

Register Reference: SD22A/0460 AI

Development: The change of use from warehouse to data repository facility, alterations to external facades, provision of a new 1100mm parapet, reclad roof, internal alterations, refurbishment of the existing office space, solar panels at roof level, external plant at ground and roof levels and equipment to include 12 condenser modules, an emergency back-up generator and associated fuel storage tank, transformer, extension to the existing sub-station (c. 13sq.m), 2 sprinkler tanks and pumphouse, bin store, 22 parking spaces including 2 electrical vehicle charging points, bicycle parking shelter, landscaping, planting, new security fence, external lighting, CCTV, altered vehicular gates, permeable hard surfaces, alterations to internal foul sewerage and water supply networks, provision of SuDS compliant surface water drainage system and all associated site works.

Location: Unit 1, M50 Business Park, Ballymount Avenue, Dublin 12

Applicant: Creighton Properties LLC

App. Type: Permission

Planning Officer: CAITLIN O'SHEA

Date Received: 07-Jul-2023

Decision Due: 03-Aug-2023

Prior to commencement of any works in the public domain, and in order to comply with The Roads Act 1993 Section 13 Paragraph 10, a Road Opening Licence must be secured from South Dublin County Council, Roads Maintenance Department.

Description:

The change of use from warehouse to data repository facility, alterations to external facades, provision of a new 1100mm parapet, reclad roof, internal alterations, refurbishment of the existing office space, solar panels at roof level, external plant at ground and roof levels and equipment to include 12 condenser modules, an emergency back-up generator and associated fuel storage tank, transformer, extension to the existing sub-station (c. 13sq.m), 2 sprinkler tanks and pumphouse, bin store, 22 parking spaces including 2 electrical vehicle charging points, bicycle parking shelter, landscaping, planting, new security fence, external lighting, CCTV, altered vehicular gates, permeable hard surfaces, alterations to internal foul sewerage and water supply networks, provision of SuDS compliant surface water drainage system and all associated site works.

Signed: *John McGee*

20/07/23

Endorsed:

DATE

Roads Related Additional Information Requested by SDCC:

2. (i) The applicant is required to submit, for verification and record purposes, the specific advice given to them by their Fire Consultant, which details why vehicle access is not required to the north of the building.

Applicant Submitted Response to Additional Information Request:

Gerald Rogers
Associate
Kavanagh Tuite Architects
Terminus Mills
Clonskeagh
Dublin
D06 XD37

Our Ref: 00505-GE
Planning Ref: SD22A/0460

15th June 2023

Dear Gerald,

Clarification of Additional Information SD22A/0460 – Unit 1, M50 Business Park, Ballymount Avenue, Dublin 12

In relation to the additional information request we provide the below response: -

2) (i) **The applicant is required to submit, for verification and record purposes, the specific advice given to them by their Fire Consultant, which details why vehicle access it not required to the north of the building.**

Vehicle access to the building is provided in accordance with Table 5.1 of Technical Guidance Document B, as detailed in Table 1 below:

Table 1: Provision of Vehicle Access

Volume of Building (m3)	Height of Top Storey (m)	Basis for Vehicle Access	Minimum Vehicle Access Required (m)	Vehicle Access Provided (m)	Type of Appliance
19,130 (<28,000)	4.5	15% of perimeter	31	67.2	Pump

Figure 1 below graphically represents the fire tender access provided to the building.

Signed: John McGee

20/07/23

Endorsed: _____

DATE

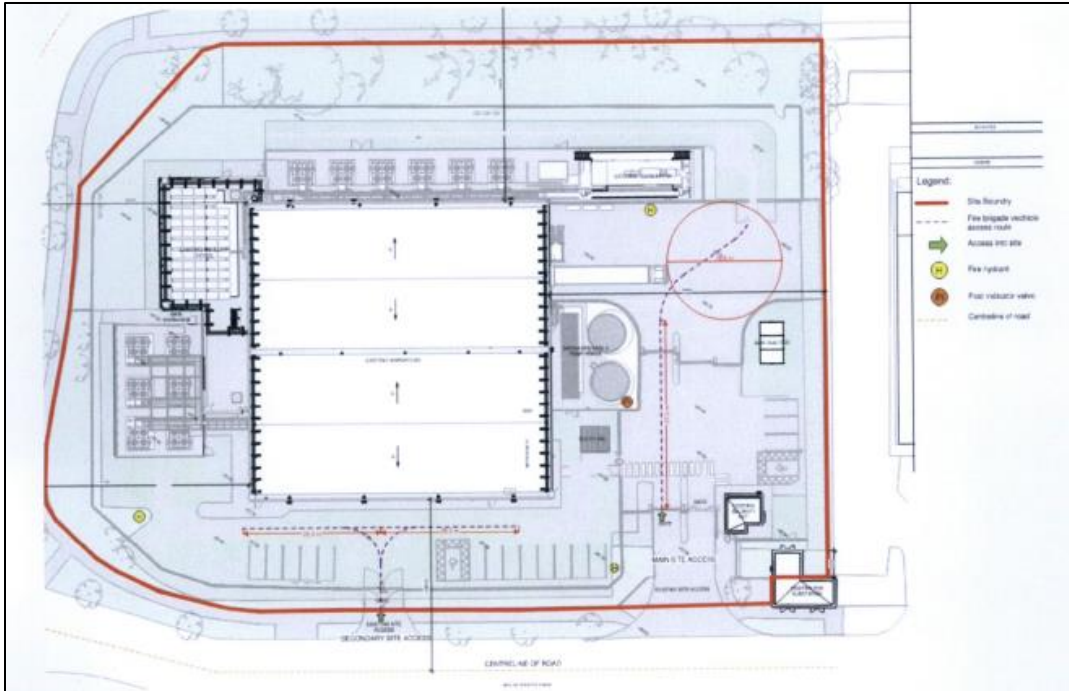


Figure 1: Site plan with vehicle access routes shown

The vehicle access to these elevations and the associated access road will be in accordance with Table 5.2 of TGD-B for a pump appliance, as detailed in Table 2 below.

Table 2: Vehicle Access Route Specifications

Minimum Width of Road Between Kerbs (m)	Minimum width of Gateways Between Kerbs (m)	Minimum Turning Circle Between Kerbs (m)	Minimum Turning Circle Between Walls (m)	Minimum Clearance Height (m)	Minimum Carrying Capacity (tonnes)
3.7	3.1	16.8	19.2	3.7	12.5

We trust that the above responses satisfy all items of clarification.

Yours sincerely

Ryan Hegarty
 Senior Fire Engineer, Ireland

Roads Department Assessment:

SDCC Roads Department is satisfied with the applicant's clarification.

No Roads objections

Signed: John McGee

20/07/23

Endorsed: _____

DATE _____