



## Additional Information

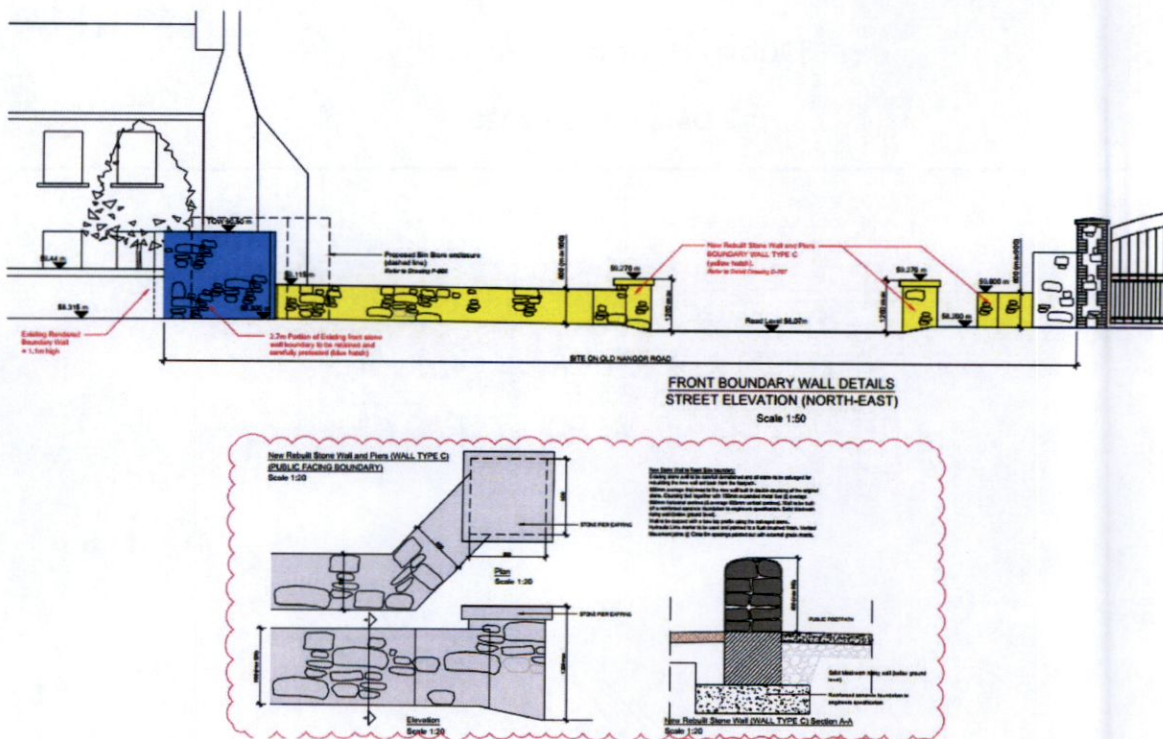
### Item No.3

Refer to AIT Landscaping and Hayes Higgins Consulting Engineers for response to items 3.1 (I,ii,ii,iv,v & vi), 3.2, 3.3 (A,B,C,D,E) and 3.4 (a,b).

#### 3.5. Boundary Treatment

The applicant is requested to submit elevation drawings specifying the proposed boundary treatment to the front of the site.

Refer to Walsh Associates Drawings D-707 (Wall Type C) and D-708 (Street Elevation of rebuilt 800-900mm high wall), for revised boundary treatment to front of the site.

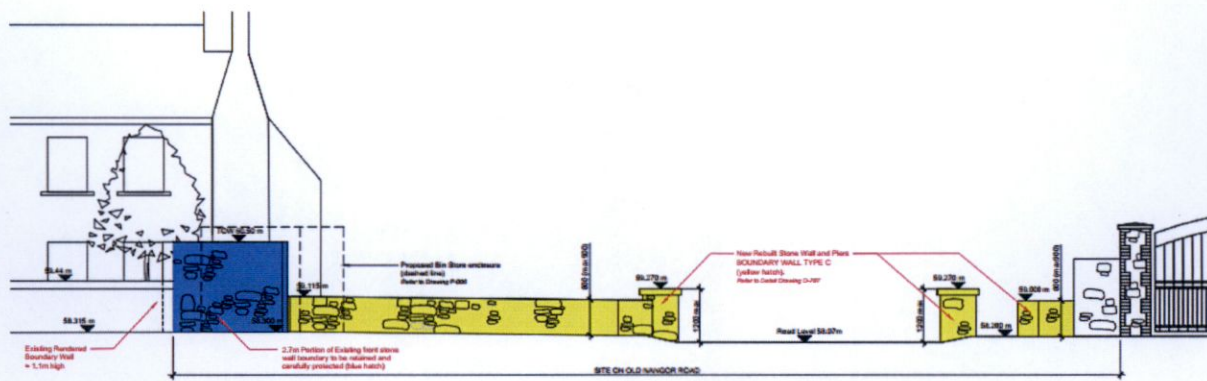
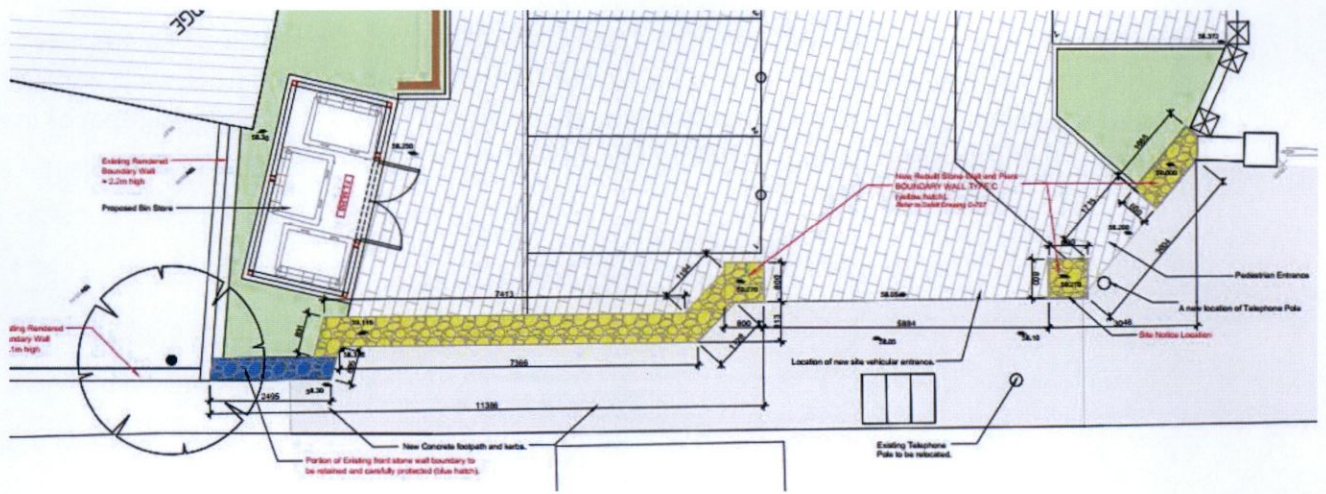


### Item No.4

4.1. The applicant shall submit a revised layout of not less than 1:200 scale, showing boundary walls at vehicle access points limited to a maximum height of 0.9m, and any boundary pillars limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles.

Refer to Walsh Associates Drawing D-708 (Plan & Elevation of rebuilt 900mm high wall illustrated at 1/50).

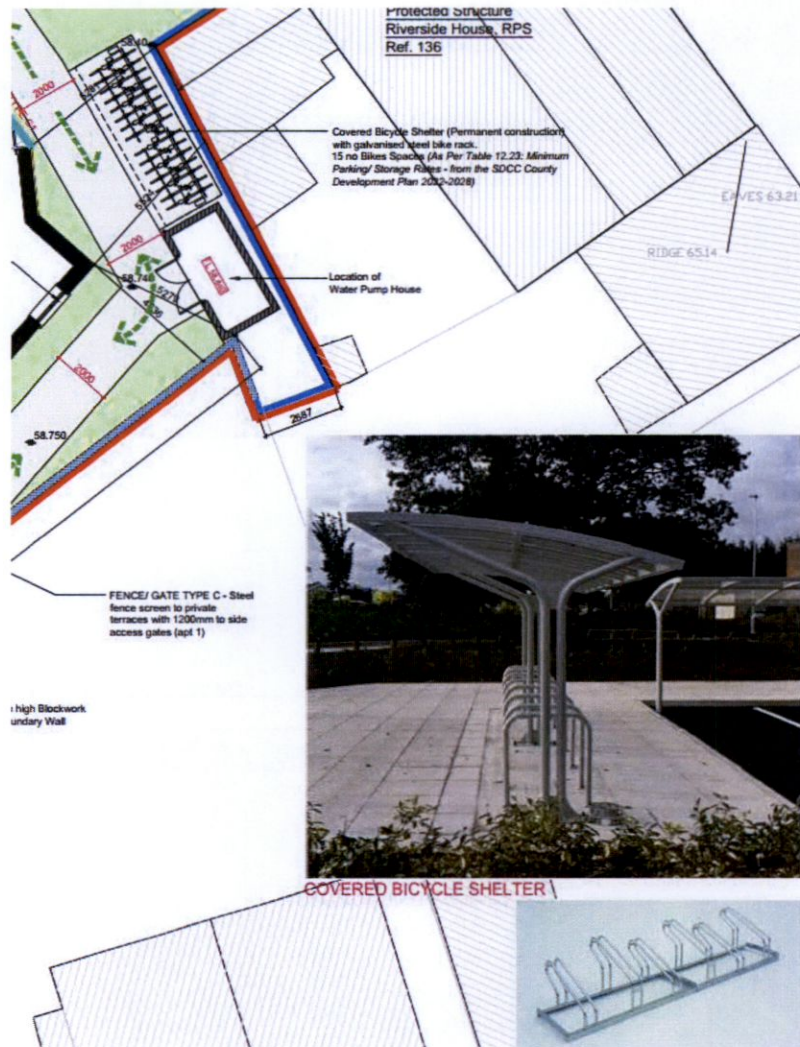
Refer to Walsh Associates Drawing P-002A enclosed for a revised overall site plan reflecting the revised front boundary wall arrangement illustrated at 1/100.



**FRONT BOUNDARY WALL DETAILS**  
**STREET ELEVATION (NORTH-EAST)**  
 Scale 1:50

2. The applicant shall submit a revised layout of not less than 1:200 scale showing the location and number of Bicycle parking spaces to be provided at the development. Please refer to Table 12.23: Minimum Parking/Storage Rates – from the SDCC County Development Plan 2022-2028.

Refer to Walsh Associates revised Drawing P-002A (scale 1/100) for the location of a proposed covered bike parking area. The bike parking consists of a Galvanised steel rack with a Proprietary Galvanised steel frame & polycarbonate shelter as below. 15no. parking spaces in accordance with the SDCC County Development plan for 10no. Apartments.

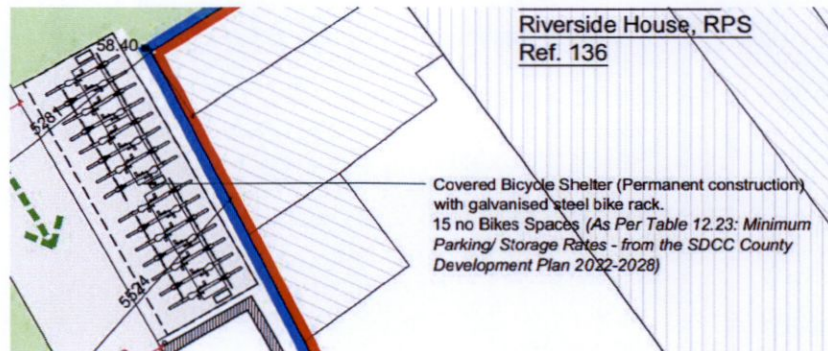
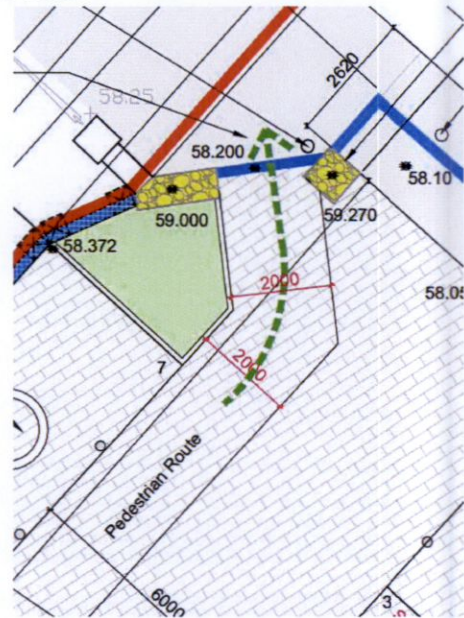
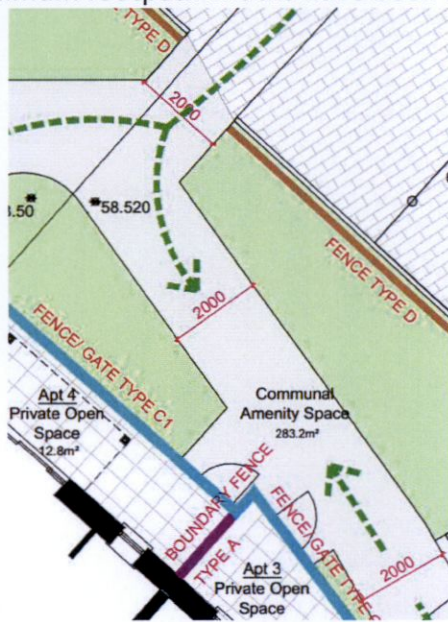


*3. The applicant shall submit accurate plans demonstrating the provision of a visibility splay with a 2.4 meter set back at a 1.05-meter height from ground level and 49 meters sight lines in both directions from the entrance. Sight lines should be shown to the near side edge of the road to the righthand side of entrance and to the centreline of the road to the left-hand side of the entrance (when exiting).*

Refer to Hayes Higgins Consulting Engineers drawing indicating the required visibility splay.

4. The applicant is requested to submit a revised layout not less than 1:200 scale showing the car parking, bicycle parking and pedestrian routes within the development. Please refer to Table 12.23 Minimum Bicycle Parking Rates– SDCC County Development Plan 2022-2028.
- The minimum width of footpaths shall be 2.0m wide to aid mobility impaired users.
  - All external bicycle parking spaces shall be covered.
  - Footpath layout shall provide adequate connectivity around the development and to footpaths on the main road.

Refer to Walsh Associates revised Drawing P-002A for the location of proposed carparking , covered bike parking (15no. in accordance with Table 12.23) and pedestrian routes. Minimum footpath widths have been revised to 2.0m wide.



*5. The applicant shall submit a revised layout of not less than 1:200 scale, showing a swept path analysis drawing (i.e. Autotrack or similar) demonstrating that fire tenders and large refuse vehicles can access/egress the site. The drawing should also show how vehicles can access the parking spaces.*

Refer to Hayes Higgins Consulting Engineers response.

**Item No.5**

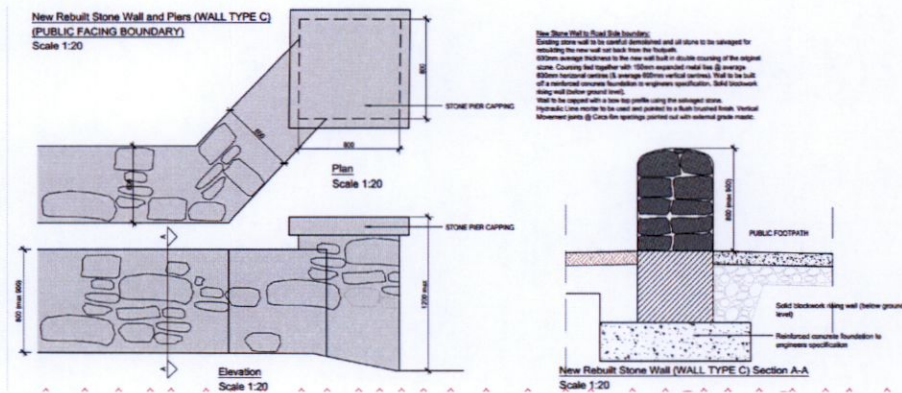
The drawings submitted regarding the boundary of the site need more detail regarding the existing retained and proposed built front boundary wall for a full assessment. The Planning Authority considers that the applicant must demonstrate further that the proposed development will not adversely impact the nearby Architectural Conservation Area. (i) The applicant shall submit a revised detail of the works involved in the boundary wall and include colour hatching of the proposed and retained elements; in contiguous and sectional drawings

The Project Architects have taken full account of the site setting and the adjoining protected structure: the former RIC Barracks (South Dublin County Council RPS Ref. 136). Furthermore the Project Architects are aware that the former RIC Barracks is subject to an objective in the South Dublin County Development Plan 2022 – 2028 that seeks “to investigate the purchase and development of the old RIC Barracks on the Old Nangor Road which is a Protected Structure within the present Architectural Conservation Area”.

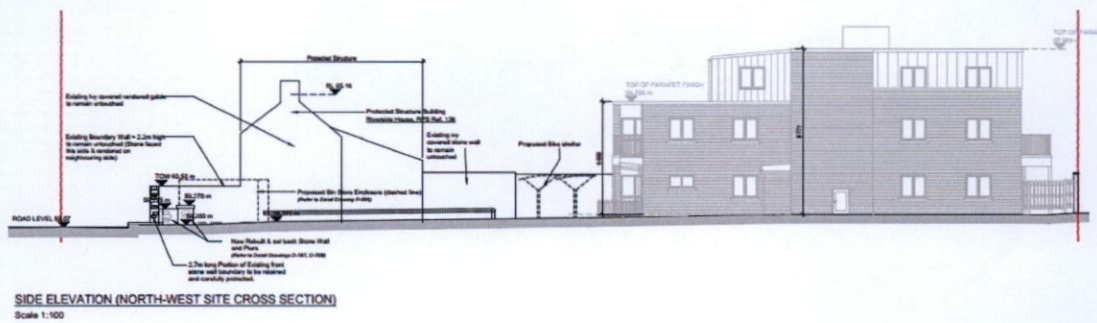
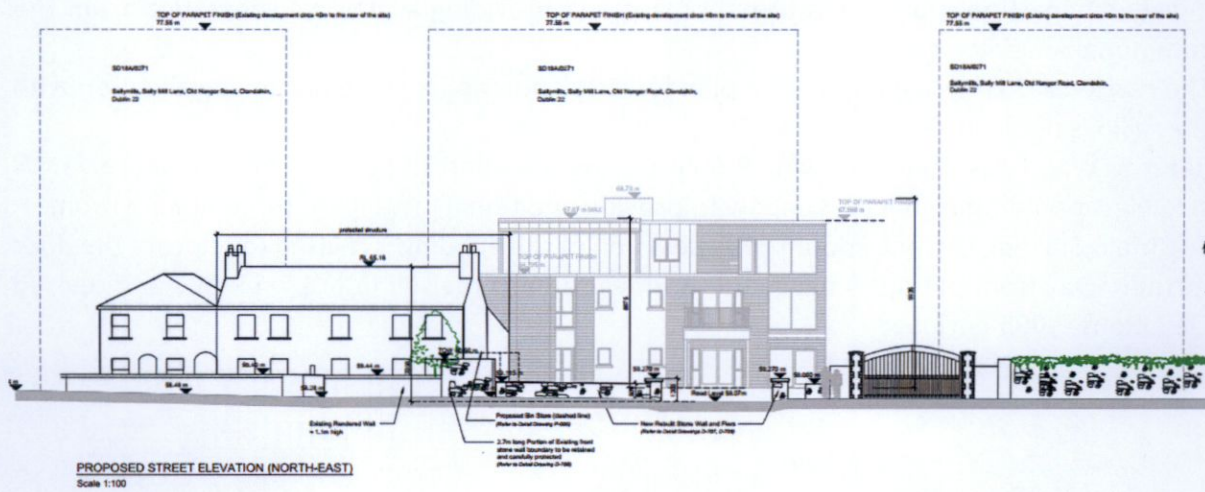
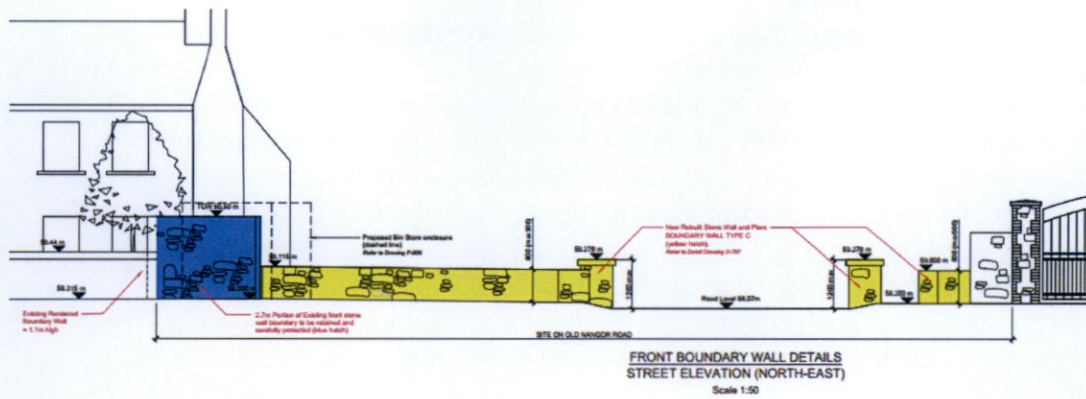
The proposed development site is a brownfield area, formerly associated with the site of the former Sallypark House. The front boundary wall is the only extant feature of any historic character within the subject site. The proposed development will not negatively impact the setting of the former RIC Barracks and will not impede the Planning Authority’s desire and objective to bring about the restoration of the protected structure. While the proposed development site is not located within the Clondalkin Architectural Conservation Area (ACA) it does abut it: the ACA does include the former RIC barracks. The proposed new buildings are set back from the road and do not impact on the architectural conservation area or the protected structure. Whilst the new housing units will be taller than the former RIC barracks, there are consistent with buildings in the wider vicinity and moderate between the height of the RIC at street frontage and the taller existing apartment scheme which is located to the rear of the proposed development permitted under Planning Register Reference SD18A/0271 & SD22A/0038. From an Architectural heritage perspective, the development is a proportionate and sympathetic intervention.

Refer to Walsh Associates Drawing D-709 enclosed for proposed contextual street elevation and site section.

It is proposed to carefully take down and store the rubble masonry that makes up the roadside boundary wall to the subject site. A new wall, set back slightly from the street, will be built by suitably experienced contractors; the new wall will incorporate and re-use the harvested rubble masonry. The applicant invites a planning condition that stipulates this requirement/intervention. Refer to Walsh Associates Drawings D-707 and D-708 enclosed for further detail on the boundary treatments to front stone wall of the site.







**Item No.6**

There are concerns with the layout of the proposed development regarding the private amenity space of the future occupiers of ground floor apartments 3 and 4. The area of private space appears to be open and contributes to communal open space given its shape and use as circulation space. The proposed development boundary treatment and/or 'privacy strip' should be revised to provide distinctly private and usable communal open space in accordance with the Sustainable Urban Housing: Design Standards for New Apartments (2020) and South Dublin County Development Plan 2022-2028.

In this regard, the applicant is requested to submit the following:

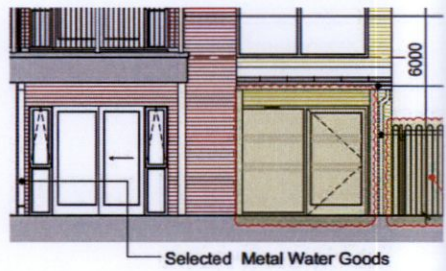
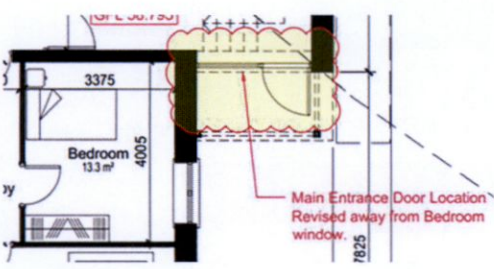
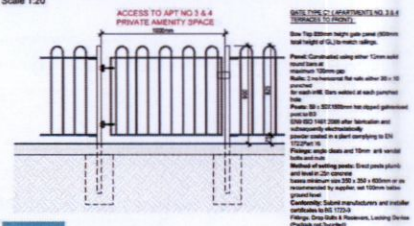
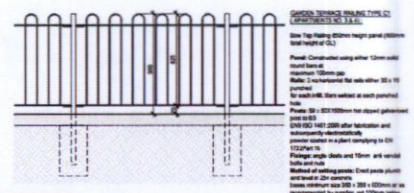
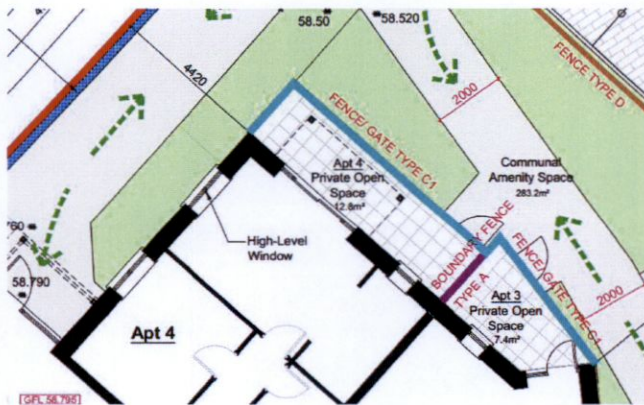
(a) revised section and elevational drawings that illustrate that a sufficient level of privacy is afforded to the habitable rooms of ground floor apartments 3 and 4, including the bedrooms.

Refer to Walsh Associates Drawing P-002A site plan and D-708 Boundary Details drawing enclosed for clear demonstration of proposed railings & own private gate forming the individual apartment private external spaces and providing a physical separation from the communal amenity space.

The revised AIT Landscaping revised plan for soft landscaping screening in coordination with the railings detailed.

Refer to Walsh Associates Drawing P-005 revising the Apartment 4 living room window (NW side elevation) to a high level window to provide additional privacy to this habitable room.

The Main Building Entrance door to NE elevation of the building is revised to relocate the door further away from the Apt 4 bedroom window, refer to revised floor plan P-003 and revised Elevations P-005 enclosed.



**END**