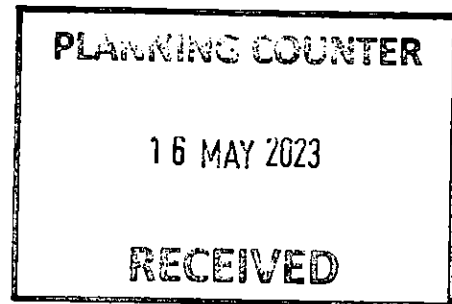


Edward Fitzgerald Selby

Architect B. Arch. Sc., Dip. Arch., M.R.I.A.I.

The Planning Department,
South Dublin County Council,
County Hall,
Tallaght,
Dublin 24.



May 16th 2023.

Dear Sir or Madam,

Re: Planning application for alterations & additions to Dwelling at The Lugg, Saggart, Dublin.

Please find enclosed planning application for development at the above address on behalf of my clients. The application comprises the following drawings and documents.

The points of Additional Information are as follows:

- 1. The applicant does not comply with Policy H23, Objective 1 of the South Dublin County Development Plan 2022-2028 and should submit the following: - The proposed development is not designed and sited to minimise the impact on the landscape including the views and prospects of natural beauty or interest or on the amenities of places and features of natural beauty or interest including natural and built heritage features. The applicant should provide revised drawings including floor plans, site plans, elevations and cross sections reducing the height of the two storey element of the proposed development in order to preserve the visual amenities of HA-DM area. - The proposed development may have a negative impact on the environment including flora, fauna, soil, water (including ground water) and human beings. The applicant should provide a revised landscape plan including replanting schedule and a full Green Infrastructure assessment including any mitigating measures to address the potential negative impact on the environment. - The applicant should*

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confirm that the proposed development 'retains and reinstates (where in exceptional circumstance retention cannot be achieved) traditional roadside and field boundaries'. The applicant should submit the intended boundary treatments that are required as part of the proposed development. - The applicant is required to 'comply with the EPA's Code of Practice for Domestic Wastewater Treatment Systems (Population Equivalent less than 10) 2021 except where planning permission was granted prior to 7th June 2021 in which case the EPA's Code of Practice Wastewater Treatment Systems Serving Single Houses 2009 applies'. The applicant should submit a comprehensive map showing well locations and separation distances re. same. Detail in the form of a written report must also be provided indicating what (if any) sewage treatment provision was made for **the new domestic residence proposed*** and if a new sewage treatment system has been considered.

Important Clarification:

The enclosed AI and parent planning application are for a Domestic Extension. The existing dwelling is 180sqm. The area of the proposed extension is 289sqm. The total area of the proposed extended dwelling is 478sqm. The extension is substantial. The applicants have a family of seven and propose to accommodate Grandparents in the Family flat.

Report from consultant Jimmy Callaghan enclosed, confirms compliance with the Code of Practice for Domestic Wastewater Treatment Systems.

- The proposed development does not comply with the South Dublin County Development Plan requirements regarding family flats and the applicant should submit the following: - The main entrance to the existing house shall be retained and the family flat shall be directly accessible from the front door of the main dwelling via an internal access door, and the design criteria for dwelling extensions will be applied; There is no direct internal door to the family flat from the existing dwelling and the applicant should provide revised drawings including floor plans indicating an internal access door to the main dwelling. - Any external doors permitted (to provide access to private / shared open space or for escape from fire) shall be limited to the side or rear of the house; The main access to the family flat is to the front of the property and this should be moved to the side or rear and the applicant should submit revised drawings including floor plans, site plans and elevations confirming this.*

Provision for access from the main dwelling into the Family Flat is via the main hallway to the original house. The family flat is within the overall mass of the extended house. Were the Family Flat no longer required, provision has been made to easily absorb the flat into the main dwelling.

- The proposed development is located in 'HA-DM' - 'To protect and enhance the outstanding natural character of the Dublin Mountains Area' and as such all development should align with this zoning objective. The proposed ground floor extension to the east is not considered acceptable and should incorporate the following alterations; • Reduced building footprint; • Omission of the angled relationship to the host property; • Redesign of the roof to omit the visually jarring flat roofed transition between the two storey and single storey elements of the proposed development. (It is noted that this design change may require amendments to bedroom 5) The applicant should submit revised drawings including site plans, floor plans, elevations and cross sections demonstrating these amendments to the development.*

The proposed extension has been revised from a two-storey dwelling to a one-and-a-half storey dormer type dwelling. The extended living area is now located in a pavilion to the east of the original dwelling. This element is remote from the main form of the dwelling to break-down the mass of the house. The pavilion exploits the views, with glazing facing down the mountain. The pavilion is built on a Wicklow Granite stone terrace and a tall stone chimney stack. The link between the dormer and the pavilion is a flat roof, however we submit that this is appropriate to create the break in form of the roof lines, and the redesigned proposal is contemporary relative to the original design. A 3-D rendering is enclosed demonstrating the revised proposals.

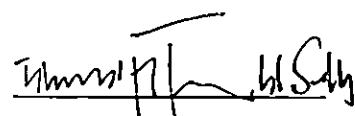
4. *The applicant should submit a drawing in plan and cross sectional views clearly showing proposed Sustainable Drainage Systems (SuDS) features for the development, for the written agreement of the Planning Authority. The applicant should include SuDS (Sustainable urban Drainage Systems) features for the proposed development such as but not limited to the following: • Rain Gardens , Planter boxes with overflow connection to the public surface water sewer. • Permeable Paving • Grasscrete • Green Roofs, • Rain gardens • Swales • Permeable Paving • Grasscrete • Channel Rills • Planter Boxes water butts • Other such SuDS The applicant should reference the SDCC Sustainable Drainage Explanatory Design & Evaluation Guide prior to submission. REASON: To ensure the adequate provision of SuDS*

The only impermeable paving to the proposed dwelling is a south-facing patio to the rear and a stone terrace around the living area "pavilion". The driveway and parking areas are to be gravelled with, the existing gardens retained. Boundaries to the south east and west are to be retained; the existing timber fences. The driveway will require a new timber fence to match existing as detailed on drawing No. AI-102.

The applicants intend to consolidate a family dwelling. They are well established in this community and have developed the exceptional Luggwood experience, with Christmas, Easter and Halloween events for children. The Luggwood events are an exemplar of the integration of a family farm with community amenity. We ask that permission be granted for this extension at your earliest convenience.

Thank you.

Yours Sincerely,



Edward Fitzgerald Selby M.R.I.A.I.