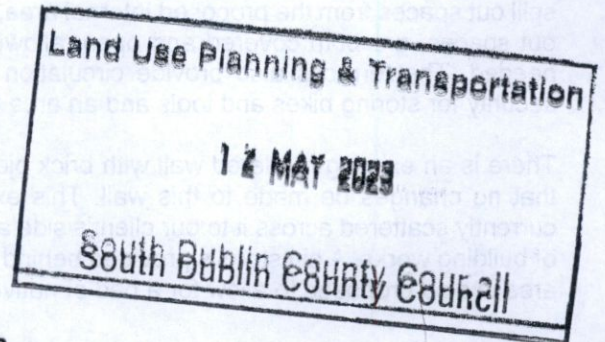


South Dublin County Council Planning

County Hall
Tallaght
Dublin 24

05/04/2023

Re: Additional Information
Proposed Planning Application for
2 Haydens Park View Esker South, Lucan, Co. Dublin, K78 NY82
Reg Ref: SD22B/0432



A Chairde,

Please find attached additional information in support of the above planning application:

- Updated Drawing Package including
 - Updated sections and elevations showing boundary conditions with neighbouring property.
 - Rear Elevation with without boundary wall and landscaping
 - Elevations of bin store.
 - Details of the height of the attic room (Non habitable space)
 - Site Location Plan showing the development in the context of the wider GI Plan
 - Landscape Plan indicating proposed landscaping, and existing to be retained.
- SuDS drawing package proposal from Cunningham Engineers.

Further to the drawing package, please also find our below comments in support of the scheme.

Our clients came to us in 2021 to extend and alter their existing home in 2 Hayden's Park View. The house no longer suits their needs, but they do not want to relocate. The house is sited east of Griffeen park, the master bedroom overlooking the canopy of the park's trees.

To amend the house, we provided an enlarged open plan kitchen and dining room space, with a sizable ground floor bathroom and utility. It was requested that the upstairs rooms be altered to provide additional storage space in the master bedroom as well as access to the attic space above. The attic room is below the recommended head height, and therefore not considered a habitable area. This has been clarified in the updated plans.

The site is located on the L2 Green Infrastructure Route, overlooking Griffeen Park and Griffeen River. The views to Griffeen Park are one of the best features of the house, and the scheme has been designed with this consideration. As per the additional information's request we have prepared a landscape plan and site location plan to address the requirements of the South Dublin County Council Green Infrastructure plan, to promote the development of an integrated GI networks, and enhance existing biodiversity and natural heritage, improving our resilience to climate change.

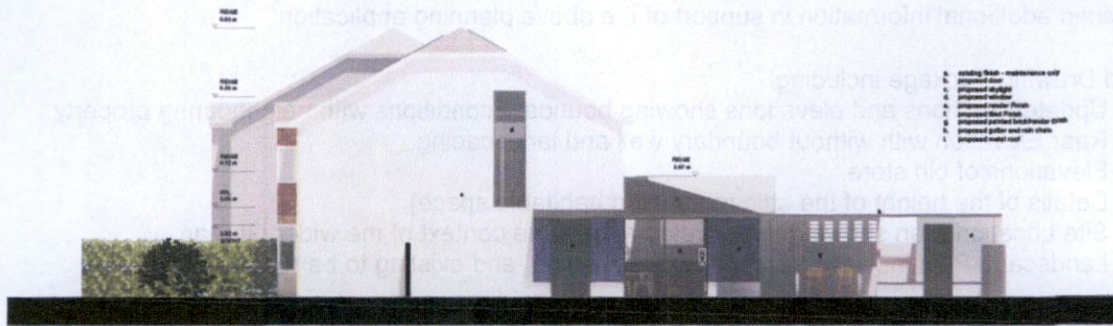
The attached landscape plan indicates a summary of the proposed and existing planting to the rear and front garden.

To the front garden we are retaining the majority of the existing landscaping. The existing boundary hedgerow is to be retained as is. The existing flowerbed, lawn and driveway in the front of the living room will also be retained. The southern lawn will be dug up to top soil and prepped to take native Irish wildflowers. These meadows have been shown to provide greater biodiversity and improve the area for the local pollinators. The total area of the front garden is 91 sqm.

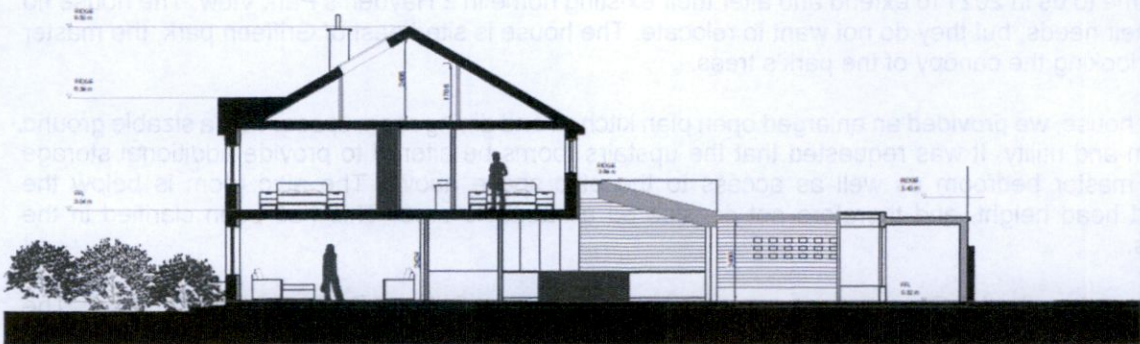
The rear and side garden have been altered substantially to provide a terraced area to reduce upkeep and provide generous external seating, regardless of the weather. The terraces have been positioned to provide spill out spaces from the proposed internal area, with matching internal and external floor finishes. These spill out spaces, are both covered and open, allowing the houses main living space to expand and contract as needed. The terraces also provide circulation to the proposed rear bike shed, which provides additional security for storing bikes and tools and an area for maintenance.

There is an existing rendered wall with brick piers and capping to the southern boundary wall. It is proposed that no changes be made to this wall. This existing wall is approximately 1.7m high. Climbing plants are currently scattered across it to our client's side and we would hope to retain them as much as possible as part of building works. A bin store is provided behind this wall and is not visible from the front garden. The adjacent area is also proposed to allow for a bed of native Irish flowers.

As part of this proposal, we have reviewed the councils' requests for revising the roof profile to a flat roof as shown below in the elevations and sections.



PROPOSED SIDE ELEVATION
scale 1:100



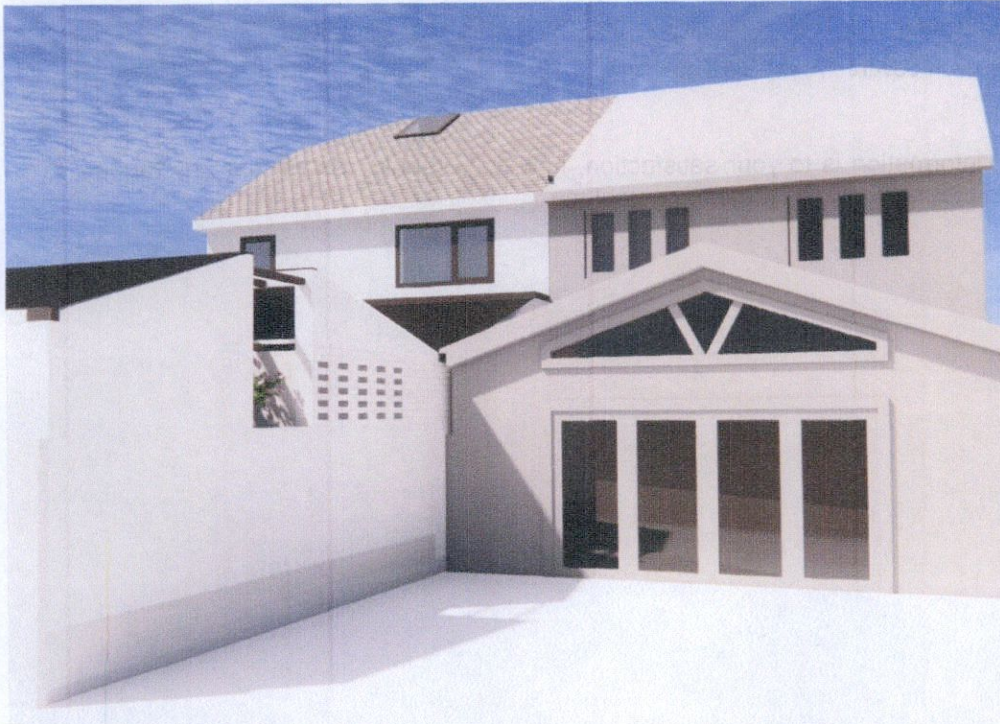
PROPOSED SECTION
scale 1:100

After reviewing the flat roof proposal with our clients, it was agreed that a hipped roof would be preferred for reasons of aesthetics and maintenance. Therefore, we would propose the retention of the original hipped roof scheme to the covered area. In support of this, we would note the following:

- As per the, S.I. No. 600/2001 - Planning and Development Regulations, 2001, under Class 3 exempted development, awnings and storage areas under 25sqm and a height of 4m or under should be considered exempted development. The original proposed scheme has a covered area (including the extensions roof overhang) of 31sqm. If we exclude the roof overhang, we have a covered area of 26 sqm under 4 meters high. The proposal is larger than the exempted 25sqm, but only marginally so.

Retaining the hipped roof over an area of 26 sqm to the shed should be considered reasonable development.

- Many extensions and storage structures to the rear of the houses in Haydens Park have a hipped profile. Retaining of the hipped profile would be more in keeping with the local area. The view of the hipped roof from the road will also be minimal.
- The original hipped proposal is designed to mitigate undue visual impact to the neighbouring property. The cut in the roof was positioned to allow light to both the covered area of our client's house, but also to the reduce the impact on 4 Hayden's Park View. We have provided 3ds of the two options below for comparison and consideration. As can be seen below, the hipped proposal has limited impact on the neighbouring property as compared to the flat roof option, and therefore should be considered acceptable.



Issue of maintenance for flat roofs has been highlighted by our clients as a concern. Pitched roofs tend to have a longer lifespan than flat and are also less prone to leakage. For this reason, and the reasons noted above, we would consider the pitched roof option the preferable option.

As per the request in point 2 please find the below confirmation of areas –

- Extension area only (Excluding Roof Overhang, External Canopy and Shed) – 19 sqm
- Extension Roof Overhang - 5.3 sqm
- External Canopy Area (Not Including Shed and extension overhang) – 17.8sqm
- Area of Shed – 7.1 sqm
- Total Area of Canopy and Shed – 26 sqm (height under 4m)
- Attic Room (Non-Habitable Space) – 11.13 sqm
- Attic Room Stair Lobby (Non-Habitable space – for access only) – 1.83 sqm
- Rear & Side Garden Area – 91sqm
- Rear & side Garden Area – Non Covered Area - 60 sqm

I trust the above and attached information is to your satisfaction, however, should you require any further clarification on any matter noted please do not hesitate to contact me.

Regards,

BRENNAN | FURLONG
ARCHITECTS & URBAN PLANNERS

M.Arch., MRIA.