

5<sup>th</sup> July 2023

Planning Department  
South Dublin County Council  
County Hall  
Belgard Square North  
Tallaght  
Co. Dublin

**Re.: Clonburris SDZ – Mixed Use Development – Clonburris T2**

**Applicant: Cairn Homes Properties Ltd.**

**Register Reference: SDZ22A/0018**

**Response to Request for Additional Information - Landscape**

Dear Sir / Madam,

Please find following our response to the items of the recent request for additional information for the above planning application which are related to the discipline of landscape architecture, landscape design, green-blue infrastructure or related elements.

We have structured our response with the relevant text from the Request for Additional Information at the start of each section in **bold italic type**, with underlining added if necessary to draw specific attention to the most relevant aspects of the request to the discipline of landscape architecture.

Of course, the design changes to the scheme as a whole in response to the Request for Additional Information have been coordinated with Altu Architects, DBFL Engineers and the wider design team, so please also refer to their submissions for other details.

## **RESPONSE TO ADDITIONAL INFORMATION REQUEST - LANDSCAPE**

### **2. Design**

***c. There are concerns with the level of active uses provided along secondary shopping frontage areas and also along the southern link street frontage. The applicant is requested to provide a revised layout, which provides more appropriate uses along the secondary retail frontage and also activates the area along the link street.***

#### **Response:**

- Please see Drawing no. 1868\_PL\_P\_01 and associated drawings which indicate revisions to the landscape design to enhance the streetscapes around the retail frontage and southern link street frontage. This entails additional planting and pavement treatments to reduce the size of the paved areas and add greater variety of treatment, interest and texture, to achieve a finer urban grain in terms of detail. These are simple and subtle changes, but will enliven the streetscapes in conjunction with the architectural changes.

- Please note that additional own-door residential units have been included along the southern link street frontage to activate the frontage – please see Architects' submission.



Extract from Landscape Plan: secondary shopping frontage areas and southern link street frontage showing additional planters, paving detail and banding to enhance the streetscape in this area, in conjunction with architectural changes

**d. There are concerns regarding the street between Blocks A and B, where there are few ground floor units and a significant level of plant / cycle storage etc. There are also concerns regarding the level of active uses along the pedestrianised street. The applicant is requested to consider more active uses (including the provision of more apartments) along this street.**

Response:

- As part of the strategy for activating the space between Blocks A and B, a café garden terrace is proposed to activate the space. This terrace is heavily planted with biodiverse and textured pollinator planting species which will enhance the streetscape, and furnished with bespoke furniture including a feature bench and mobile tables. The terrace space with feature paving and space for several outdoor tables, which can spill out from the corner café unit. As this space is south-facing it will have a pleasant aspect and add positively to the animation and atmosphere of the street. This space is intended to be a focus in the emerging community,

which will allow a thriving business to establish while creating a place for new neighbours and friends to meet in a central spot in the new town.

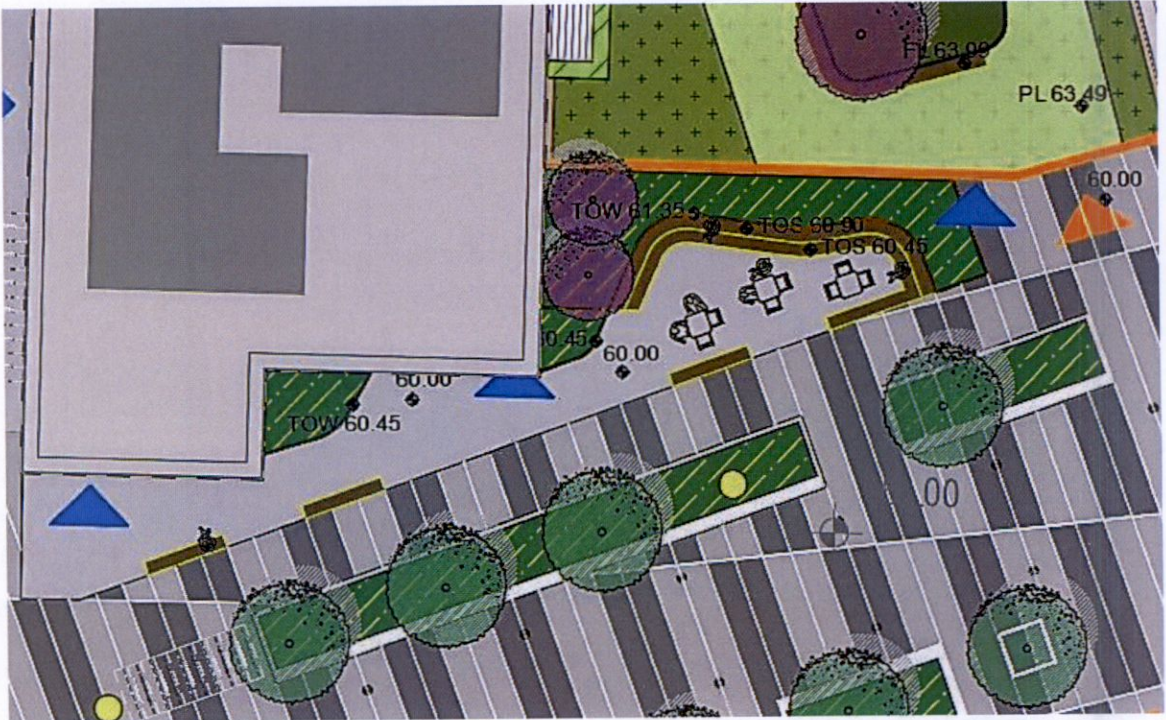
- Other changes to the building frontages have been made in the architecture and building usages to result in additional activation of the south side of the street with a bike hub and additional retail. The landscape has been adapted to ensure that people can freely access the building entrances and retail windows.
- Please see Drawing no. 1868\_PL\_P\_01, reference images and sketch below and associated drawings which indicate revisions to the landscape design including the café garden terrace.



*Indicative Reference Images: Gardenesque café terrace space with flowing lines and varied, exuberant planting*



*Indicative Reference Images: Café Garden Terrace with bespoke furniture*



Extract from Landscape Plan: Café garden terrace



Illustration of Café garden terrace (computer generated image prepared by 3DDB)

## **6. Landmark Building.**

***b. Landmark Buildings should be designed in a manner that is distinctive from surrounding buildings both in terms of architectural treatment and use of materials. To further emphasise their place-making function, Landmark Buildings shall incorporate high quality public realm treatment in terms of surrounding street planting, furniture, lighting and materials etc.***

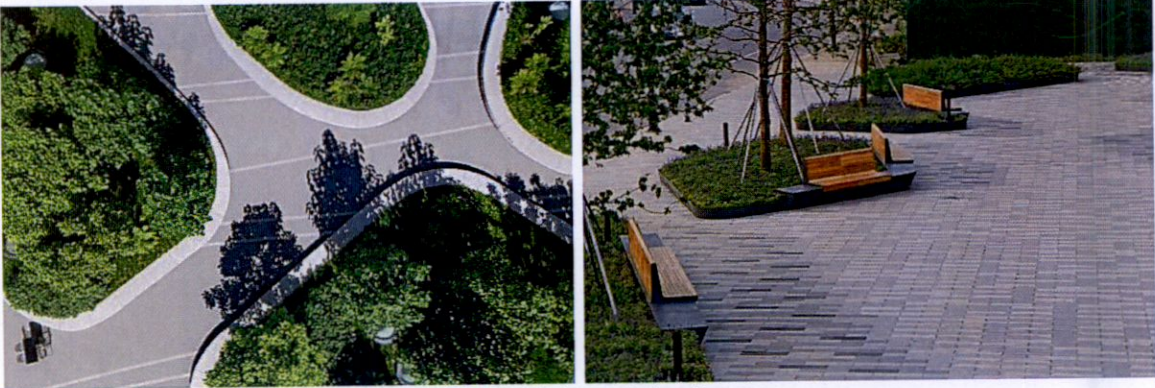
***The design of such buildings shall therefore be based on a coherent design concept that is clearly communicated via a Design Statement and Landscape Plan. In addition to the above and the requirement of Section 2.8.2, Design Statements for Landmark Buildings shall also analyse and illustrate the impact of the proposed development in relation to its immediate and wider context including views/vistas within and beyond the SDZ lands and in terms of sunlight and daylight effects.***

### **Response:**

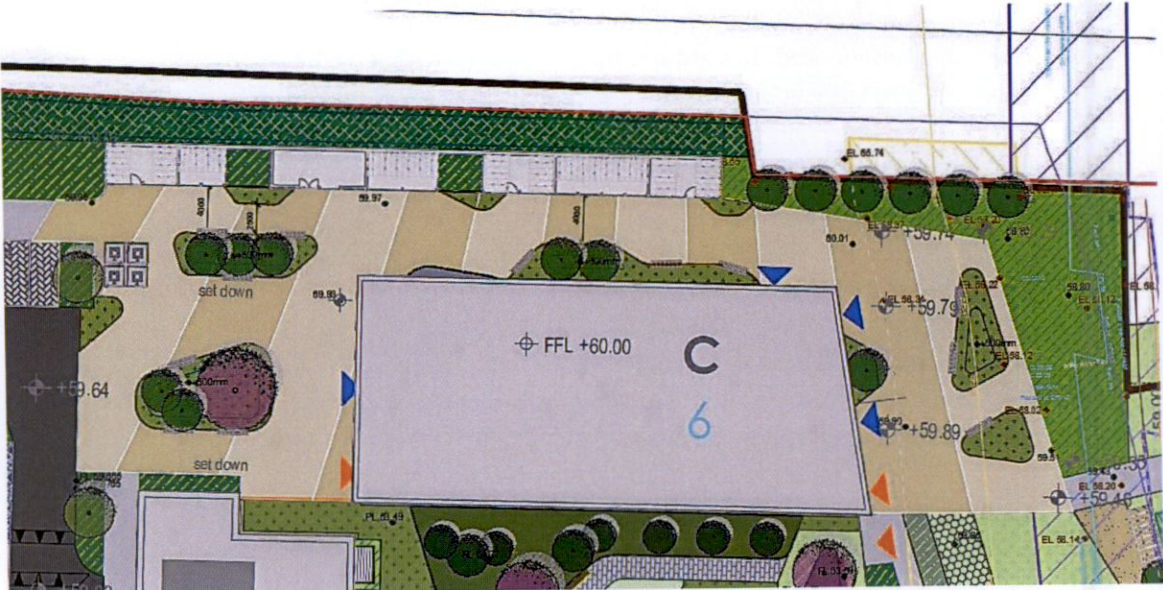
- Landscape design proposals around the landmark building have been substantially revised to create an area with unique character and identity as a setting for the Landmark Building.
- The ground pattern picks up on the oblique geometry of the eastern elevation of the building and 'fans' out from there, creating a distinctive plane of contrasting materials, which will be selected to be unique in the urban core area.
- A series of island and edge planters with curved, informal forms will create relief within the hard landscape areas, and will be planted with textured, diverse planting.
- Fire access has also been considered and the route has been revised to allow for greater planting and detail around the landmark building.
- Shared surface paths around the building will allow for continuous and convenient cycle and pedestrian access through the space.
- Please see Drawing no. 1868\_PL\_P\_01, reference images and sketch below, and associated drawings which indicate revisions to the landscape design in the area surrounding the landmark building.



*Indicative Reference Images: Island planters in patterned hard landscape context*



Indicative Reference Images: Details of island planters with integrated seating



Extrct from Landscape Plan: Landmark building public realm treatment



Illustration of Landmark building public realm, eastern area (computer generated image prepared by 3DDB)



*Illustration of Landmark building public realm, eastern area (computer generated image prepared by 3DDB)*

## 12. Parks.

The applicant is requested to address the following:

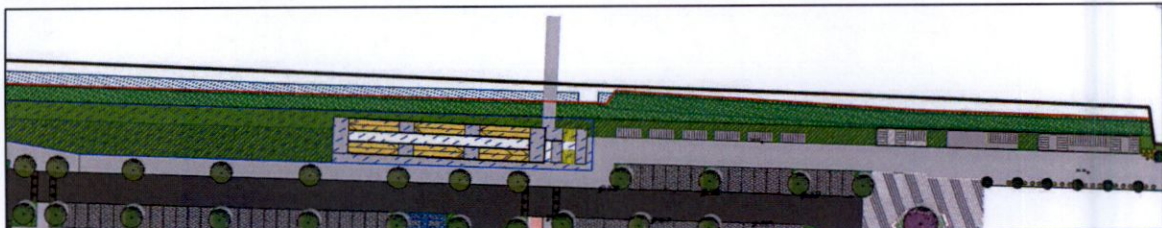
### a. Impact on existing hedgerows and biodiversity:

- Given the removal of hedgerows across this site additional efforts are required to maximise the ecological potential of the retained green corridors especially along the railway line where insufficient space has been allocated.

#### Response

For clarity, the area along the railway line (northern site boundary) and the area along the R113 road (eastern boundary) are the designated 'green corridors' under the SDZ Planning Scheme.

- The area allocated to planting along the railway line has been increased where possible. The cycle parking in these areas will also be on reinforced grass paving, and planting specifications modified to include more biodiverse and native perennials, grasses, ferns and hedgerow plants where feasible. Please see extracts below which compare the previous and updated layouts and Drawing no. 1868\_PL\_P\_01 / associated drawings which indicate revisions to the landscape design in this area.
- Large stands of existing vegetation are retained on the eastern boundary and these areas are proposed to be planted with significant quantities of new trees (c.85no. individual new native trees and specimen shrubs), as well as large areas of native wildflowers and pollinator perennials. Note that no changes have been made in this area in response to the RAI, as we consider that it meets the required standard in terms of biodiversity.



Previous layout – Planning submission



Updated layout – Planning RFI – shows that the path has been narrowed to the minimum for a shared path and additional planting included where possible, as well as reinforced grass for cycle parking spaces.

- The applicant is requested to submit a revised detailed landscape plan, to be agreed with Public Realm, with full works specification, that accords with the specifications and requirements of Council's Public Realm Section.

#### Response

Shrub planting has been omitted from the specifications for the project for public realm areas that will be taken in charge. Where groundcover planting is proposed, it



is now formed from dense perennial planting, hedgerow, meadow grass or amenity lawn grass as appropriate which accords with parameters set for planting specifications provided by South Dublin Co. Council Parks Department for the adjoining permitted development, Phase T1A (Reg. Ref. SDZ21A/0022).

Outline Works Specification for Perennial Planting is as follows:

Planting Type:	Robust flowering perennial plants and grasses, with 85% pollinator friendly plants
Sample Species:	
Grasses -	Luzula sp., Molinia caerulea, Carex oshimensis 'Evergold'
Perennials -	Ajuga reptans, Liriope muscari, Lonicera periclymenum, Helleborus niger, Heuchera maxima, Libertariaformosa;
Density:	7-11 plants per square metre [densely planted to mitigate against weeds and give a visual impact with varying colours and heights that displays from spring to autumn]
Plant sizes:	Typically P9 Pot, 10-20cm ht., depending on species and availability
Soil:	Site soil to be reused (Clay Loam); min. 300mm deep for perennial planting
Planting Operations:	In accordance with NBS Planting Operations and SDCC requirements

- ***The revised landscape plan shall strengthen the northern railway corridor. Currently the Strategic Green Corridor stops at Block H but it is required to continue to Block B. Parking should be removed from this area.***

Response

The area allocated to planting along the railway line has been increased where possible. The cycle parking in these areas will also be on reinforced grass paving, and planting specifications modified to include more biodiverse and native perennials, grasses, ferns and hedgerow plants where feasible. Please see extracts above which compare the previous and updated layouts and Drawing no. 1868\_PL\_P\_01 / associated drawings which indicate revisions to the landscape design in this area.

- ***Improved accessibility to the main open space is required and further details are required regarding the play provision.***

Response

An additional accessible route has been incorporated into the layout of the main open space, on the eastern side. Please see extracts below which compare the previous and updated layouts, diagram showing accessible routes and Drawing no. 1868\_PL\_P\_01 / associated drawings which indicate revisions to the landscape design in this area.



Previous layout – Planning submission



Updated layout – Planning RFI – Additional Accessible Path on the eastern side of the space

- b. *the applicant is requested to set out measures to strengthen Strategic and Local Green Infrastructure connections within the site and to clearly identify links to adjacent existing / approved corridors.*

Response:

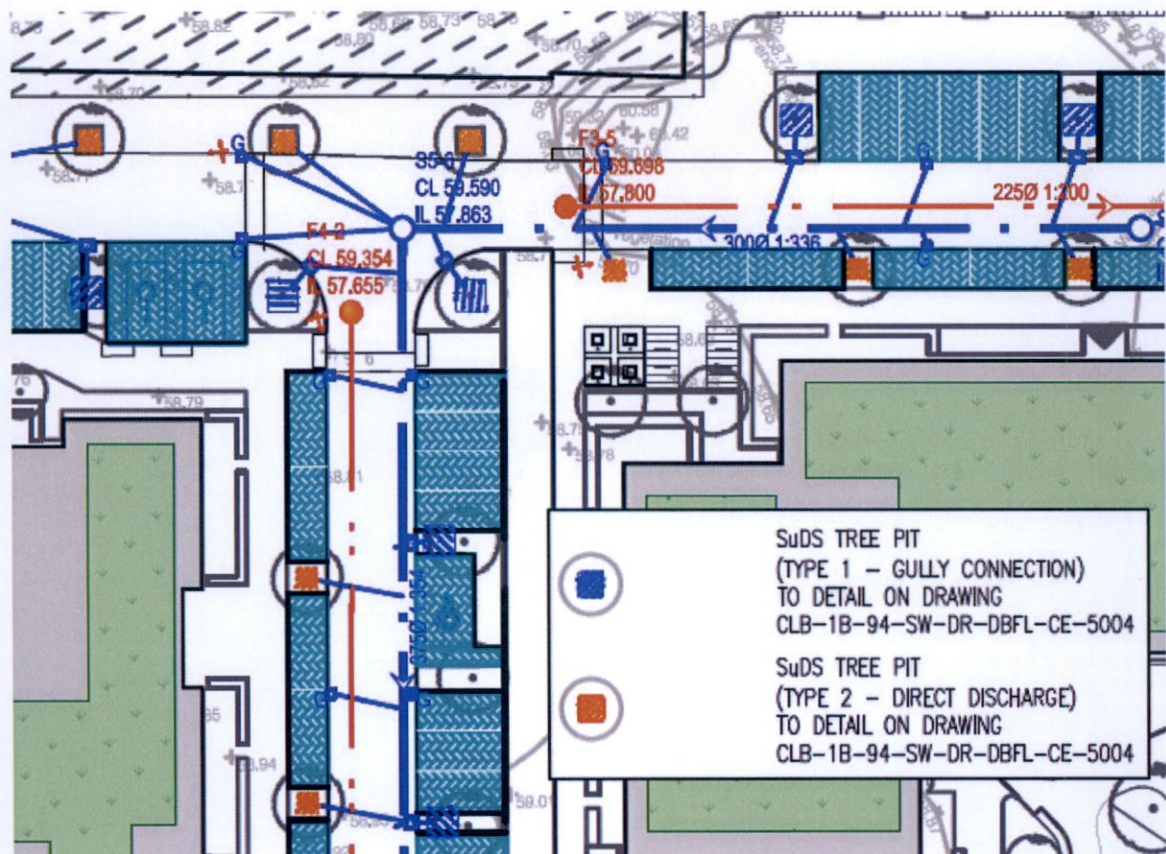
Additional trees and planted areas have been incorporated into the design of the Strategic and Local Green Infrastructure connections on the northern and eastern boundaries, as described above and also along the north-south roads where possible.

- c. *Modifications are required to comply with SDCC's Guidance. These changes include swale widths, driveway details and water flow into tree pits. The applicant is requested to submit revised details that indicate compliance.*

Response:

There are no swales or driveways in the current application. SuDS tree pits have been incorporated into the scheme and coordinated fully with DBFL Engineers. Almost all street trees will contribute to attenuation of stormwater. Details of water flow and details of the proposed tree pits can be seen on DBFL's drawings, and have also been reviewed and coordinated with this office. Please see extract from DBFL's plans below which gives an indication of the water flow and tree pit types utilised. The proposals also include for extensive areas of permeable paving which will further attenuate water flow.

*Please see DBFL Engineers' drawings and documents for full details of SuDS proposals and drainage.*



Extract from DBFL Engineers' Drainage Plan [CLB-1B-94-SW-DTM-DR-DBFL-CE-1001] with SuDS tree pits & permeable paving

- d. *The concept of using natural play and equipment is acceptable, however, the applicant is requested to provide further details.*

Response:

In this phase of development, the emphasis in the public realm is on playful space to facilitate natural play, rather than play equipment or typical natural play elements such as logs or stepping stones. In the main open space, the tiered changes in level, open grass areas, swale channel / running water and 'stage' area are all considered to create opportunities for natural, exploratory and imaginative children's play. Similarly, in the open spaces to the eastern boundary, the slopes and plantations create ideal places for informal play and exploration.

The natural play areas within the first floor level residents' courtyards will be equipped with natural play equipment and elements. The detailed design of these spaces will be provided following planning. It is not possible to provide definite design proposals for all elements of the play area at this stage due to the health and safety requirements for playground design. Input from a specialist play designer and management companies will be required to inform the detailed design of these elements, which will not be taken in charge. In this way, the play provision can be bespoke and considered.



*Indicative Reference Images: Playful spaces/Natural Play areas – Main open space*



*Indicative Reference Images: Playful spaces/Natural Play areas – First Floor level courtyards*

**e. Accessibility of main open space/park: Wheelchair access from the main street axis/multi function plaza into the park is by a very indirect**

Response

An additional accessible route has been incorporated into the layout of the main open space, on the eastern side. Please see extracts under the repo which compare the previous and updated layouts, diagram showing accessible routes and Drawing no. 1868\_PL\_P\_01 / associated drawings which indicate revisions to the landscape design in this area.



*Illustration of main public open space, looking northeast from southwest corner: plaza terrace overlooking green space on right overlooking rain garden; The changes in level, SuDS channel and terraces make for a playful landscape which children can discover, explore and enjoy as well as functioning as an inclusive community space for recreation, performance and activity (computer generated image prepared by 3DDB)*

Please also see the Aerial View and CGIs booklet by 3DDB for more imagery of the site and landscape.

We trust that the foregoing is in order and provides a comprehensive response to the Request for Additional Information as it relates to the landscape and related elements. Should you have any queries please do not hesitate to contact the undersigned.

Yours sincerely,



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**Mark Boyle, Director**  
*For and on behalf of Murray & Associates*

***DRAWING LIST: Please see attached Drawing Issue Sheet***

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