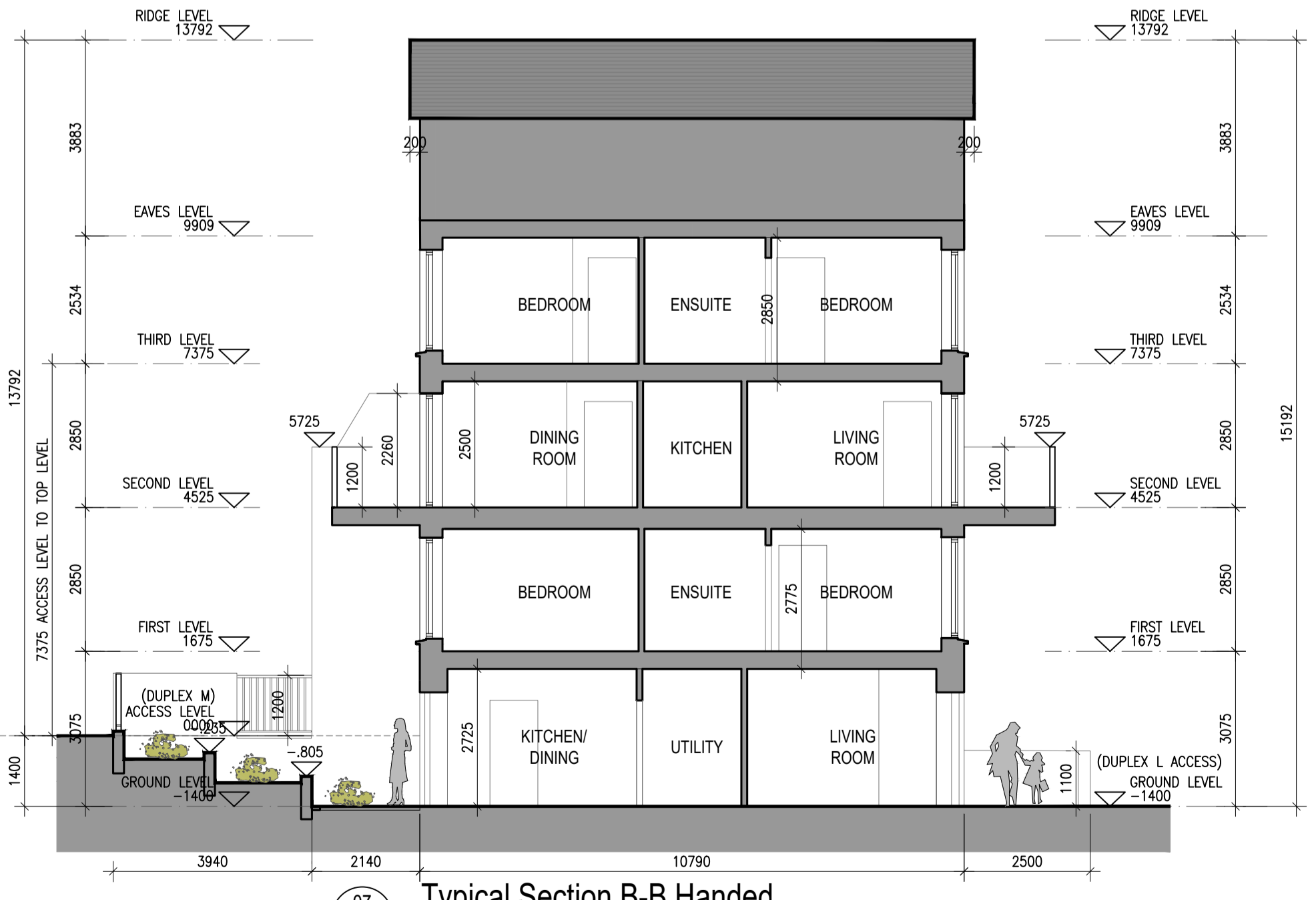
Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



02 First Floor Plan Handed



06 Typical Section A-A Handed



07 Typical Section B-B Handed

**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
- 10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
- 11 - OPAFICED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

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**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINWATER GOODS:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

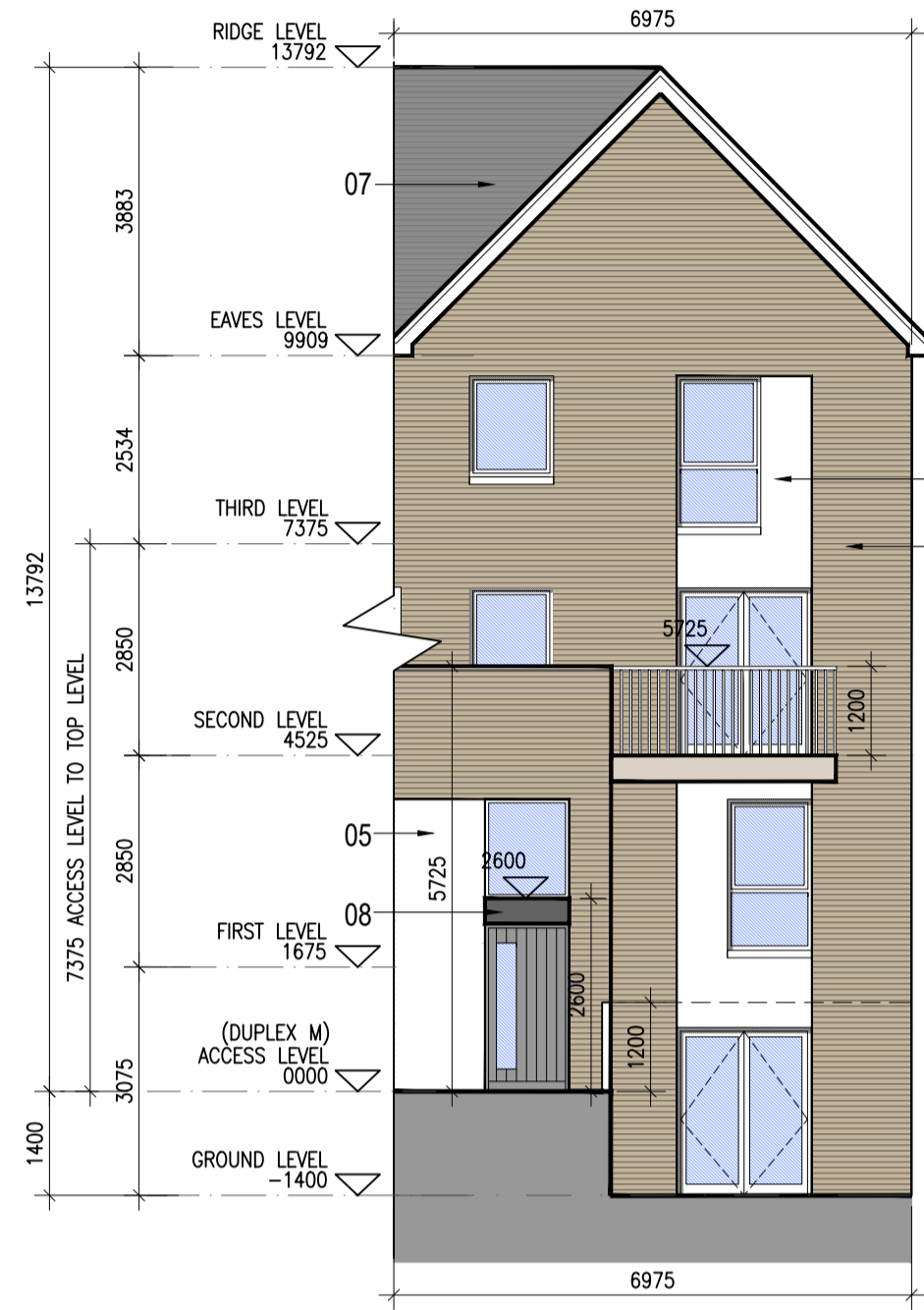
**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

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	Information Only

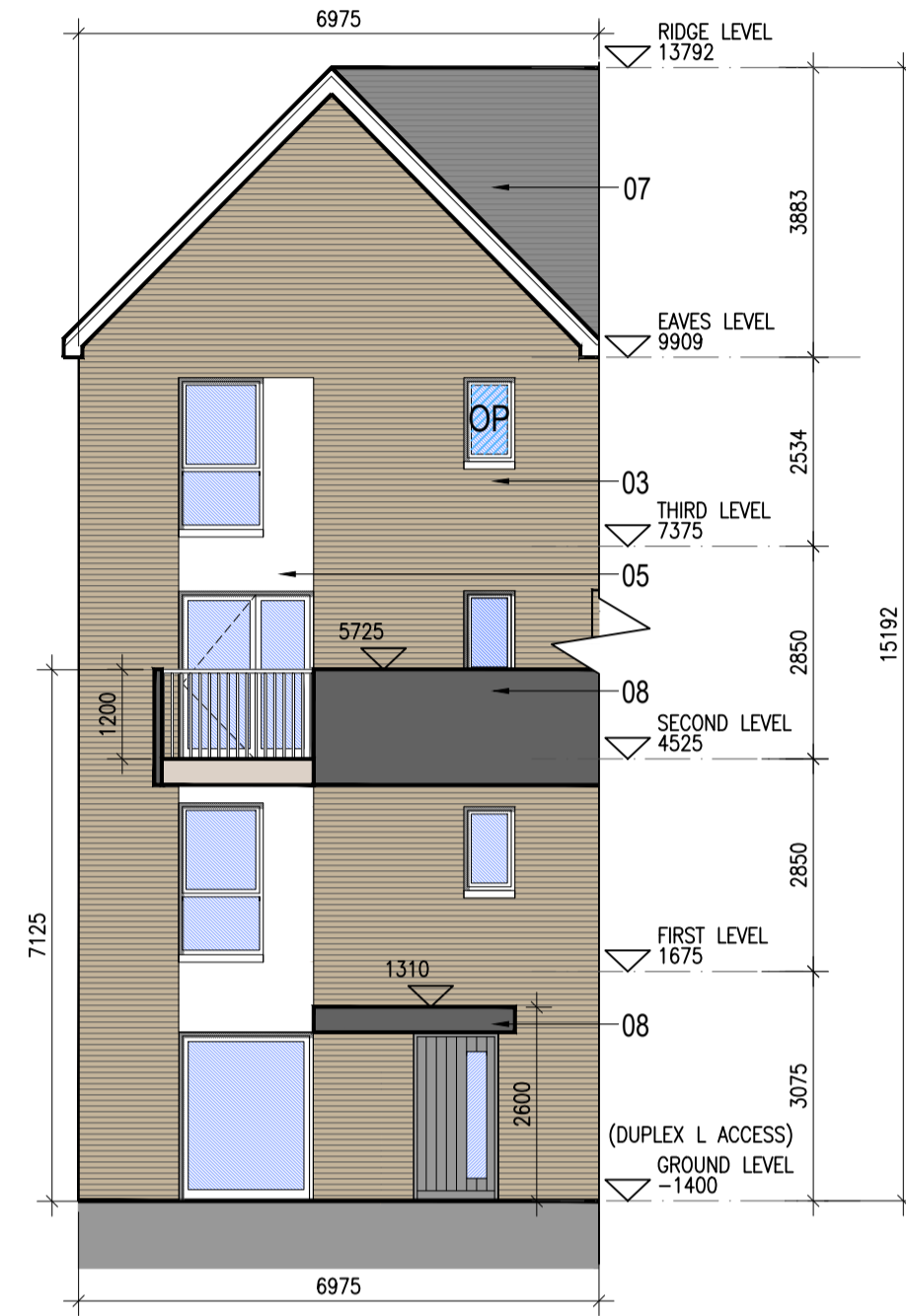
No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development	6-7 HARDCOURT TERRACE, DUBLIN 2, IRELAND T: +353-1-618-2400 F: +353-1-676-7366 www.bkd.ie			
Drawing Title	Duplex Type L2M2 - (end) Handed - Plans & Section	bkdarchitects BURKE-KENNEDY DOYLE			
Drawing No.	6268-P-212				
Scale	1:100 @ A1				
Rev	01	Drawn	SH	Date	JAN/2023

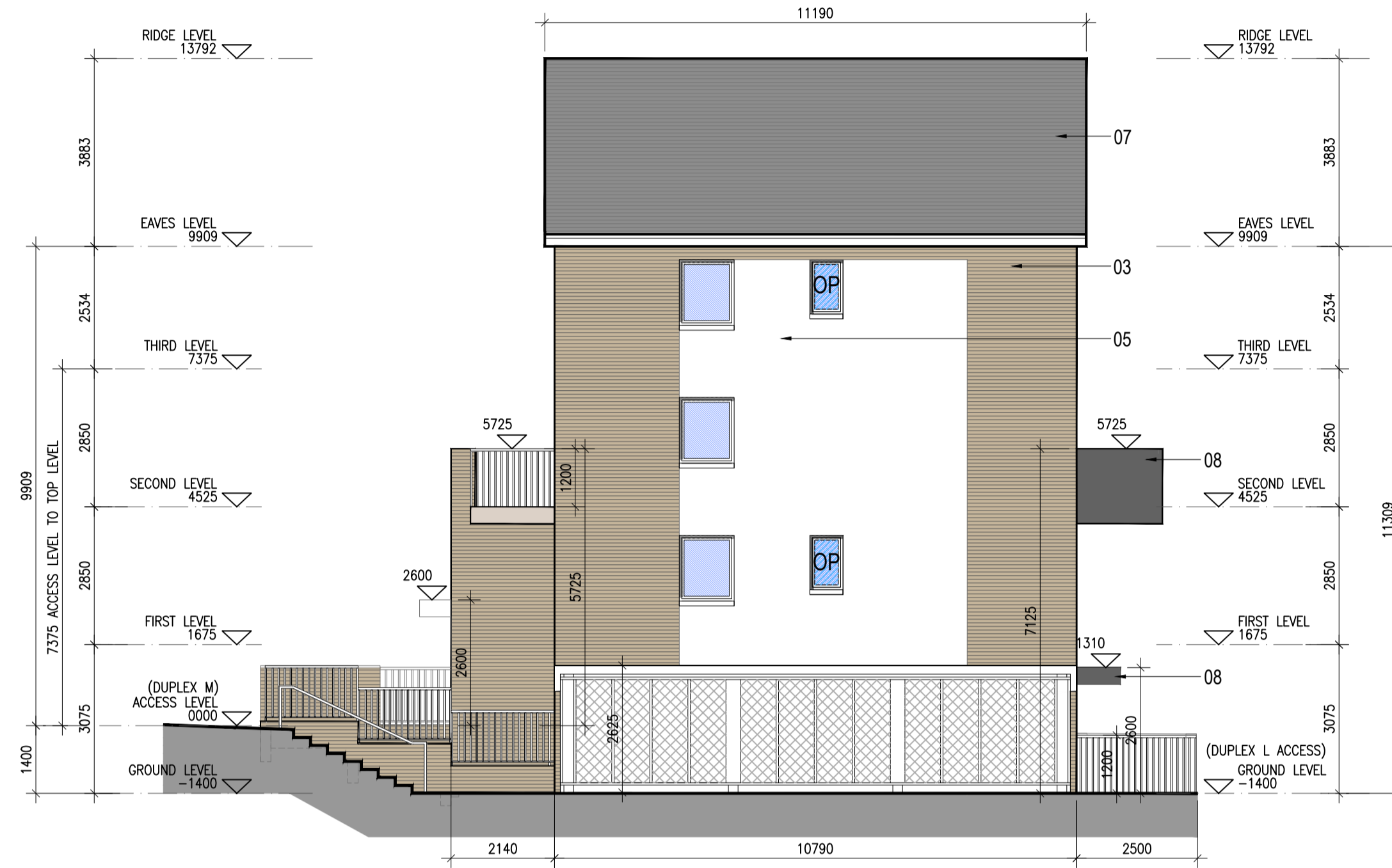
Duplex Drawings - as submitted under granted planning permission.  
 Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



01 Elevation 1 Handed  
 1:100@A1 Type D



02 Elevation 2 Handed  
 1:100@A1 Type D



03 Side Elevation (South facing) Handed  
 1:100@A1 Type D



Indicates unit locations  
 KEY PLAN [NTS]

MATERIAL CODE LEGEND	
01	BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
02	BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
03	BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
04	BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
05	SELF COLOURED RENDER - LIGHT APPROVED TONE
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08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
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7. The contractor shall be responsible for the coordination of structure, finishes and services.					

Project	Adamstown Extension - Clonburris SDZ Residential Development		6-7 HARDCOURT TERRACE, DUBLIN 2, IRELAND 1-353-1-618-2400 1-353-1-676-7395 architects@bkd.ie	
Drawing Title	Duplex Type L2M2 - (end) Handed - Elevations		www.bkd.ie	
Drawing No	6268-P-213		bkdarchitects BURKE-KENNEDY DOYLE	
Scale	1:100 @ A1	Rev	01	Drawn SH Date JAN/2023

**TYPE L3 - 2 Bed**  
Level 00-01- Duplex

DUPLEX TYPE L	
Ground floor area	60.0m <sup>2</sup>
First floor area	53.1m <sup>2</sup>
Total Floor Area (2-bed unit):	113.1m <sup>2</sup>

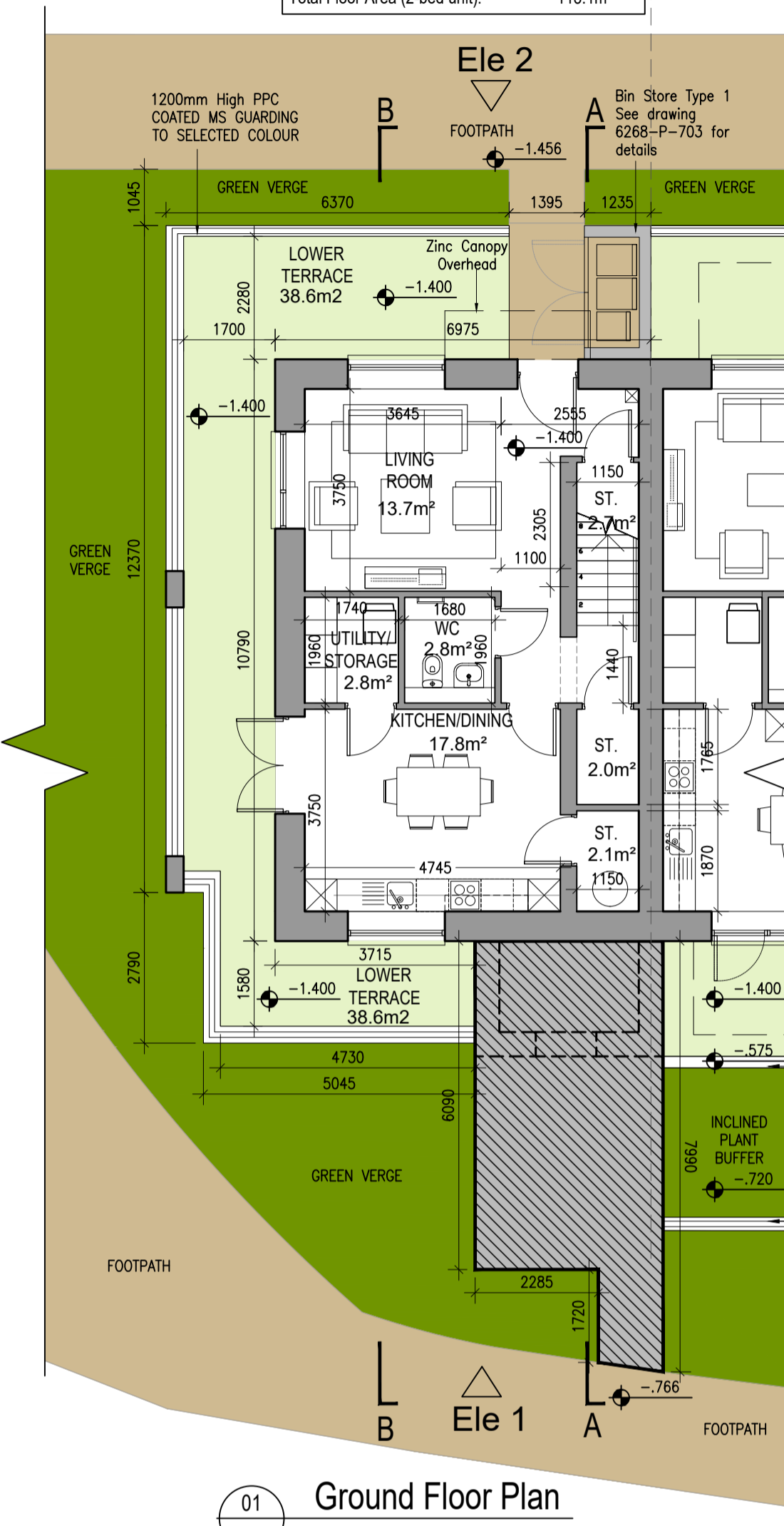
**TYPE M3 - 3 Bed**  
Level 02-03-Duplex

DUPLEX TYPE M	
First floor (stair)	11.0m <sup>2</sup>
Second floor area	62.3m <sup>2</sup>
Third floor area	62.3m <sup>2</sup>
Total Floor Area (3-bed unit):	135.6m <sup>2</sup>

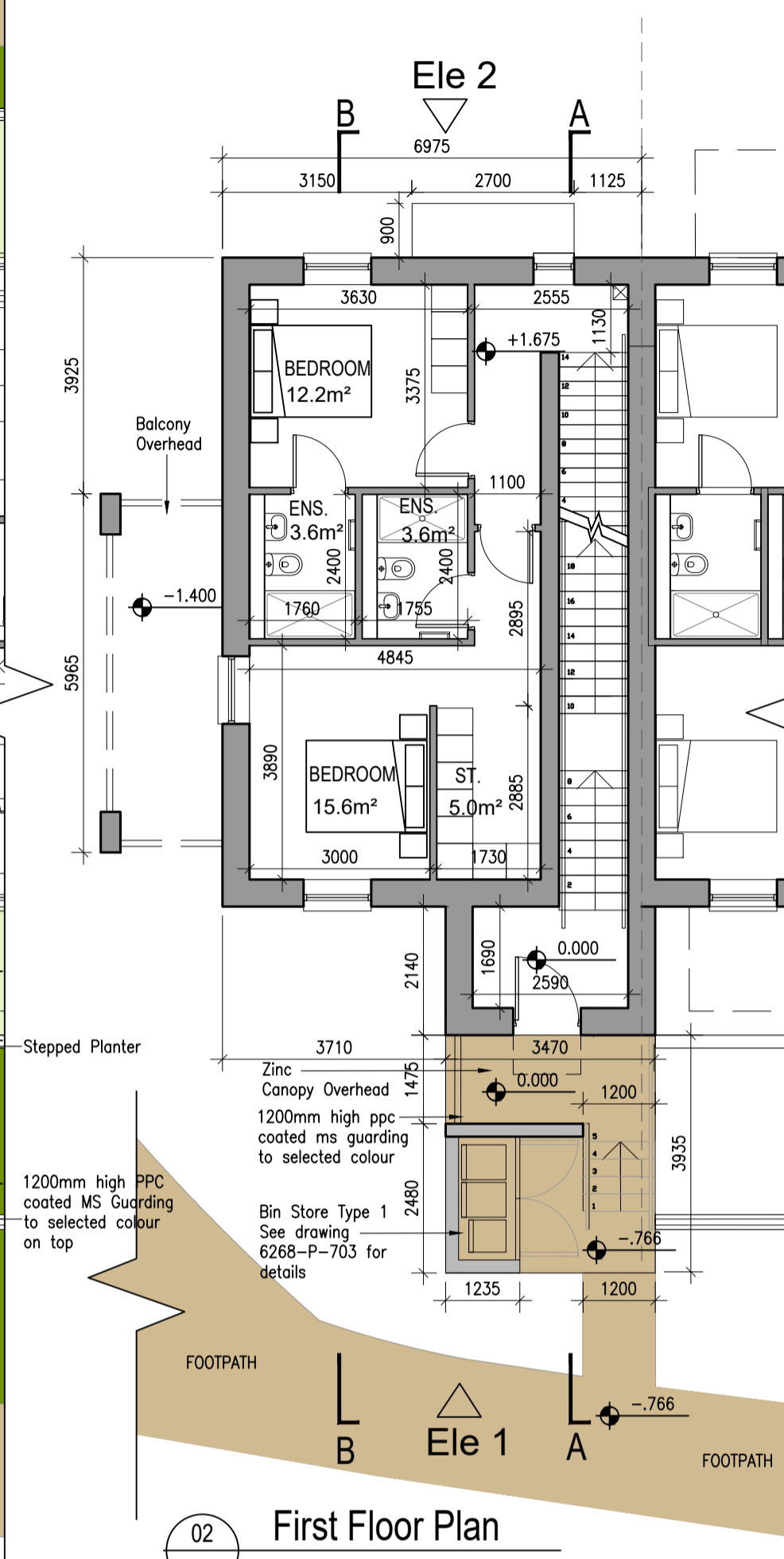
Duplex Drawings - as submitted under granted planning permission.  
Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



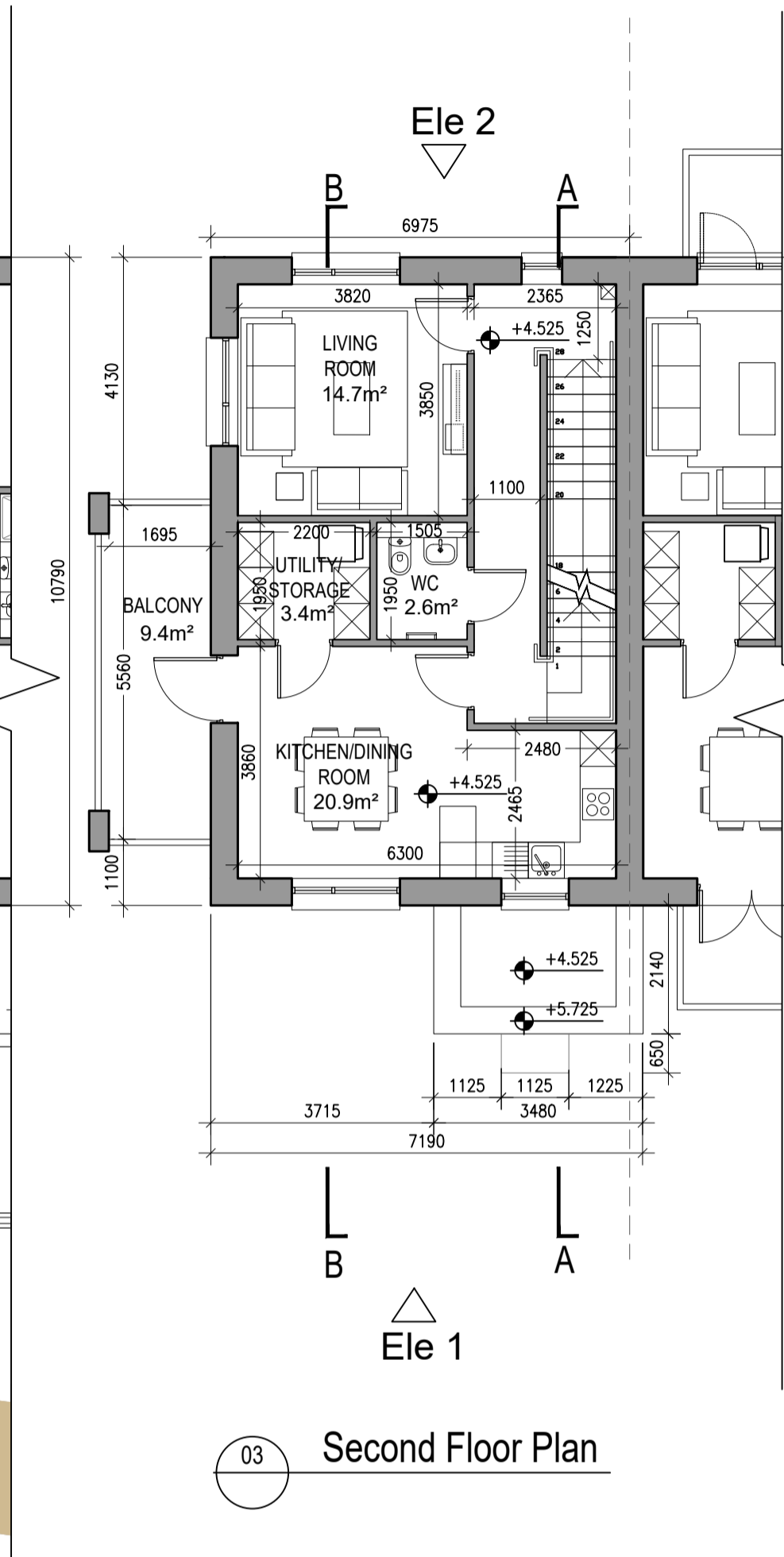
Indicates unit locations  
**KEY PLAN [NTS]**



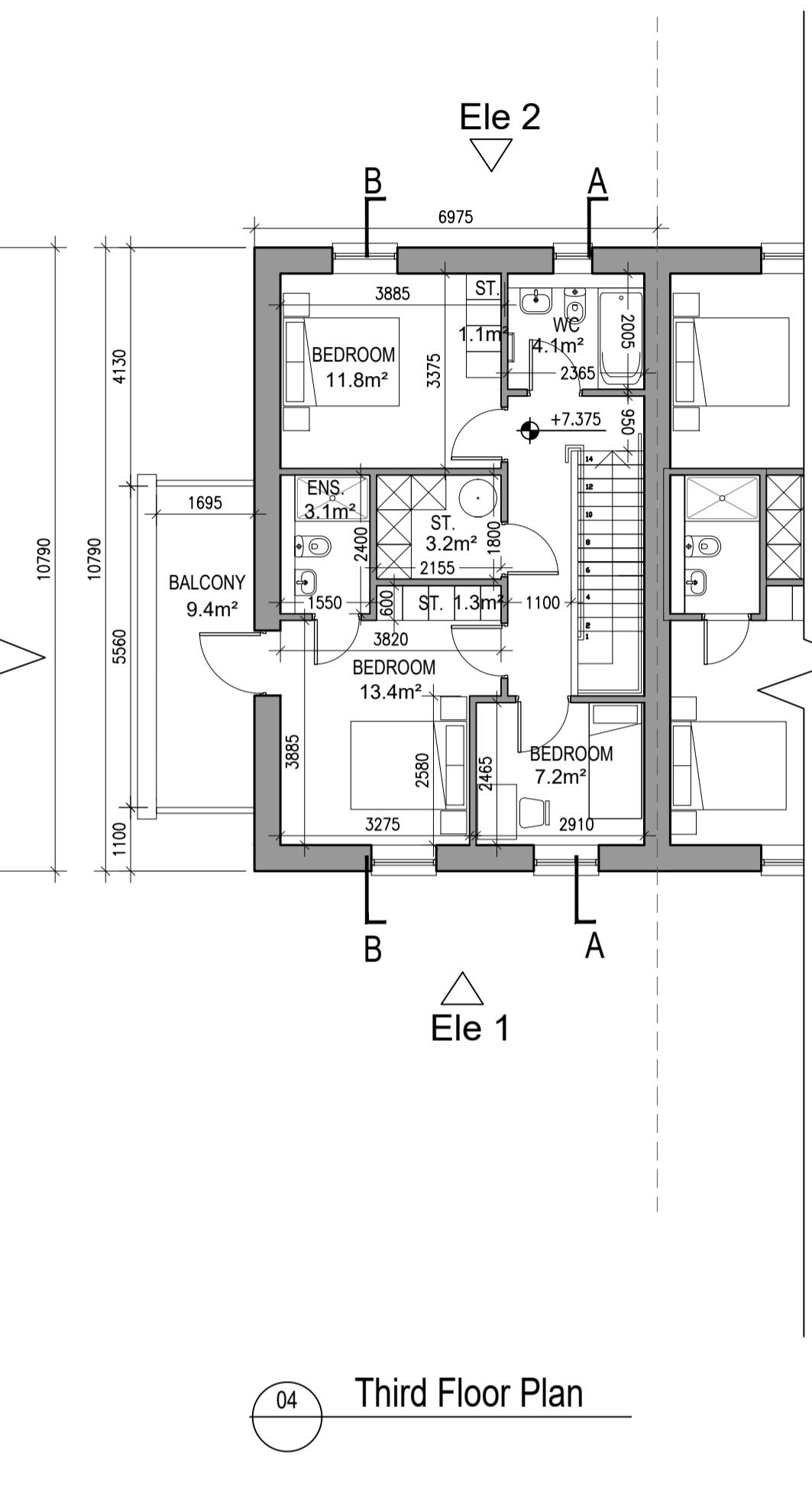
01 Ground Floor Plan



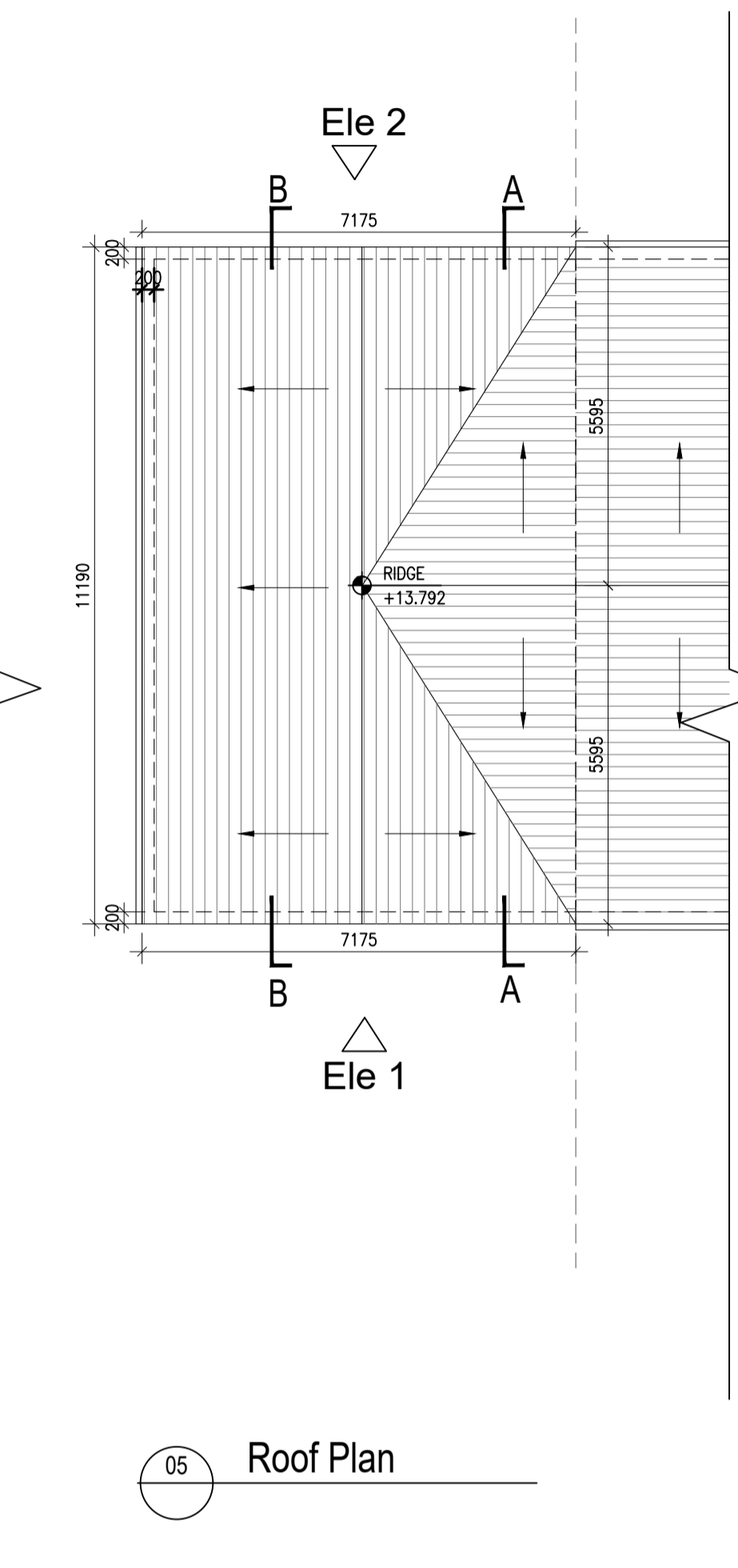
02 First Floor Plan



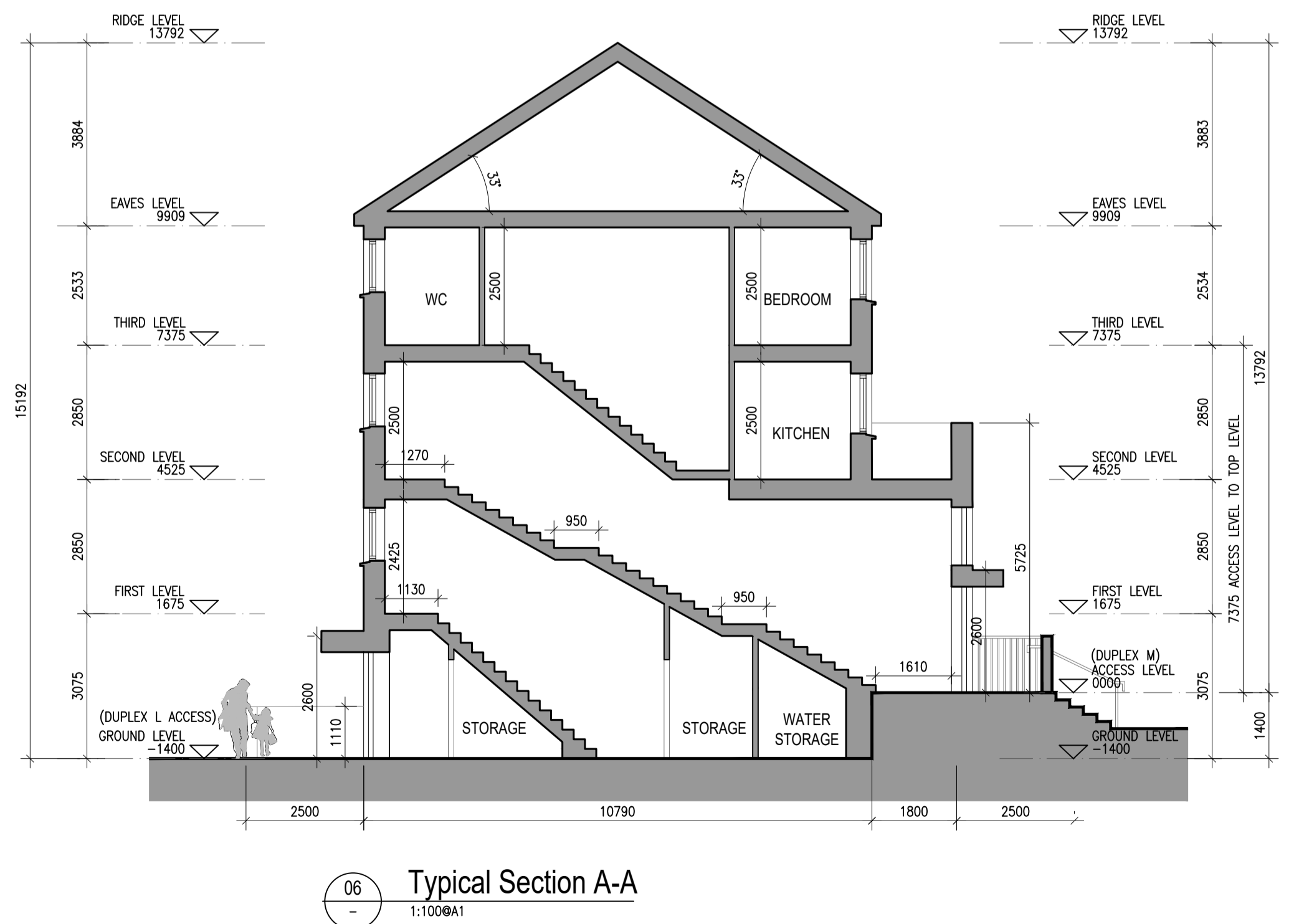
03 Second Floor Plan



04 Third Floor Plan



05 Roof Plan



06 Typical Section A-A  
1:100@A1



07 Typical Section B-B  
1:100@A1

MATERIAL CODE LEGEND	
[Symbol]	01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
[Symbol]	02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
[Symbol]	03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
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[Symbol]	08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
[Symbol]	09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
[Symbol]	10 - CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
[Symbol]	11 - OPAQIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
WINDOWS:	SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR. OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.
DOORS:	SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
RAINWATER GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED. MILDSTEEL RAILINGS AND BALUSTRADES

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

Notes	Issue Status
1. Copyright Reserved	Progress
2. Work to figured dimensions only. Do not scale drawing	Planning Application
3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect	Fire Cert
4. Where appropriate, for details of r.c. structure, or mechanical and electrical details, see Engineers drawings	Disability Cert
5. Proprietary items shall be fixed in strict accordance with manufacturers instructions.	Tender
6. Sizes of proprietary items shall be checked with manufacturer.	Construction
7. The contractor shall be responsible for the coordination of structure, finishes and services.	As Built
	Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type L3M3 - (end) - Plans & Section
Drawing No	6268-P-214
Scale	1:100 @ A1
Rev	01
Drawn	SH
Date	JAN/2023

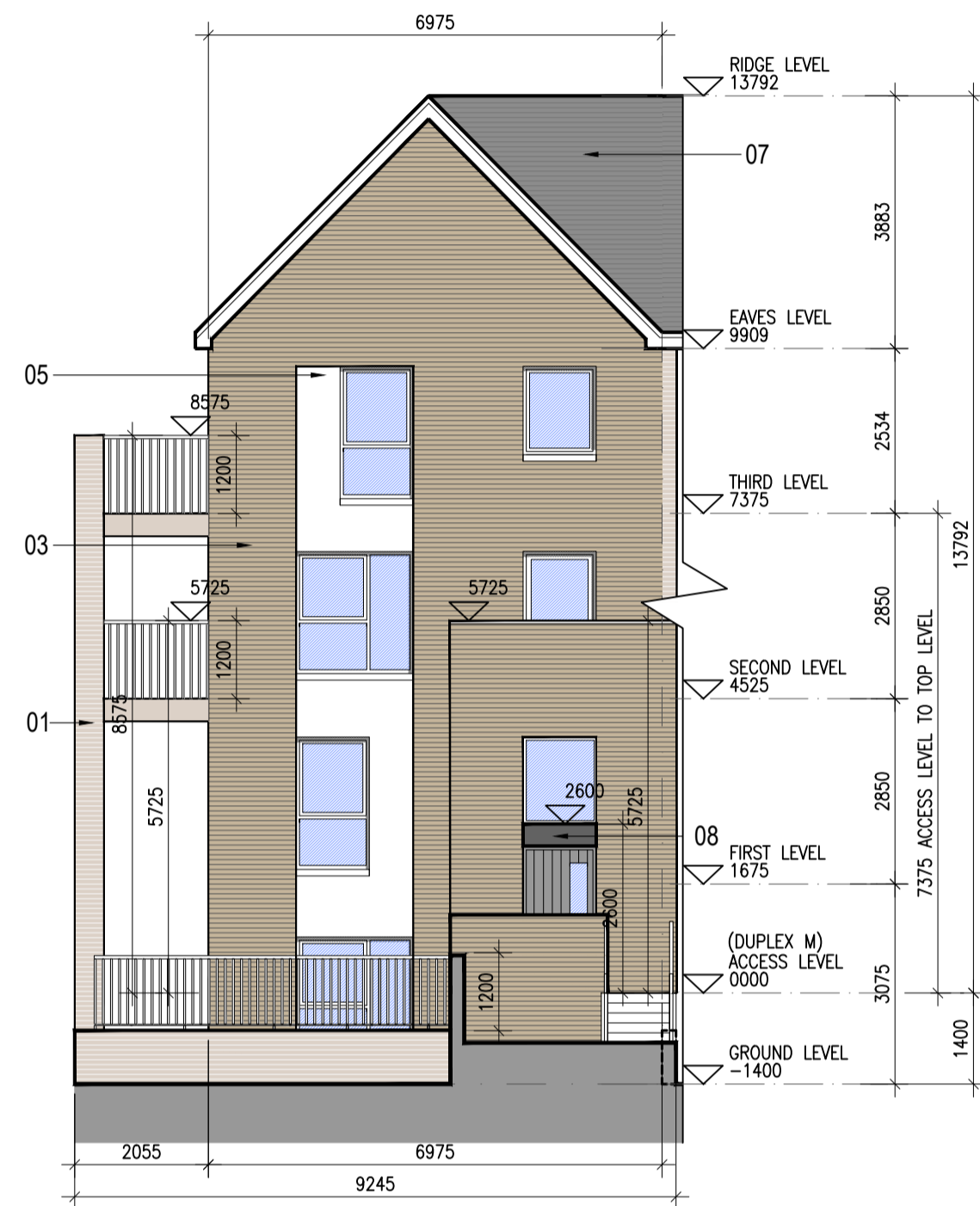
6-7 HARICOURT TERRACE, DUBLIN 2, IRELAND  
T: +353-1-6182400 F: +353-1-6767306  
www.bkd.ie

**bkdarchitects**  
BURKE-KENNEDY DOYLE

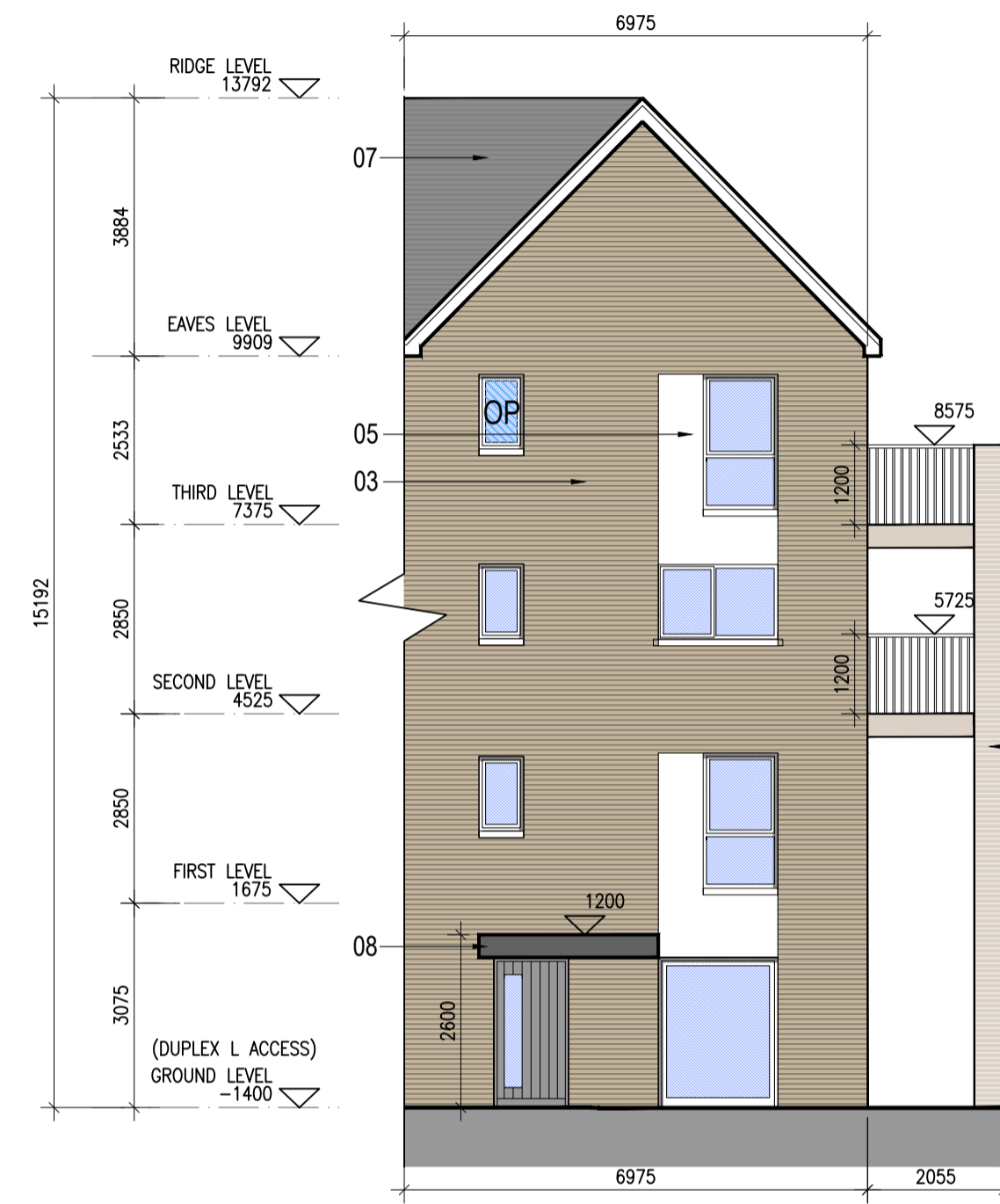
Duplex Drawings - as submitted under granted planning permission.  
 Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022



Indicates unit locations  
**KEY PLAN [NTS]**



01 Elevation 1  
 1:100@A1 Type D



02 Elevation 2  
 1:100@A1 Type D



03 Side Elevation  
 1:100@A1 Type D

MATERIAL CODE LEGEND	
01	BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
02	BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
03	BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
04	BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
05	SELF COLOURED RENDER - LIGHT APPROVED TONE
06	SELF COLOURED RENDER - DARK APPROVED TONE
07	CONCRETE ROOF TILES - DARK APPROVED TONE
08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
09	POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
10	CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
11	OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
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MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIA, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

Notes	Issue Status	No.	Date	Revision	Initials
1. Copyright Reserved	Progress	01	27/01/23	Planning Application	AM
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Project	Adamstown Extension - Clonburris SDZ Residential Development		6-7 HARBOUR TERRACE, DUBLIN 2, IRELAND 1-3601-6182400 1-3601-6767366 architect@bkd.ie	
Drawing Title	Duplex Type L3M3 - (end) - Elevations		www.bkd.ie	
Drawing No	6268-P-215		<b>bkdarchitects</b> BURKE-KENNEDY DOYLE	
Scale	1:100 @ A1	Rev	01	Drawn SH Date JAN/2023



**DUPLEX TYPE O,P**

**DUPLEX TYPE J3K3**

**Duplex Drawings - as submitted under granted planning permission.**  
**Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022**

DUPLEX unit type	No. of beds	No. of storeys	No. of units
Type J	- 2 bed	2 storeys	46
Type K	- 3 bed	1 storey	46
Type L	- 2 bed	2 storeys	21
Type M	- 3 bed	2 storeys	21
Type O	- 2 bed	2 storeys	04
Type P	- 3 bed	1 storey	04
			142

MATERIAL CODE LEGEND	
01	– BUFF BRICK – STANDARD BOND – LIGHT APPROVED TONE
02	– BUFF BRICK – FEATURE BOND – LIGHT APPROVED TONE
03	– BUFF BRICK – STANDARD BOND – BROWN APPROVED TONE
04	– BUFF BRICK – FEATURE BOND – BROWN APPROVED TONE
05	– SELF COLOURED RENDER – LIGHT APPROVED TONE
06	– SELF COLOURED RENDER – DARK APPROVED TONE
07	– CONCRETE ROOF TILES – DARK APPROVED TONE
08	– POWDERCOATED METALWORK OR uPVC – DARK APPROVED RAL COLOUR
09	– POWDERCOATED METAL SCREENING – DARK APPROVED RAL COLOUR
10	– CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
11	– OPAQIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
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DOORS:	SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
RAINFALL:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

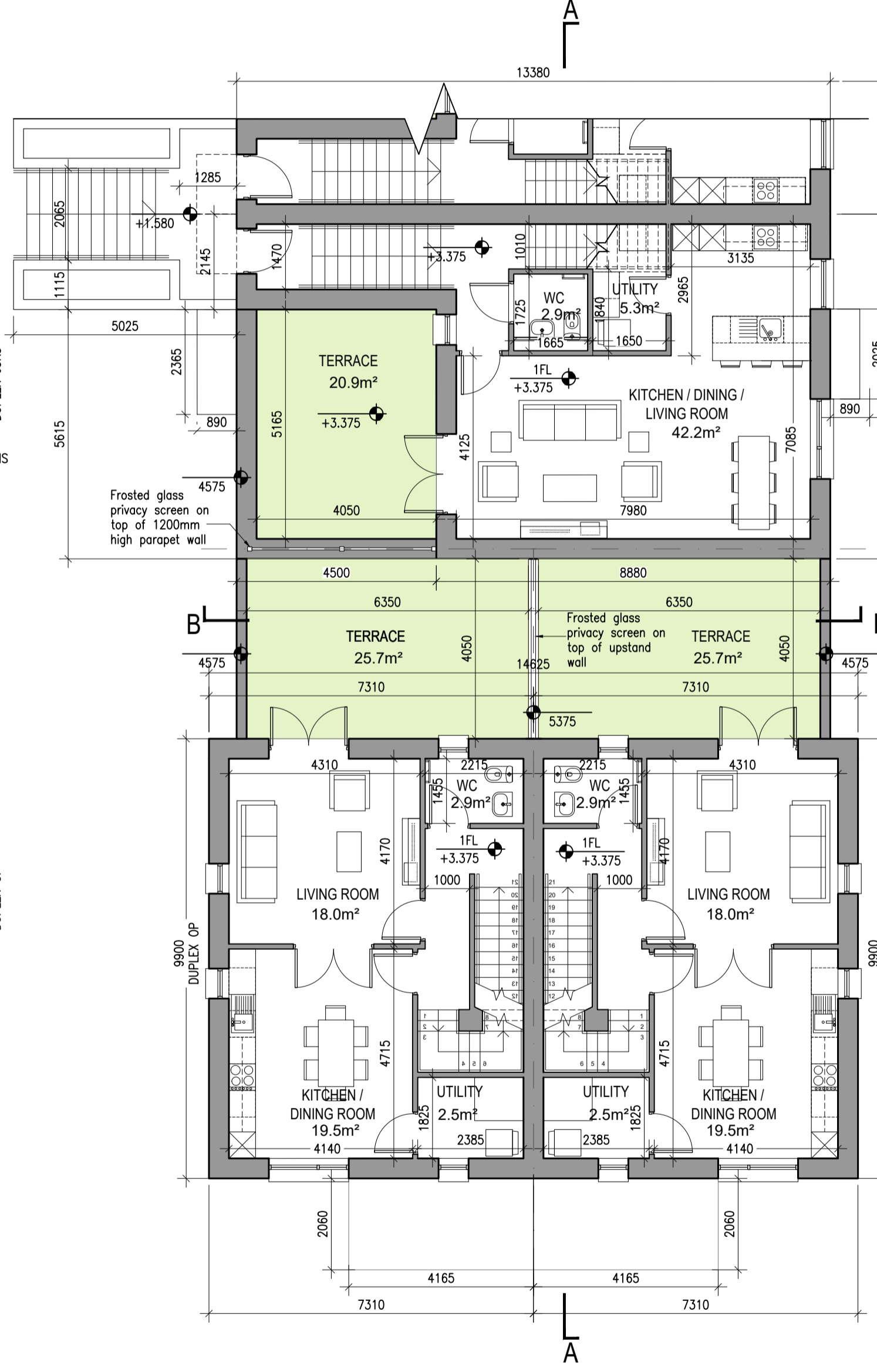
<b>DUPLEX TYPE O</b>	Total Floor Area (2-bed unit):	<b>79.5.0m<sup>2</sup></b>
<b>DUPLEX TYPE P</b>	Private Int. Stair	6.3m <sup>2</sup>
	First floor area	59.7m <sup>2</sup>
	Second floor area	59.7m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>125.7m<sup>2</sup></b>
<b>APARTMENT TYPE J3</b>	Ground floor area	87.0m <sup>2</sup>
	Total Floor Area (2-bed unit):	87.0m <sup>2</sup>
<b>DUPLEX TYPE K3</b>	Ground floor priv. stair	6.6m <sup>2</sup>
	First floor area	56.5m <sup>2</sup>
	Second floor area	56.5m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>119.6m<sup>2</sup></b>



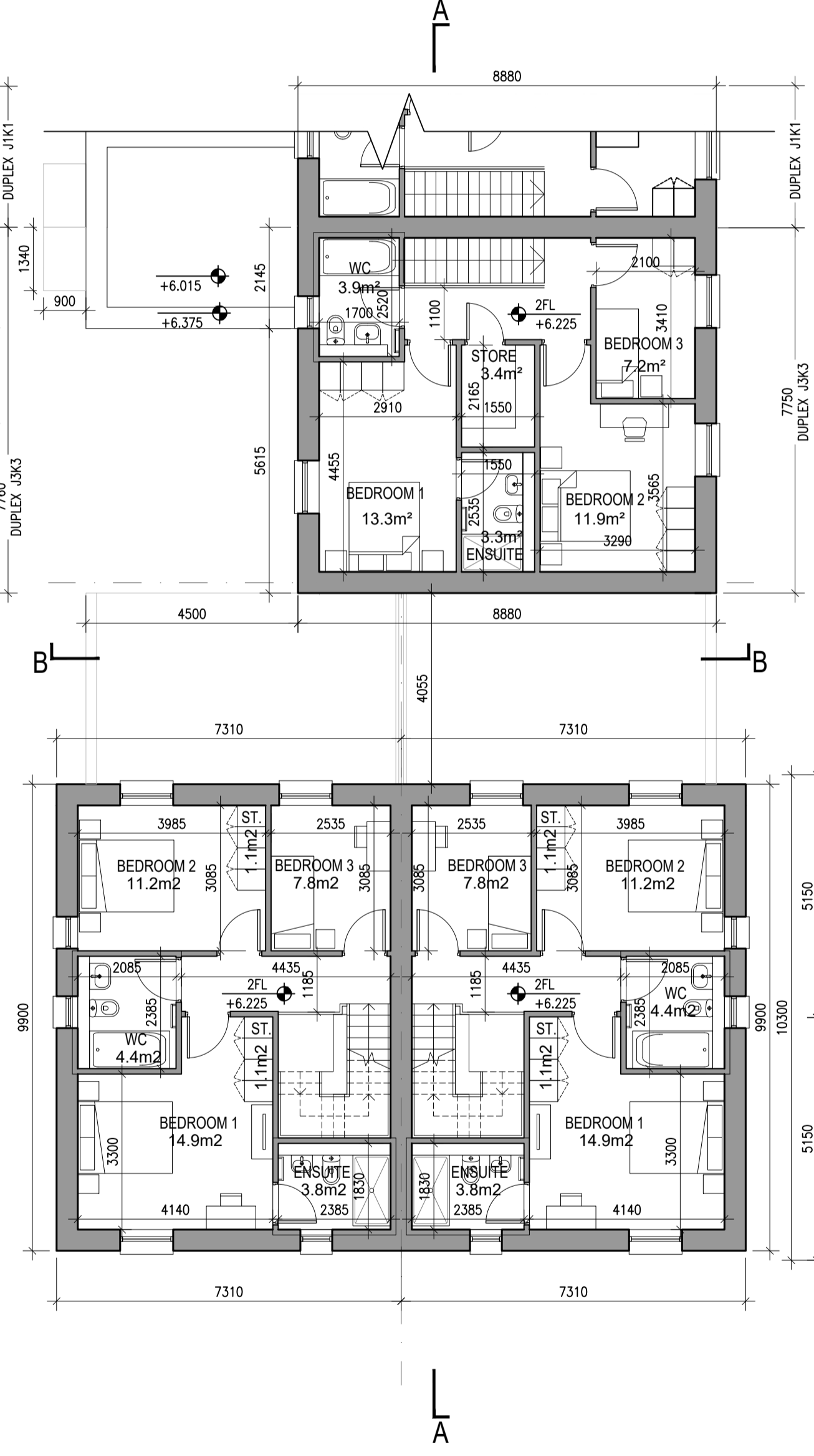
Indicates unit locations  
**KEY PLAN [NTS]**



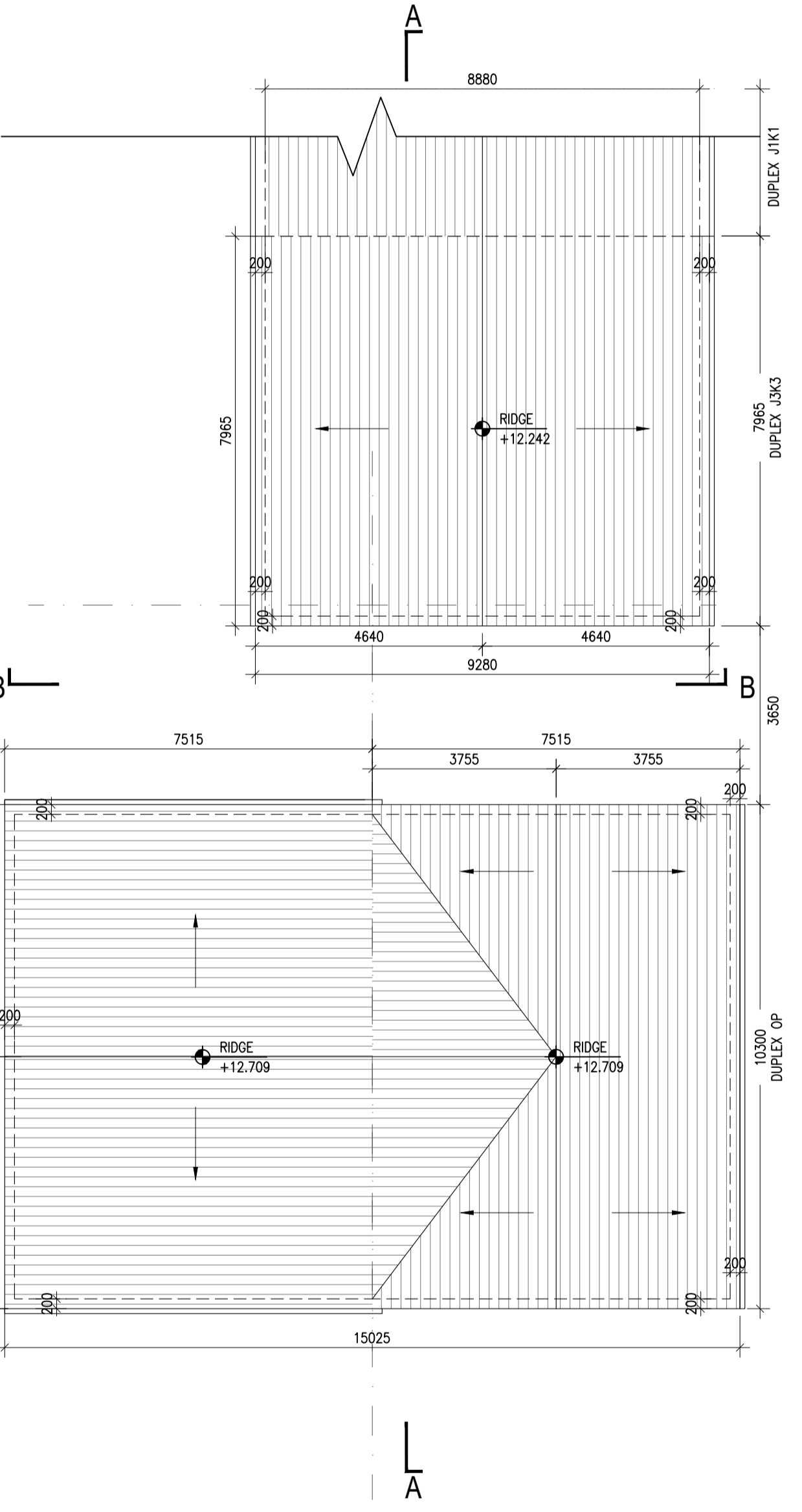
**01** Ground Floor Plan



**02** First Floor Plan



**03** Second Floor Plan



**04** Roof Floor Plan  
 1:100@A1

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**  
**DUPLEX TYPE OP & J3K3**

Notes
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Issue Status
Progress
Planning Application
Fire Cert
Disability Cert
Tender
Construction
As Built
Information Only

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type OP & J3K3 - (end) Non Handed - Plans
Drawing No	6268-P-216
Scale	1:100 @ A1
Rev	01
Drawn	JN
Date	JAN/2023

6-7 HARDCOURT TERRACE, DUBLIN 2, IRELAND  
 1-353-1-618-2400 1-353-1-676-7395  
 www.bkd.ie  
**bkdarchitects**  
 BURKE-KENNEDY DOYLE

**DUPLEX TYPE O,P**

**DUPLEX TYPE J3K3**

**Duplex Drawings - as submitted under granted planning permission.**

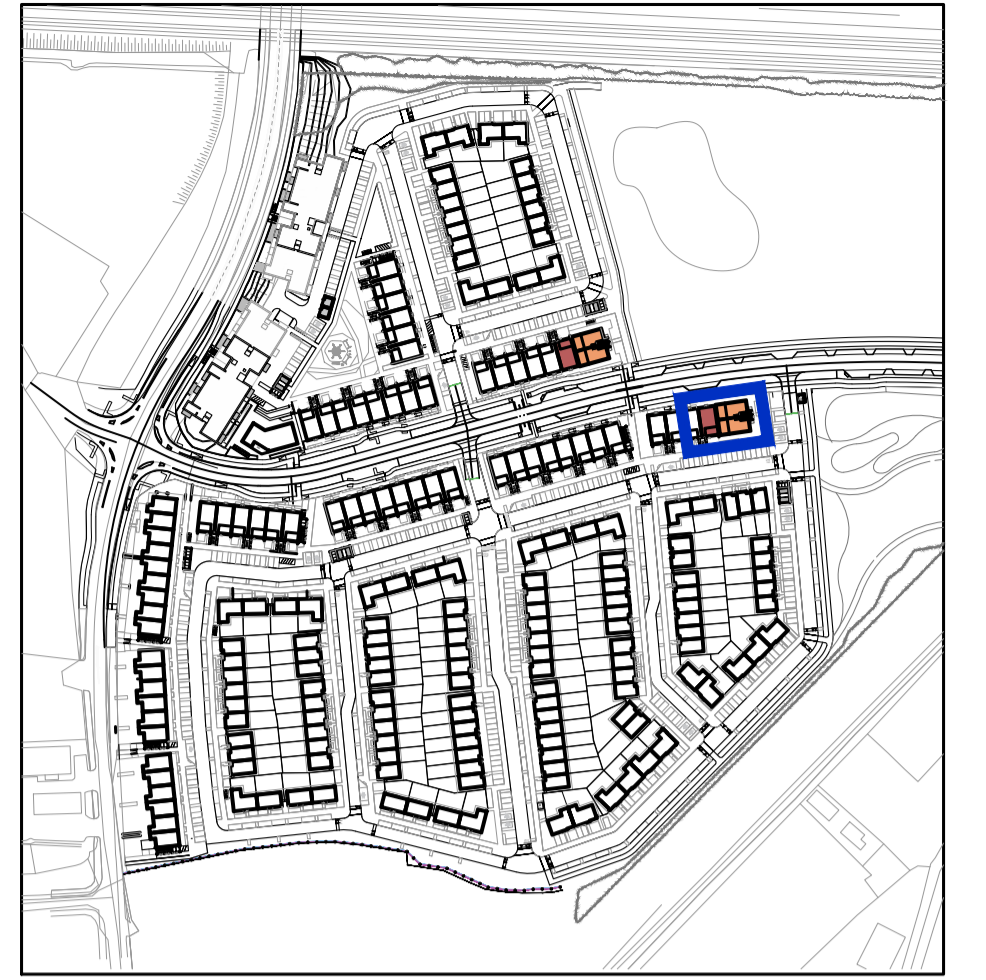
**Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022**

DUPLEX unit type	No. of beds	No. of storeys	No. of units
Type J	- 2 bed	2 storeys	46
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Type L	- 2 bed	2 storeys	21
Type M	- 3 bed	2 storeys	21
Type O	- 2 bed	2 storeys	04
Type P	- 3 bed	1 storey	04
			142

MATERIAL CODE LEGEND	
01	BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
02	BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
03	BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
04	BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
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07	CONCRETE ROOF TILES - DARK APPROVED TONE
08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
09	POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
10	CLEAR GLAZING WITH DARK APPROVED RAL COLOUR FRAMING
11	OPACIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
WINDOWS:	SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBTAINED FROM BATHROOMS AND EN-SUITES.
DOORS:	SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
RAINWATER GOODS:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

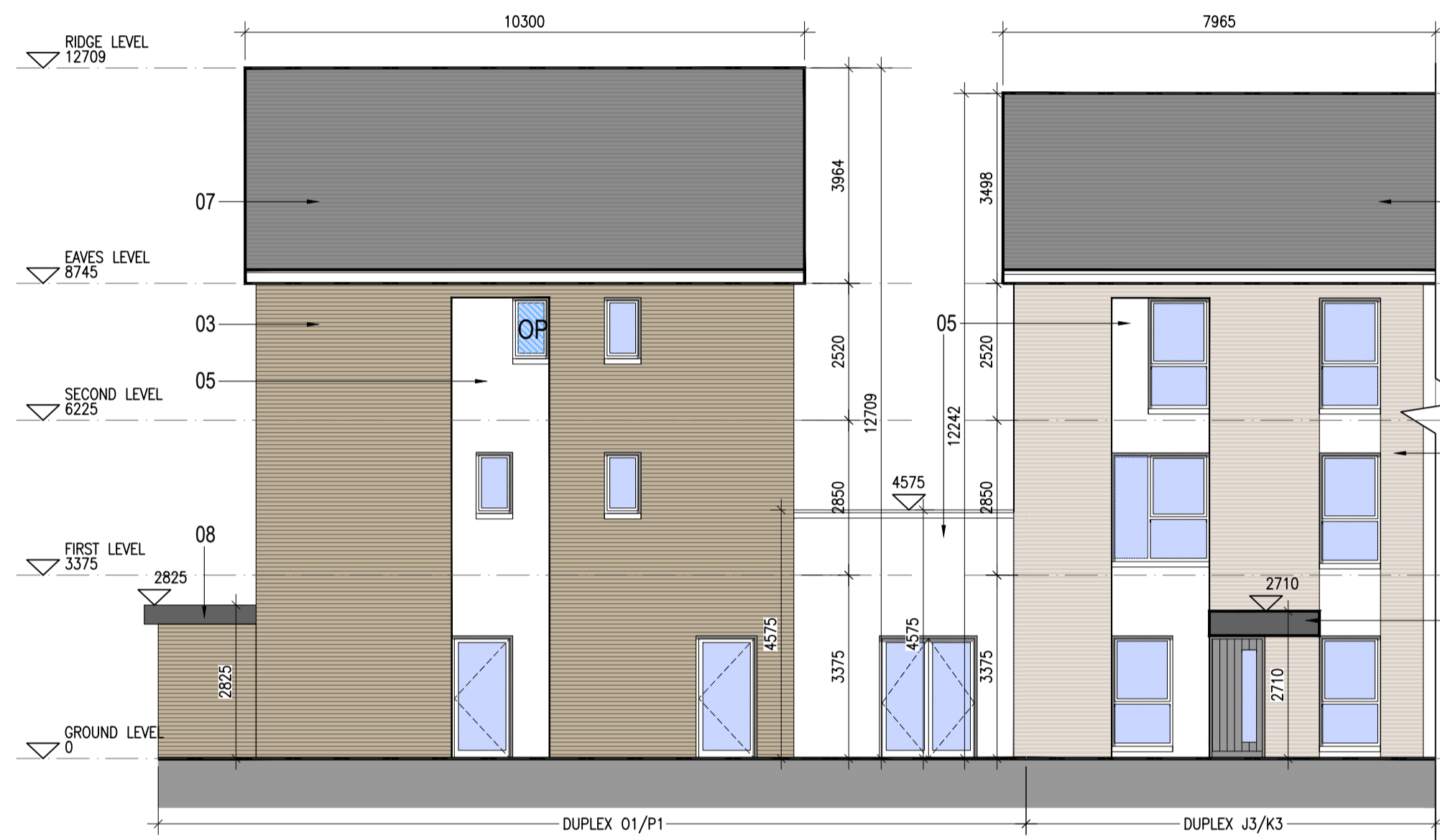
<b>DUPLEX TYPE O</b>	Total Floor Area (2-bed unit):	<b>79.5.0m<sup>2</sup></b>
<b>DUPLEX TYPE P</b>	Private Int. Stair	6.3m <sup>2</sup>
	First floor area	59.7m <sup>2</sup>
	Second floor area	59.7m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>125.7m<sup>2</sup></b>
<b>APARTMENT TYPE J3</b>	Ground floor area	87.0m <sup>2</sup>
	Total Floor Area (2-bed unit):	87.0m <sup>2</sup>
<b>DUPLEX TYPE K3</b>	Ground floor priv. stair	6.6m <sup>2</sup>
	First floor area	56.5m <sup>2</sup>
	Second floor area	56.5m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>119.6m<sup>2</sup></b>



Indicates unit locations  
**KEY PLAN [NTS]**



**05 Front Elevation**  
1:100@A1



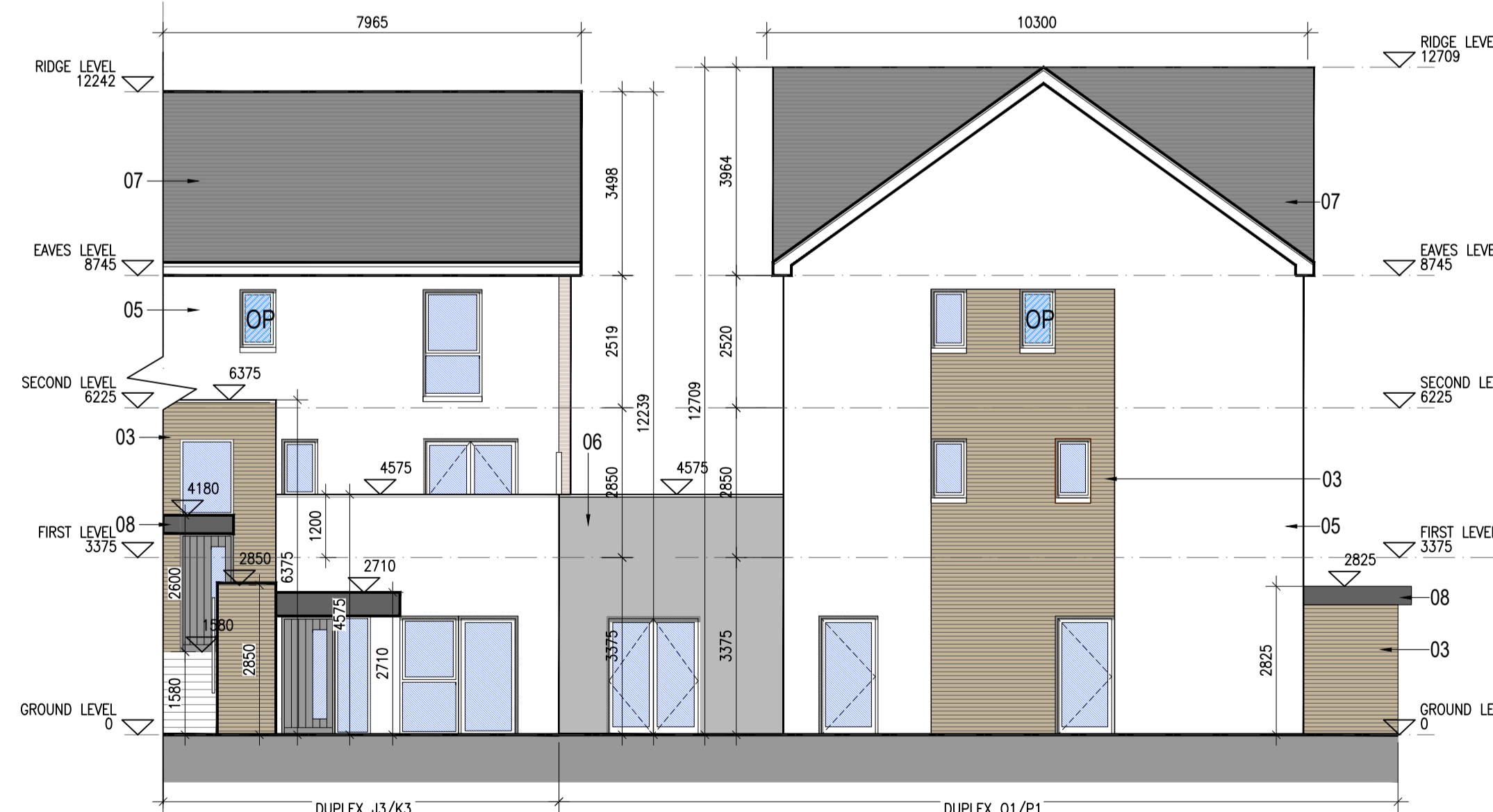
**06 Side Elevation Clonburris New Link Street**  
1:100@A1



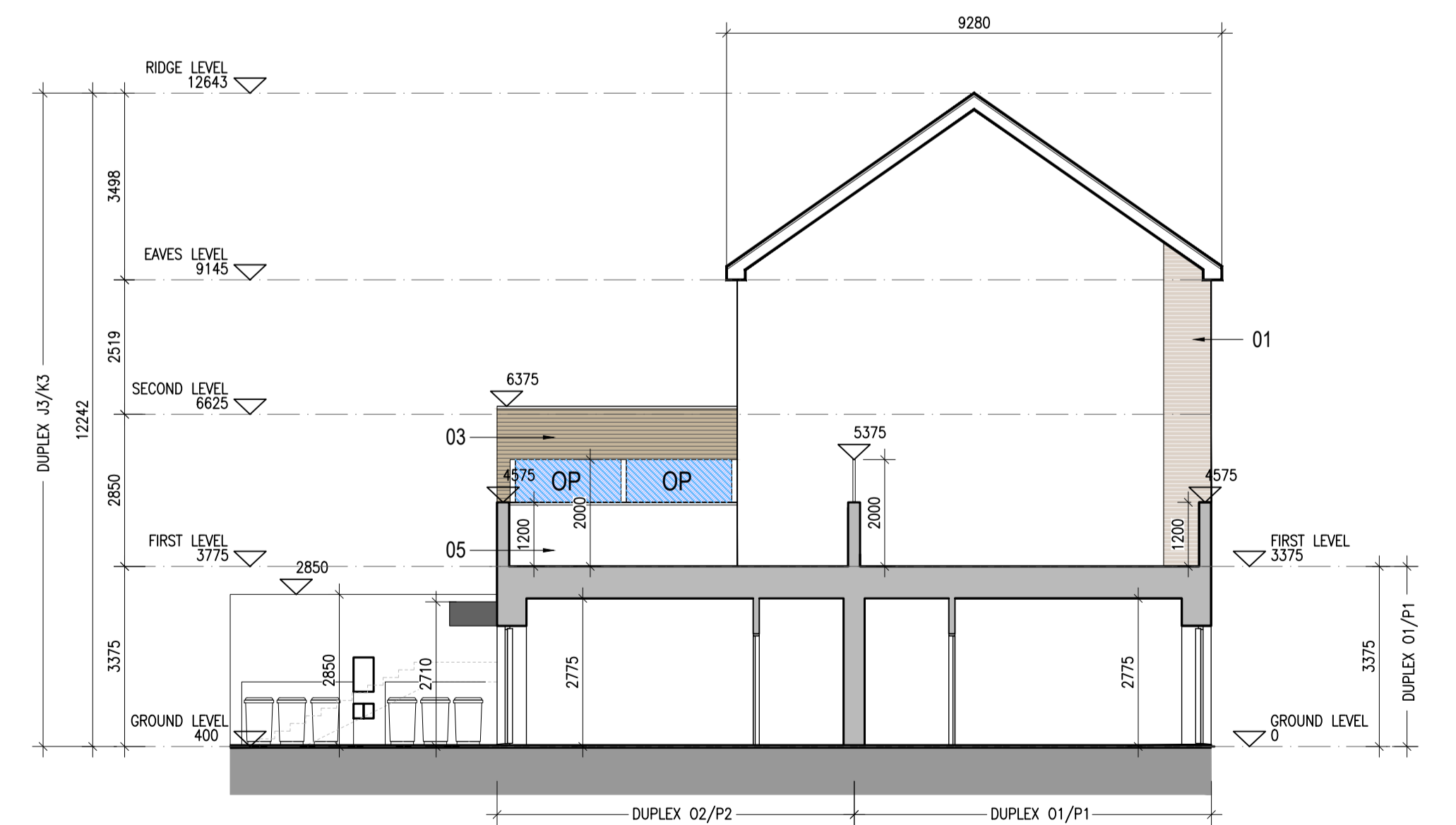
**07 Typical Section [A-A]**  
1:100@A1



**08 Rear Elevation**  
1:100@A1



**09 Side Elevation New Local Street 1**  
1:100@A1



**10 Typical Section [B-B]**  
1:100@A1

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- 2. Work to figured dimensions only. Do not scale drawing
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Issue Status	Progress
Planning Application	■
Fire Cert	
Disability Cert	
Tender	
Construction	
As Built	
Information Only	

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	<b>Adamstown Extension - Clonburris SDZ Residential Development</b>
Drawing Title	Duplex Type OP & JK3 - (end) Non Handed - Elevations & Section
Drawing No	6268-P-217
Scale	1:100 @ A1
Rev	01
Drawn	JN
Date	JAN/2023

**DUPLEX TYPE O,P**

6-7 HARWOOD TERRACE, DUBLIN 2, IRELAND  
1-353-1-618-2400 1-353-1-676-7395  
architectural@bkd.ie

**bkdarchitects**  
BURKE-KENNEDY DOYLE

**DUPLEX TYPE O,P**

**DUPLEX TYPE J3K3**

**Duplex Drawings - as submitted under granted planning permission.**  
**Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022**

**DUPLEX**

unit type	No. of beds	No. of storeys	No. of units
Type J	- 2 bed	2 storeys	46
Type K	- 3 bed	1 storey	41
Type L	- 2 bed	2 storeys	46
Type M	- 3 bed	2 storeys	21
Type O	- 2 bed	2 storeys	04
Type P	- 3 bed	1 storey	04
			142

**MATERIAL CODE LEGEND**

- 01 - BUFF BRICK - STANDARD BOND - LIGHT APPROVED TONE
- 02 - BUFF BRICK - FEATURE BOND - LIGHT APPROVED TONE
- 03 - BUFF BRICK - STANDARD BOND - BROWN APPROVED TONE
- 04 - BUFF BRICK - FEATURE BOND - BROWN APPROVED TONE
- 05 - SELF COLOURED RENDER - LIGHT APPROVED TONE
- 06 - SELF COLOURED RENDER - DARK APPROVED TONE
- 07 - CONCRETE ROOF TILES - DARK APPROVED TONE
- 08 - POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
- 09 - POWDERCOATED METAL SCREENING - DARK APPROVED RAL COLOUR
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- 11 - OPAQIFIED GLAZING WITH DARK APPROVED RAL COLOUR FRAMING

**EXTERNAL FINISHES**

**WALLS:** PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

**WINDOWS:** SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBTAINED BY GLAZING TO BATHROOMS AND EN-SUITES.

**DOORS:** SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

**RAINFALL PROTECTION:** uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

**MAIN ROOF:** CONCRETE ROOF TILES IN SELECTED COLOUR.

**LOW LEVEL PROJECTION:** ZINC CANOPY TO ENTRANCE OF UNITS

**OTHER ITEMS:** uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

**DUPLEX TYPE O**  
Total Floor Area (2-bed unit): **79.50m<sup>2</sup>**

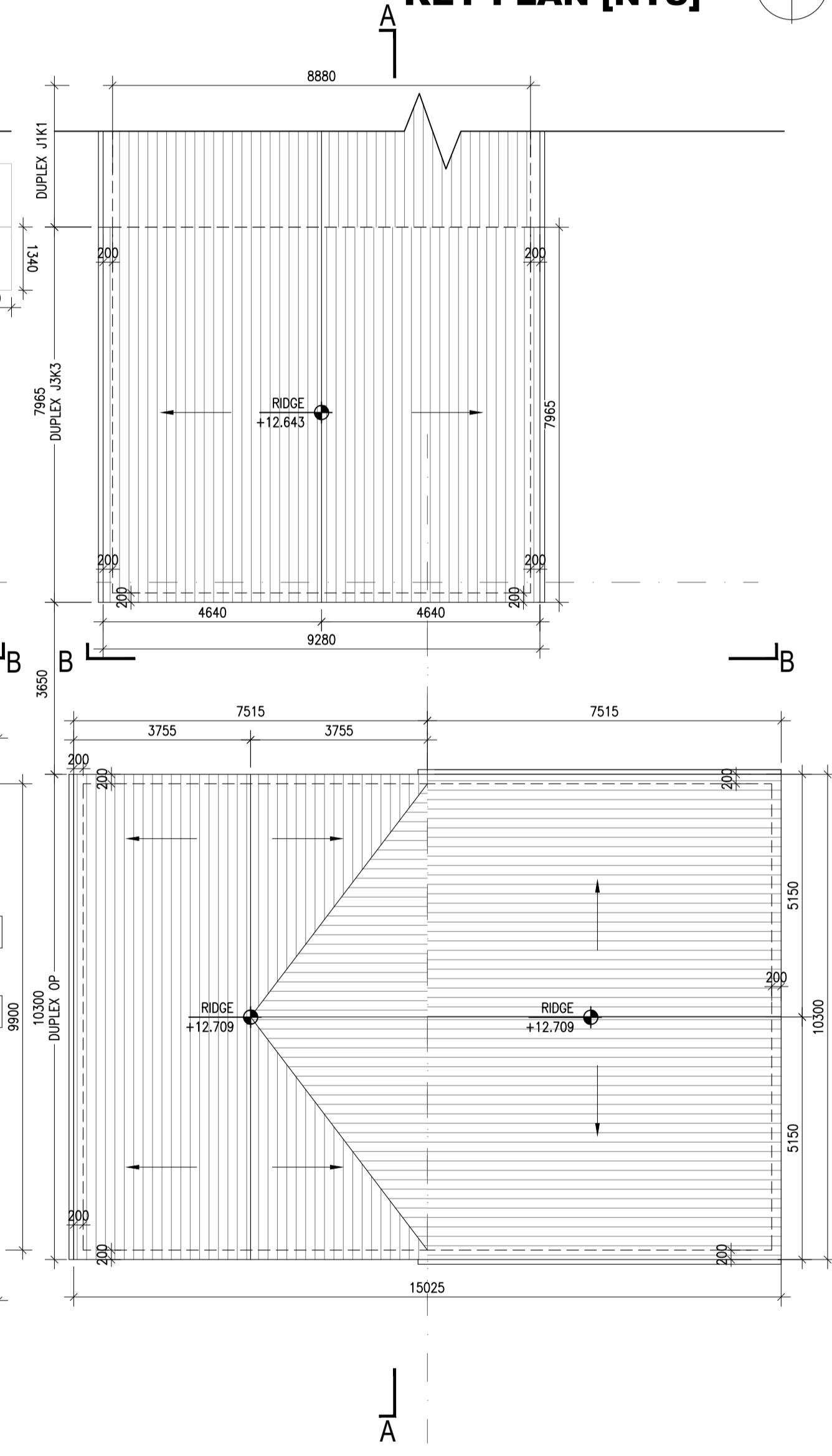
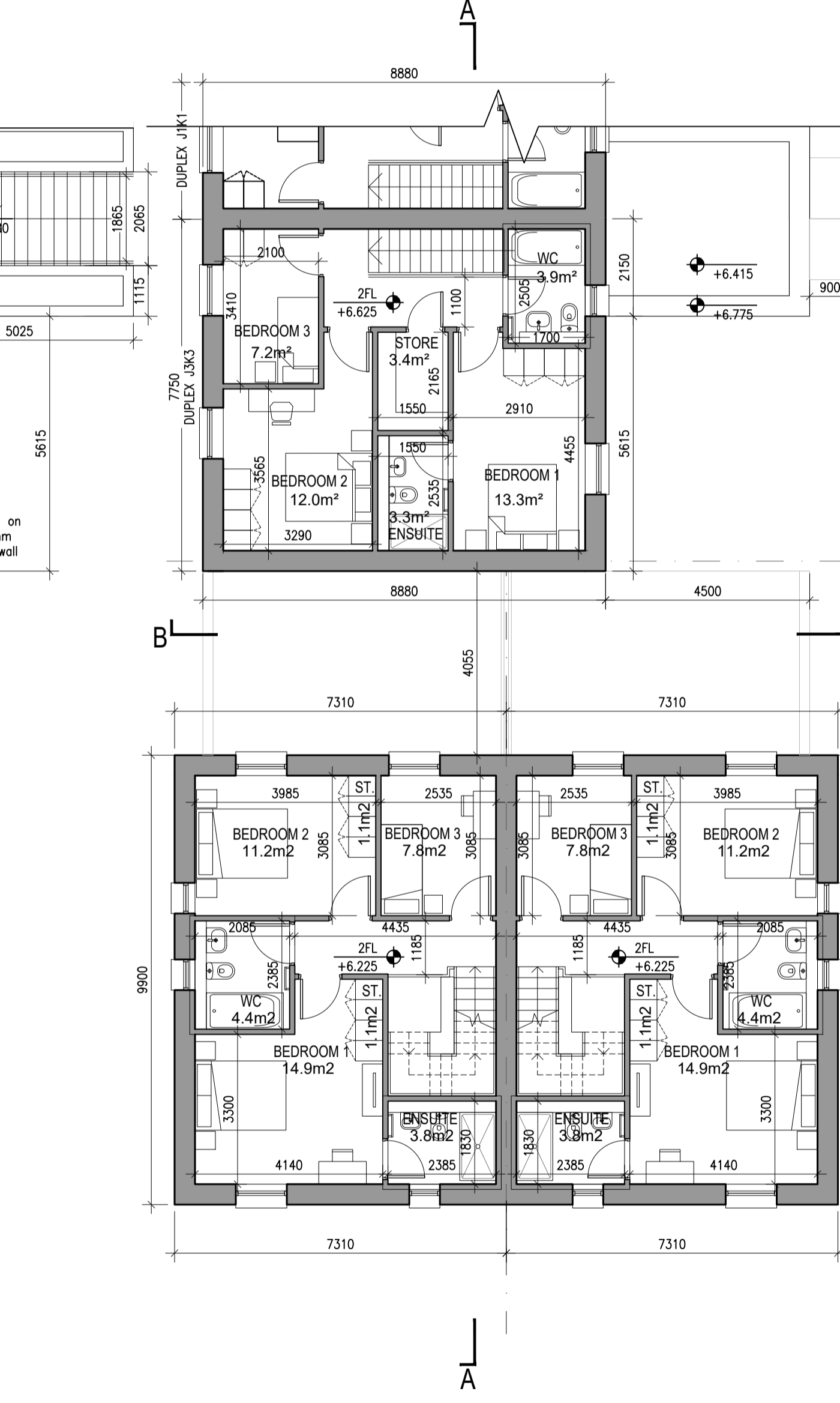
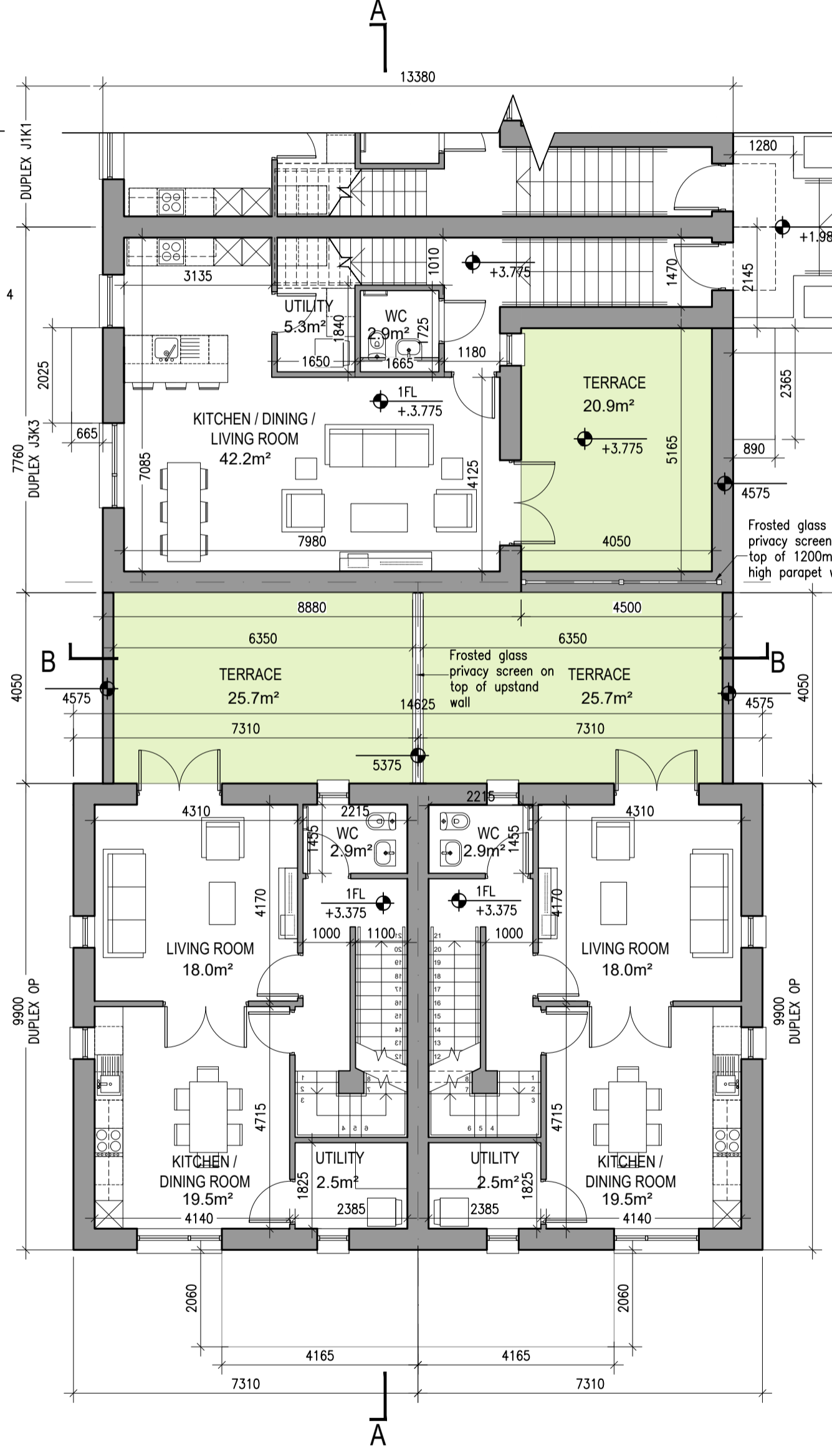
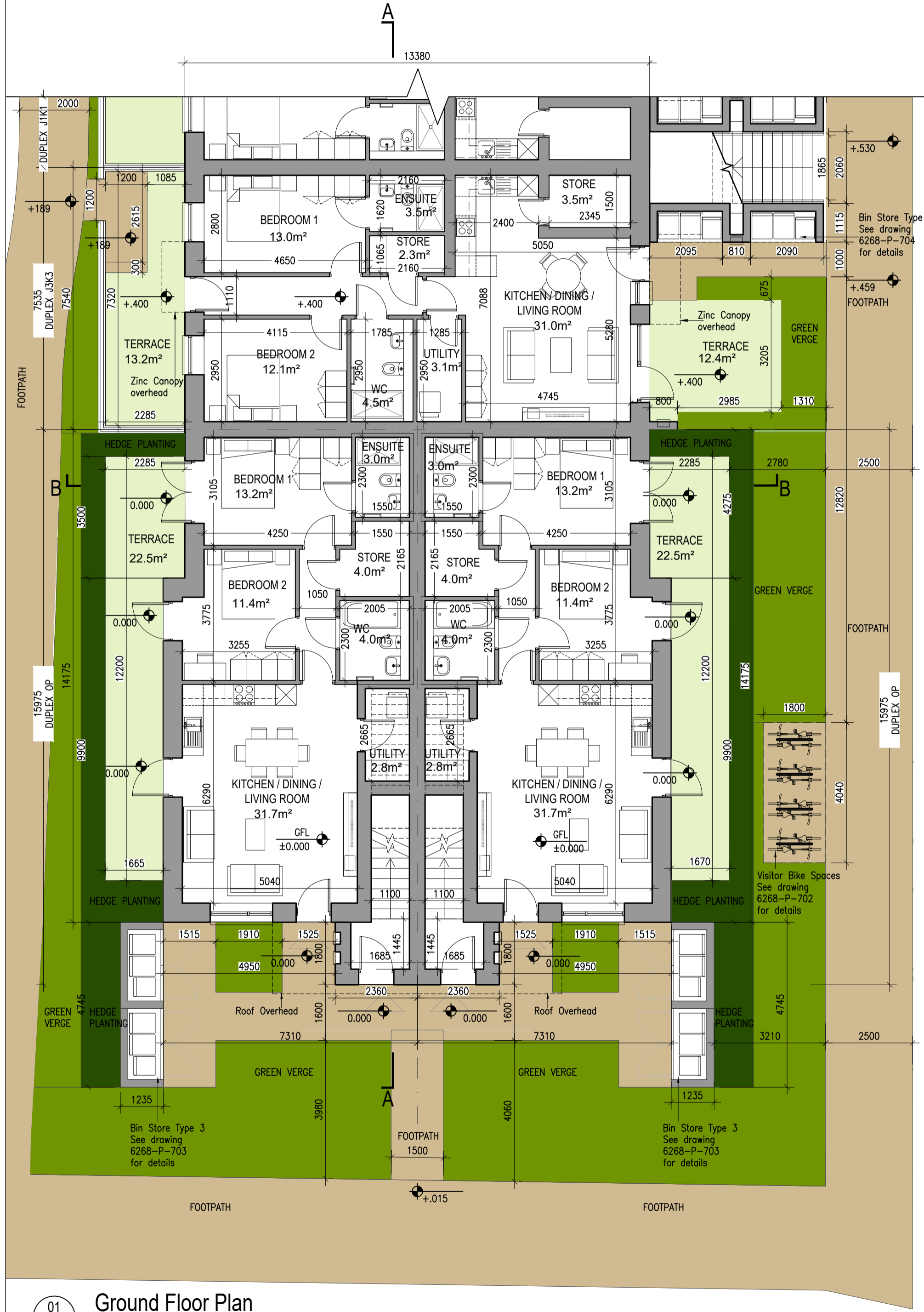
**DUPLEX TYPE P**  
Private Int. Stair: 6.3m<sup>2</sup>  
First floor area: 59.7m<sup>2</sup>  
Second floor area: 59.7m<sup>2</sup>  
Total Floor Area (3-bed unit): **125.7m<sup>2</sup>**

**APARTMENT TYPE J3**  
Ground floor area: 87.0m<sup>2</sup>  
Total Floor Area (2-bed unit): 87.0m<sup>2</sup>

**DUPLEX TYPE K3**  
Ground floor priv. stair: 6.6m<sup>2</sup>  
First floor area: 56.5m<sup>2</sup>  
Second floor area: 56.5m<sup>2</sup>  
Total Floor Area (3-bed unit): **119.6m<sup>2</sup>**



Indicates unit locations  
**KEY PLAN [NTS]**



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**Issue Status**

Progress	Planning Application	Fire Cert	Disability Cert	Tender	Construction	As Built	Information Only
■							

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

**Project**  
 Adamstown Extension - Clonburris SDZ Residential Development

**Drawing Title**  
 Duplex Type OP & JK3 - (end) Handed - Plans

**Drawing No**  
 6268-P-218

**Scale**  
 1:100 @ A1

**Rev**  
 01

**Drawn**  
 AM

**Date**  
 JAN/2023

**REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS**

**DUPLEX TYPE OP & JK3**

**bkdarchitects**  
 BURKE-KENNEDY DOYLE

6-7 HARCOURT TERRACE, DUBLIN 2, IRELAND  
 1-353-1-6182400 1-353-1-6767365  
 architects@bkd.ie

**DUPLEX TYPE O,P**

**DUPLEX TYPE J3K3**

**Duplex Drawings - as submitted under granted planning permission.**  
**Note - all Duplex units meet/exceed the minimum requirements of the Sustainable New Urban Housing Standards for New Apartments 2022**

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Type O	- 2 bed	2 storeys	04
Type P	- 3 bed	1 storey	04
			142

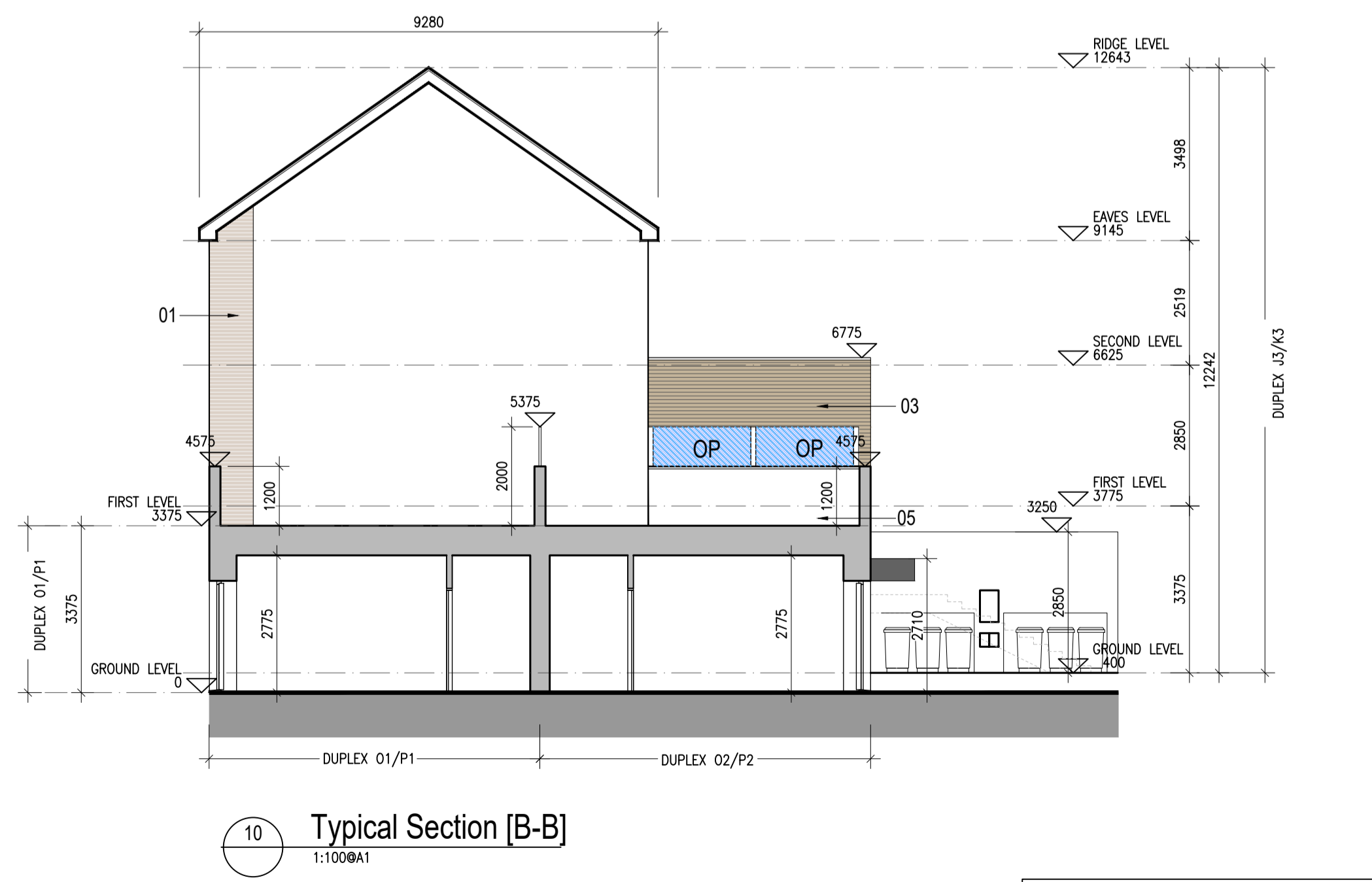
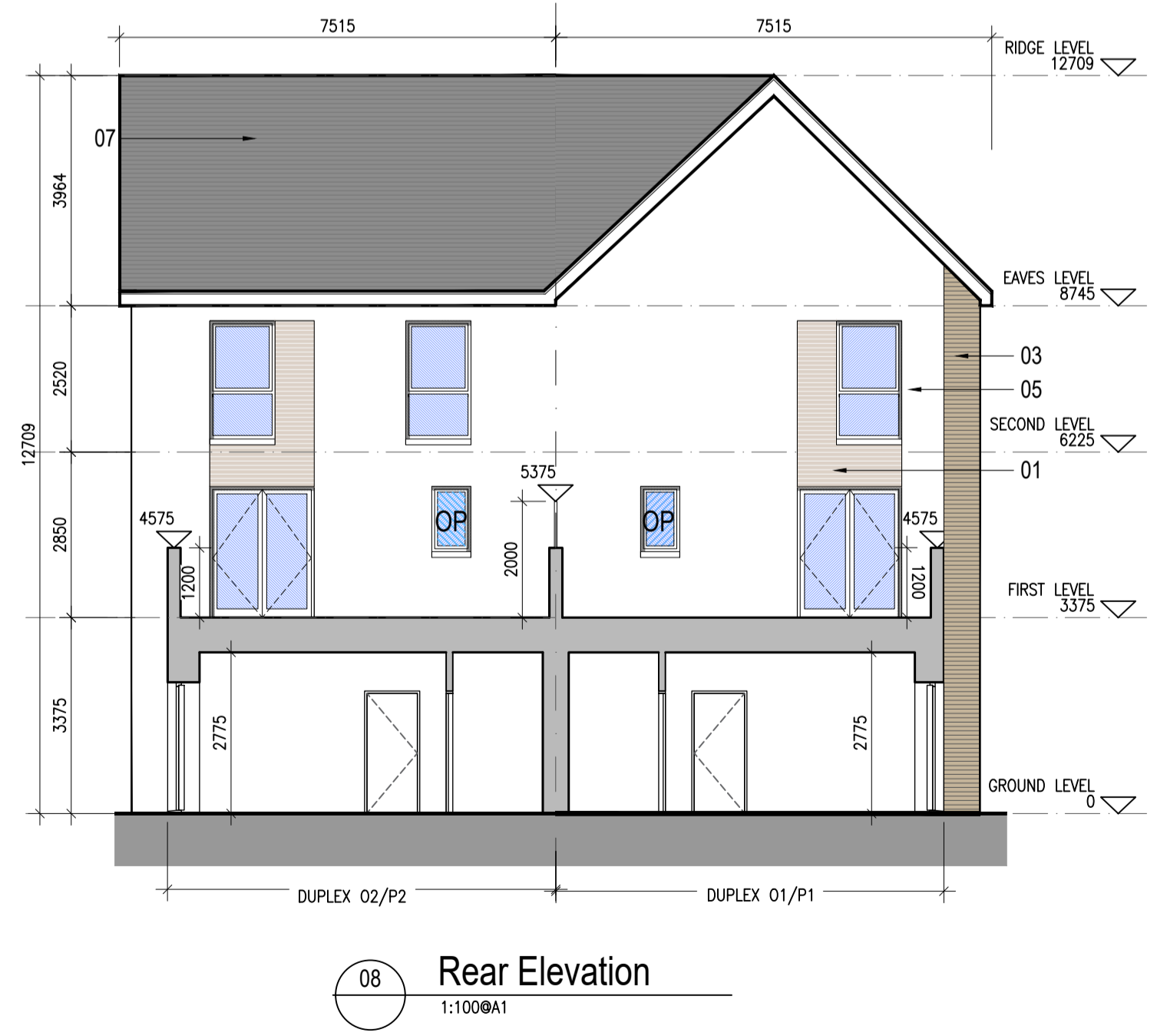
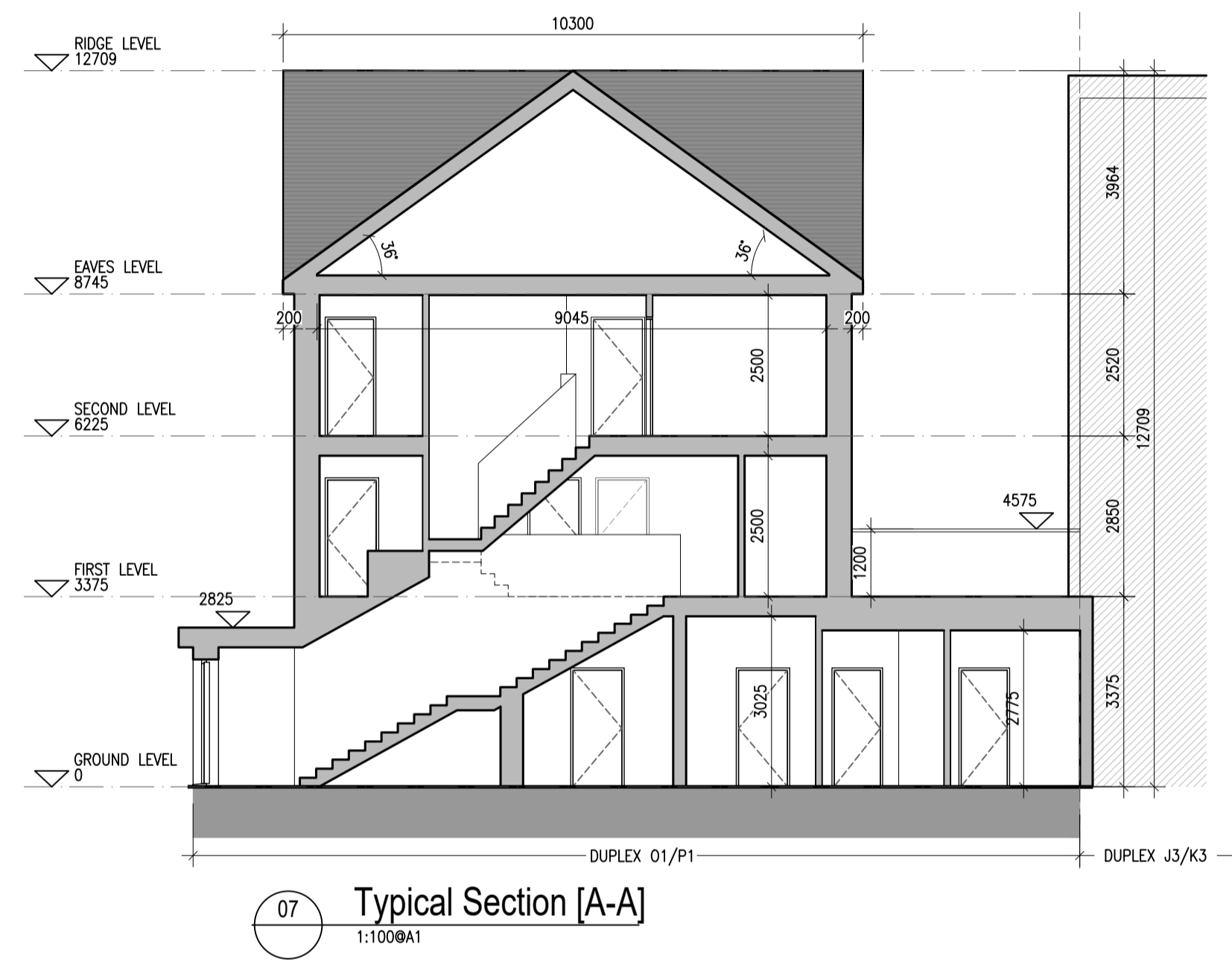
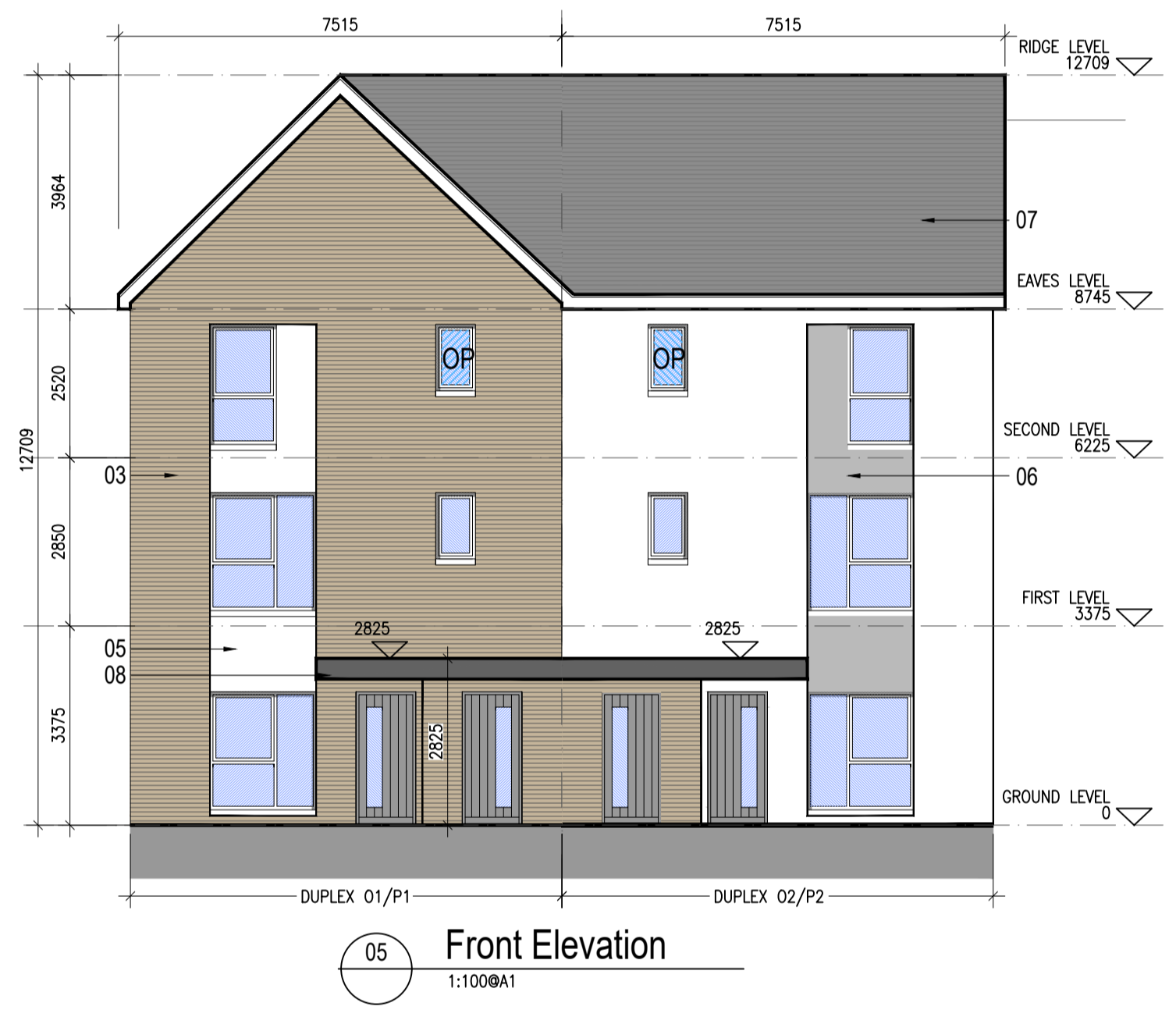
MATERIAL CODE LEGEND	
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07	CONCRETE ROOF TILES - DARK APPROVED TONE
08	POWDERCOATED METALWORK OR uPVC - DARK APPROVED RAL COLOUR
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EXTERNAL FINISHES	
WALLS:	PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS
WINDOWS:	SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR OBSCURED GLAZING TO BATHROOMS AND EN-SUITES.
DOORS:	SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.
RAINFALL:	uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.
GOODS:	
MAIN ROOF:	CONCRETE ROOF TILES IN SELECTED COLOUR.
LOW LEVEL PROJECTION:	ZINC CANOPY TO ENTRANCE OF UNITS
OTHER ITEMS:	uPVC OR POWDER COATED METAL FASCIAS, SOFFITS AND BARGE BOARDS PAINTED MILDSTEEL RAILINGS AND BALUSTRADES

<b>DUPLEX TYPE O</b>	Total Floor Area (2-bed unit):	<b>79.5.0m<sup>2</sup></b>
<b>DUPLEX TYPE P</b>	Private Int. Stair	6.3m <sup>2</sup>
	First floor area	59.7m <sup>2</sup>
	Second floor area	59.7m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>125.7m<sup>2</sup></b>
<b>APARTMENT TYPE J3</b>	Ground floor area	87.0m <sup>2</sup>
	Total Floor Area (2-bed unit):	87.0m <sup>2</sup>
<b>DUPLEX TYPE K3</b>	Ground floor priv. stair	6.6m <sup>2</sup>
	First floor area	56.5m <sup>2</sup>
	Second floor area	56.5m <sup>2</sup>
	Total Floor Area (3-bed unit):	<b>119.6m<sup>2</sup></b>



Indicates unit locations  
**KEY PLAN [NTS]**



- 1. Copyright Reserved
- 2. Work to figured dimensions only. Do not scale drawing
- 3. The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect
- 4. Where appropriate, for details of r.c. structure, or mechanical and electrical details, see Engineers drawings
- 5. Proprietary items shall be fixed in strict accordance with manufacturers instructions.
- 6. Sizes of proprietary items shall be checked with manufacturer.
- 7. The contractor shall be responsible for the coordination of structure, finishes and services.

Issue Status	Progress
Planning Application	■
Fire Cert	
Disability Cert	
Tender	
Construction	
As Built	
Information Only	

No.	Date	Revision	Initials
01	27/01/23	Planning Application	AM

Project	Adamstown Extension - Clonburris SDZ Residential Development
Drawing Title	Duplex Type OP & JK3 - (end) Handed - Elevations & Section
Drawing No	6268-P-219
Scale	1:100 @ A1
Rev	01
Drawn	AM
Date	JAN/2023

**DUPLEX TYPE O,P**

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