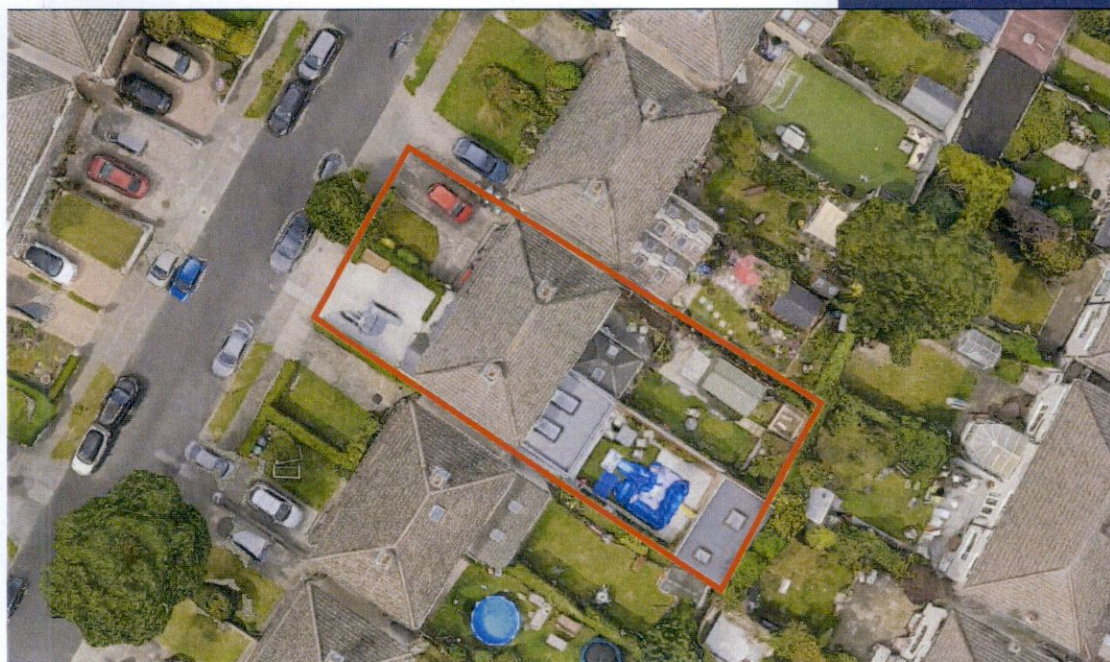


Response to Further Information Request

Reg. Ref. SD22B/0544



201 Orwell Park Heights,
Templeogue,
Dublin 6W,
D6WPF61.

South Dublin County Council

April 2023

Submitted on Behalf Of:
Jason Tully
201 Orwell Park Heights, Templeogue,
Dublin 6W, D6WPF61.

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HUGHES
PLANNING
& DEVELOPMENT CONSULTANTS

1.0 Introduction

Hughes Planning and Development Consultants, 85 Merrion Square, Dublin 2, have prepared this response on behalf of Jason Tully to South Dublin County Council's Request for Further Information under Reg. Ref. SD22B/0544 for a development at No. 201 Orwell Park Heights, Templeogue, Dublin 6W, D6WPF61. The application seeks permission for the following proposal, the description being as per the statutory notices:

'Front and rear dormer attic extension, alteration of side hipped roof to a dutch-hip gable roof and alterations to elevations of existing dwelling. A new rear Velux and all associated site works.'

The request for further information was received from South Dublin County Council dated 27th February 2023, therefore this response is submitted within the six-month timeframe according to Article 33(3) of the Planning and Development Regulations 2001, as amended. The request is attached at Appendix A of this report for ease of reference.

2.0 Response to Further Information Request

The following section of this submission sets out the applicant's response in full to the request for further information.

2.1 Item No. 1

'The Applicant is requested to provide a complete set of revised plan, sectional and elevational drawings demonstrating:

- (i) The omission of the proposed front dormer.*
- (ii) The applicant shall redesign the proposed roof profile to provide a larger hipped element.'*

2.1.1 Applicant's Response

In respect to Item 1 (i) the Applicant has enlisted SHD Engineering to prepare revised drawings, however, the front dormer has been altered in this instance, not omitted, to match that of the recently granted front dormer at No. 224 Orwell Park Heights (Reg. Ref. SD22B/0308). The following sections of this report will justify why the proposed front dormer is in line with the proper planning and sustainable development of the area. We respectfully request that South Dublin County Council reconsiders Item No. 1 (i) of the request for further information and approves the development according to the revised drawings.

2.1.2 No. 224 Orwell Park Heights

We would like to highlight this first precedent, No. 224 Orwell Park Heights, as it is situated c.170m from our client's home on the same side of Orwell Park Heights.

Reg. Ref. SD22B/0308

Planning permission granted by South Dublin County Council on 3rd October 2022 to Remove existing hipped roof and replace with new dutch hip to side and attic conversion with dormer windows to front and rear.



Figure 1.0 Existing front (l) and rear (r) elevations of No. 201 Orwell Park Heights.



Figure 2.0 Front (l) and rear (r) elevations granted under Ref. Ref. SD22B/0308.

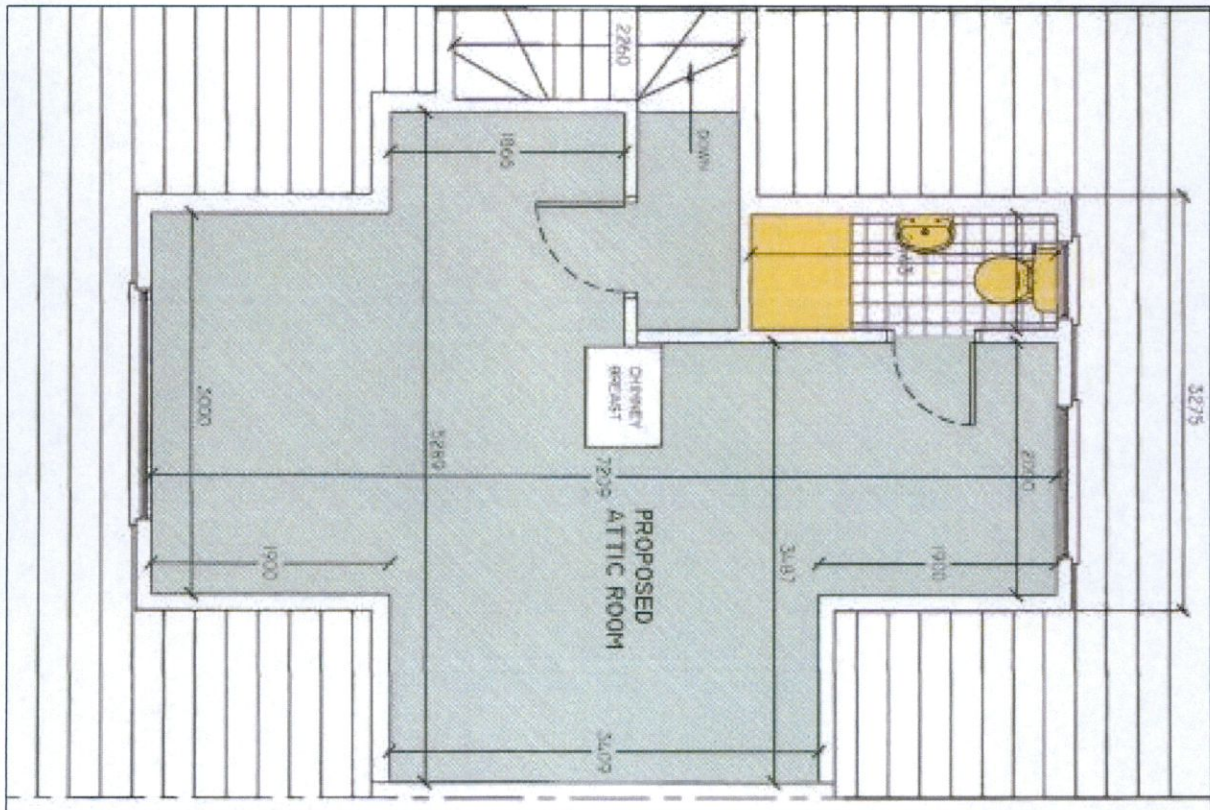


Figure 3.0 Attic level floor plan granted under Reg. Ref. Ref. Ref. SD22B/0308, showing front dormer of 3m granted by the Planning Authority.

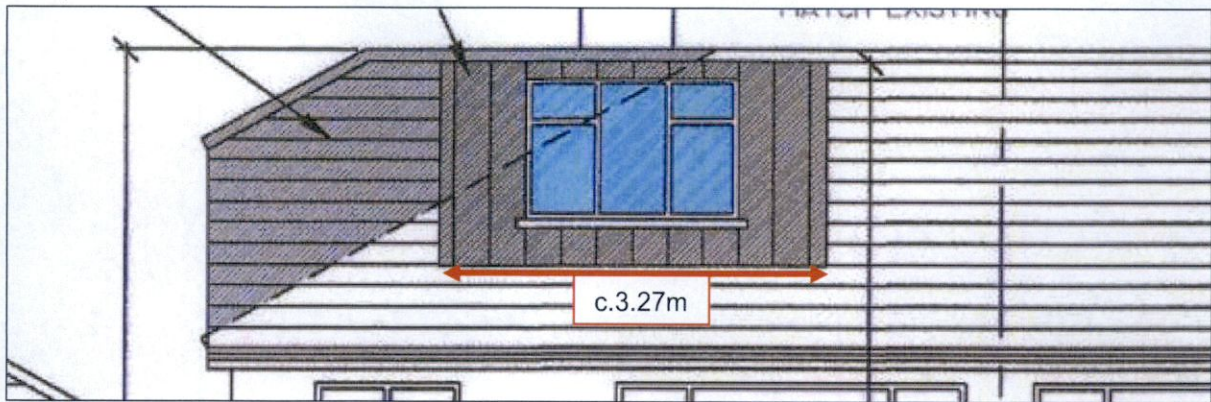


Figure 4.0 Dimensions of front dormer granted under Reg. Ref. SD22B/0308.

The chief executive's order for this grant noted that this design was acceptable in terms of residential and visual amenities and would not seriously injure the amenities in the area and provides the following commentary:

'In summary, the proposed development is considered to generally comply with the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 and has an acceptable impact in terms of residential and visual amenity.'

Moreover, No. 201 Orwell Park Heights is situated within a cul-de-sac with little to no passing traffic, and a lower percentage of footfall than that of No. 224 Orwell Park Heights, which is situated in a prominent location adjacent to Orwell Park View and Orwell Park Rise. Therefore, the development of a front dormer at No. 201 Orwell Park Heights will have less of an impact on the visual amenity in comparison to that of No. 224 Orwell Park Heights which has already been granted.



Figure 5.0 Street view of 2 no. dormers visible entering Orwell Park Heights.

The original design for the subject application was based on the grant of permission of Reg. Ref. SD22B/0308 at No. 224 Orwell Park Heights, however, the alternative design proposed now matches that of Reg. Ref. SD22B/0308 completely. We trust that this will satisfy the Planning Authority as it is consistent with this recent planning grant.

2.1.3 Further Precedents

In response to the request for further information issued by South Dublin County Council, we would ask the Planning Authority to have due regard to the extensive list of precedents in the surrounding area proximate to the subject site. There are many examples of front and rear dormer extensions similar to

that proposed and so the Applicant requests that the Planning Authority considers this in relation to the request for further information.

Given the context of the application site, the following examples are considered to represent a reasonable precedent.

17, Orwell Park Rise, Templeogue, Dublin, 6W

Reg. Ref. SD20B/0385

Planning permission granted on 18th January 2021 for the conversion of existing attic space comprising of modification of existing roof structure; raise existing gable c/w window and 'Dutch' hip; new access stairs and flat roof dormer to the rear.

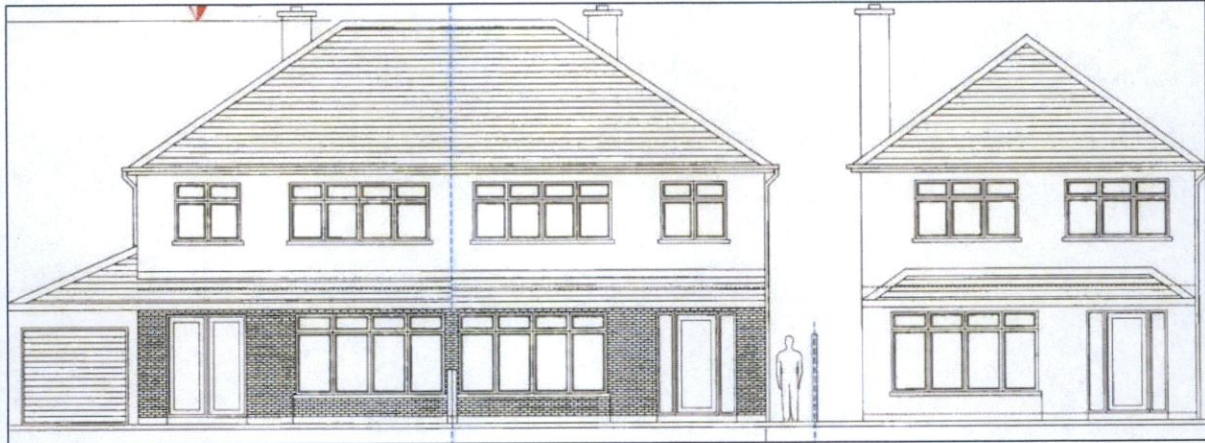


Figure 6.0 Front elevation of No. 17 Orwell Park Rise prior to development.



Figure 7.0 Front elevation granted under Reg. Ref. SD20B/0385.

In relation to the Dutch-hip style roof, the Planner's Report made the following commentary,

'Given the extensions siting in the main part of the roof it is not expected that it would be materially harmful to neighbouring residents.'



Figure 8.0 Rear elevation of No. 17 Orwell Park Rise prior to development.



Figure 9.0 Rear elevation granted under Reg. Ref. SD20B/0385.

Concerning the rear dormer, it is stated within the Planner's Report that,

'Based on the size and siting of the proposed dormer it is not considered that it would be materially harmful to neighbouring residential amenity.'



Figure 10.0 Street view down Orwell Park Heights, showing rear dormer and Dutch roof of No. 17 Orwell Park Rise (red arrow).

We highlight that this development is situated c.200m from the subject site, No. 201 Orwell Park Heights. Although this dormer has been granted to the rear of the dwelling, it visually portrays as a front dormer along Orwell Park Heights and is visible upon entrance to the street. We believe as this development has been granted in close proximity to the subject site that the Planning Authority should have the same level of consideration for the proposed front dormer at No. 201 Orwell Park Heights. We ask South Dublin County Council to reconsider Item no. 1 (i) and grant the subject application with the alternative design option attached to this request for further information.

173 Orwell Park View, Dublin 6W

Reg. Ref. SD21B/0569 Planning permission granted by South Dublin County Council on 25th April 2022 for Attic conversion for storage; raised gable to the side; dormer window to rear; new side gable window; 2 'Velux' windows to front.



Figure 11.0 Front existing elevation (l) and front elevation granted at further information stage (r) under Reg. Ref. SD21B/0569.



Figure 12.0 Rear existing elevation (l) and Rear elevation granted at further information stage (r) under Reg. Ref. SD21B/0569.

The above planning application shows precedent for a rear dormer and hipped roof granted within South Dublin County recently.

13, Orwell Park Heights, Dublin 6w

Reg. Ref. SD22B/0247 Planning permission granted by South Dublin County Council on 10th October 2022 for attic conversion for storage with dormer window to the front roof area, raised gable to the side with new gable window.

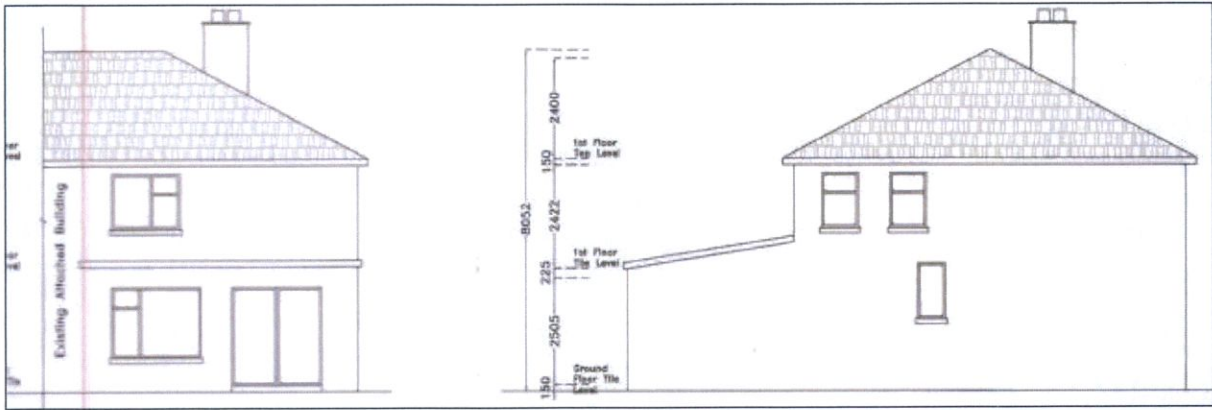


Figure 13.0 Front (l) and side (r) elevations.

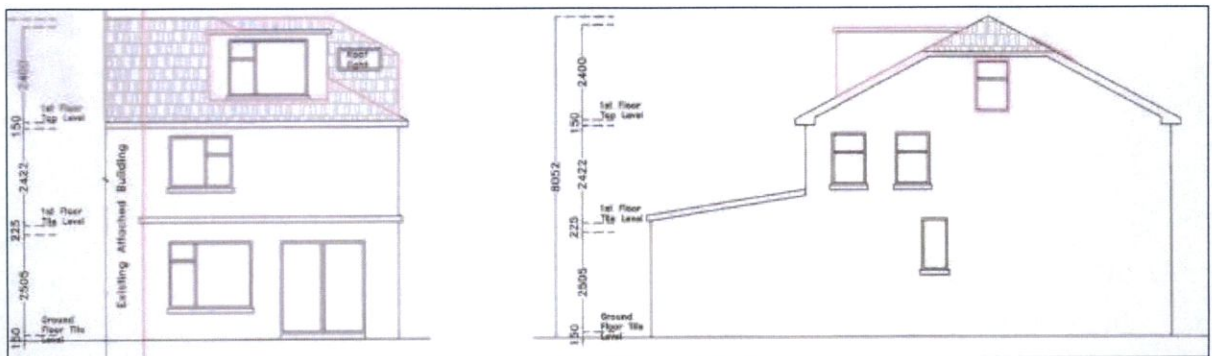


Figure 14.0 Front (l) and side (r) elevations granted at further information stage under Reg. Ref. SD22B/0247.

Thus, South Dublin County Council granted permission for a 3.m wide rear dormer under the above application, which was granted recently, showing precedent for development at No. 201 Orwell Park Heights.

4 Parkhill Heights, Dublin 24

Reg. Ref. SD22B/0093

Planning permission granted on 9th June 2022 for a front porch rear extension, pitched front dormer roof and a flat rear dormer roof.



Figure 15.0 Existing front elevation and front elevation granted under Reg. Ref. SD22B/0093

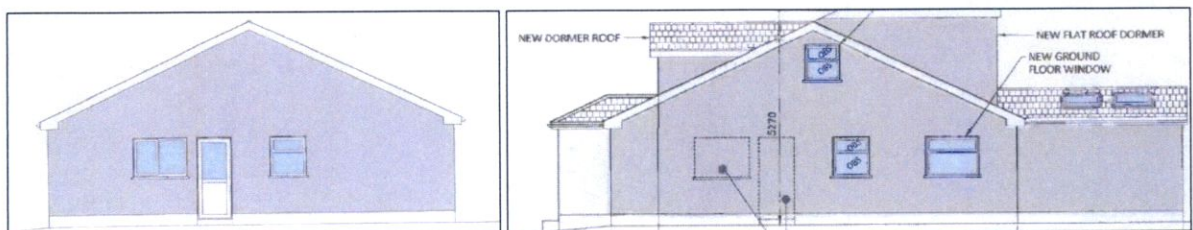


Figure 16.0 Existing side elevation and side elevation granted under Reg. Ref. SD22B/0093.

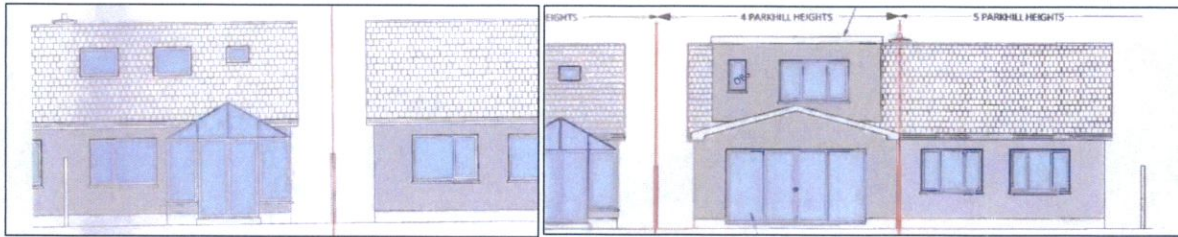


Figure 17.0 Existing rear elevation and rear elevation granted under Reg. Ref. SD22B/0093.

In this case, the Planner’s Report states that there is **one** precedent on the same road, No. 8 Parkhill Heights, with a grant of front and rear dormer and uses this for reason for grant,

‘Having regard to these circumstances at 8 Parkhill Heights it is considered that the proposed rear dormer would be acceptable including the slightly raised ridge height of the roof subject to such raised ridge height spanning the width of the dwelling.’

We note that this development is extremely similar to the subject application, at No. 224 Orwell Park Heights. We contend that if the Planning Authority granted front and rear dormers at No. 4 Parkwell Heights and placed due regard on development at No. 8 Parkwell Heights for the grant of permission, the same level of consideration can be shown to the development proposed under Reg. Ref. SD22B/0544 at No. 201 Orwell Park Heights.

8, Rossmore Park, Templeogue Dublin 6w

Reg. Ref. SD22B/0100

Planning permission granted by South Dublin County Council on 13th July 2022 for Conversion of the attic space into storage/study space use; projecting dormer window to the rear, extend height of gable wall to include two new windows; modify existing hipped roof and all ancillary site works to existing two storey, semi-detached dwelling.



Figure 18.0 Existing front elevation (l) and front elevation granted at further information stage (r) under Reg. Ref. SD22B/0100.



Figure 19.0 Rear elevation (l) and attic floor plan (r) granted at further information stage under Ref. SD22B/0100.

With regard to the above application, Reg. Ref. SD22B/0100, the Planner’s Report notes,

‘It is proposed that the dormer be approximately 6.8m across and about 800mm from the attached unit to the north which is considered appropriate.’

We highlight that this precedent is c.850m from the proposed development at No. 201 Orwell Park Heights, and South Dublin County Council granted a rear dormer of 6.8m in width.

4. Glendown Park, Templeogue, Dublin 6W

Reg. Ref. SD19B/0323

Planning permission granted by South Dublin County Council on 2 new dormer windows to side and rear of existing roof to facilitate conversion of existing attic and all associated site works.

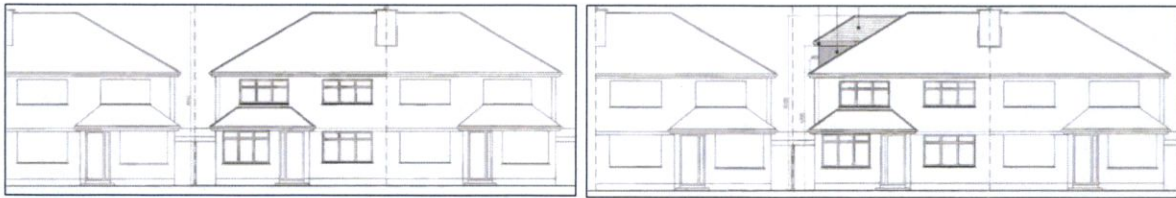


Figure 20.0 Existing elevation (l) and proposed elevation (r) of development granted under Reg. Ref. SD19B/0323.

We further note this planning grant issued by South Dublin County Council for a rear dormer of 3.1m width, situated c.900m from the subject application site.

21 Aranleigh Mount, Dublin 14

Reg. Ref. SD16B/0096

Planning permission granted by South Dublin County Council on 21th June 2016 for conversion of the existing attic space into a bedroom with en-suite facilities and all associated works. The conversion involves the construction of a dormer type structure on both the rear and front elevations.

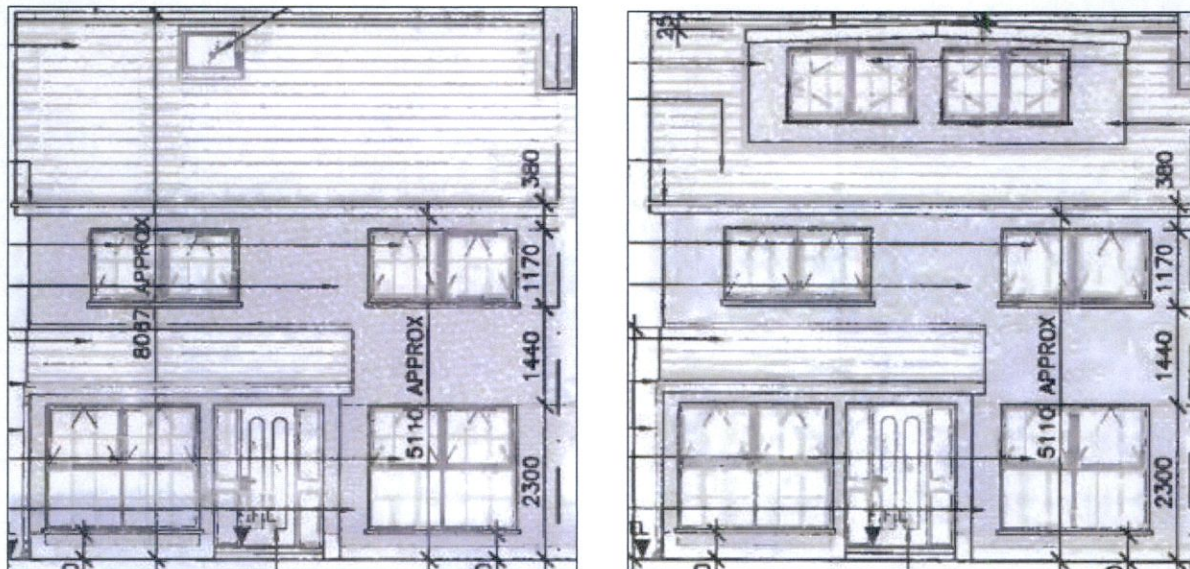


Figure 21.0 Pre-development front elevation (l) and granted front elevation (r) under Reg. Ref. SD16B/0096.

In this case, South Dublin County Council granted permission for a front dormer, however, we highlight in Figure 21.0 that no other front dormers currently exist in proximity to No. 21 Aranleigh Mount. It is

considered that if South Dublin County Council granted permission in this instance, with no precedent for front dormer, that the same level of consideration should be given to the proposed development at No. 201 Orwell Park Heights, which has precedent.

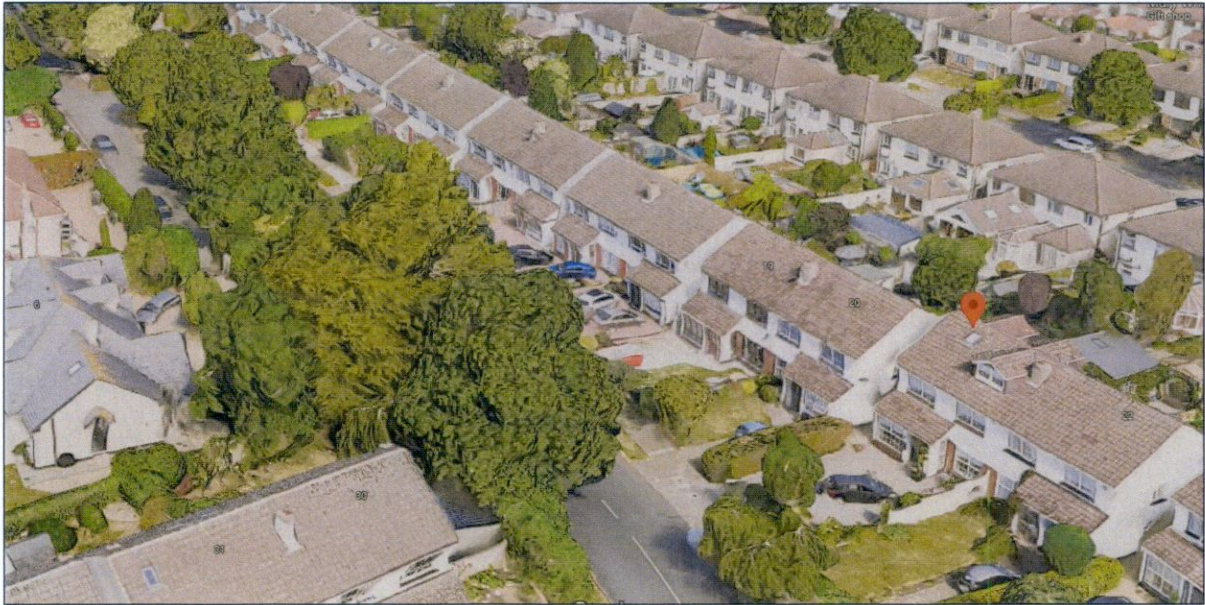


Figure 22.0 Aerial view of development granted under Reg. Ref. SD16B/0096, showing precedent for lone front dormer.

24, Castlelands, Castleside Drive, Rathfarnham Castle, Dublin 14

Reg. Ref. SD21B/0273

South Dublin County Council granted permission on 13th August 2021 for the construction of 1 dormer to front of existing roof; 2 roof windows to front; new gable window at second floor level; conversion of attic space to storage area and widen existing first floor balcony to the front.

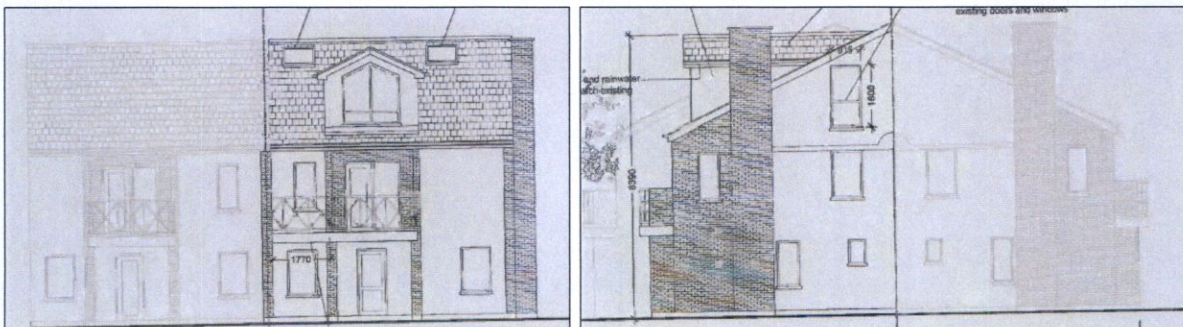


Figure 23.0 West elevation (l) and south elevation (r) granted under Reg. Ref. SD21B/0273.

We highlight that the Planner’s Report made the following commentary,

‘Similar attic dormers have been granted permission to similar properties in the vicinity.’

This emphasises the extensive list of precedents existing within South Dublin County Council for front or rear dormer developments.

5, Liffey Dale, Liffey Valley, Lucan, Dublin

Reg. Ref. SD22B/0253

Planning permission granted by South Dublin County Council on 6th March 2023 to construct dormer window to the front and rear of the

existing property serving games room/domestic storage; conversion from hipped roof gable to straight roof gable and associated site works.

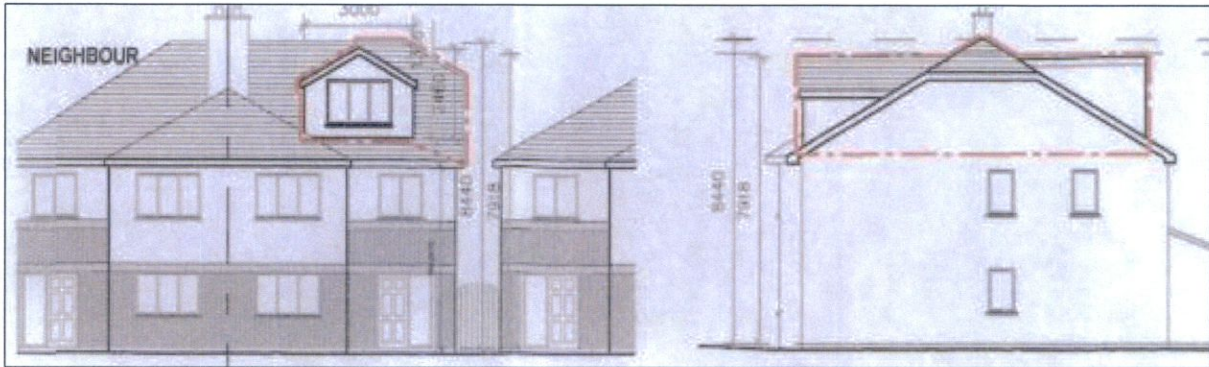


Figure 24.0 Front (l) and side (r) elevations of development granted at further information stage under Reg. Ref. SD22B/0253.

This precedent highlights a front and rear dormer granted by South Dublin County Council recently.

2.1.4 Compliance with South Dublin County Development Plan 2022 – 2028

We note that the development is fully compliant with the South Dublin County Development Plan 2022 - 2028. This section will outline the various policies and objectives pertaining to the site with which the proposed development is in full compliance.

The subject site is zoned 'RES' in the South Dublin County Development Plan 2022 - 2028, with the objective 'To protect/ and or improve residential amenity'.

It is considered that the proposed development is consistent with the zoning objectives of the Development Plan it has adopted contemporary and innovative design solutions to respect the character of the area and protect the amenity of neighbouring dwellings.

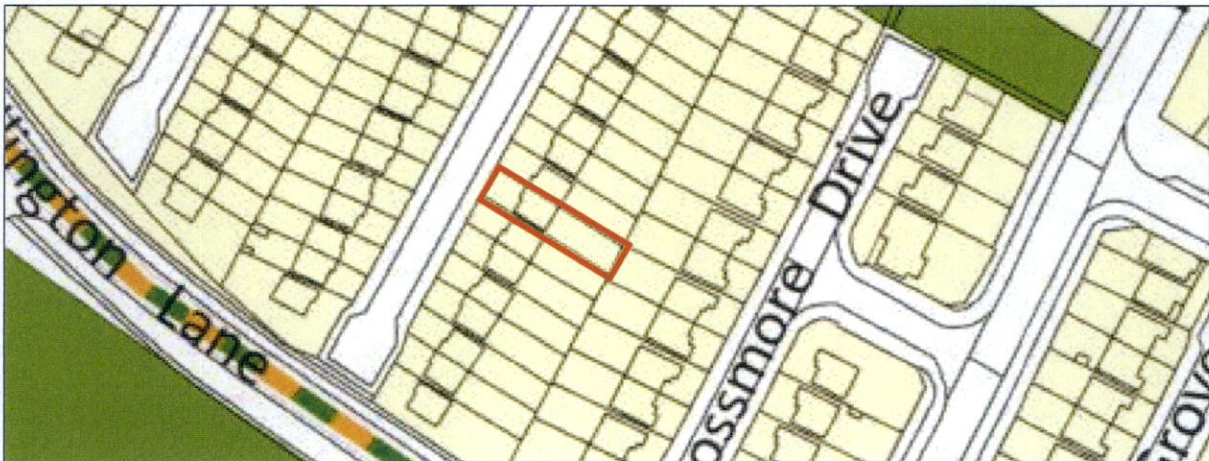


Figure 25.0 Extract from map sheet '6' of the South Dublin County Development Plan 2022 – 2028, showing the subject site outlined in red.

The following policies and objectives, as per the Dublin City Development Plan 2016-2022, are relevant to this application:

Residential Extensions

Section 6.8.2 of the South Dublin Development Plan 2022 - 2028 details 'Residential Extensions'. It notes that domestic extensions allow for the sustainable adaptation of the County's existing housing

stock. The South Dublin County Council House Extension Design Guide (2010) supplements the policies and guidance of the development plan.

Policy H14: *Residential Extensions Support the extension of existing dwellings subject to the protection of residential and visual amenities.*

H14 Objective 1: *To favourably consider proposals to extend existing dwellings subject to the protection of residential and visual amenities and compliance with the standards set out in Chapter 12: Implementation and Monitoring and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 (or any superseding guidelines).*

H14 Objective 2: *To review and update the South Dublin County Council House Extension Design Guide, 2010 during the lifetime of this Development Plan, to include a review of design options for mid terrace type extensions with a view to facilitating these extensions in Local Authority housing where appropriate.*

Section 13.5.8 'Residential Consolidation' notes the following concerning extensions.

'The design of residential extensions should have regard to the permitted pattern of development in the immediate area alongside the South Dublin County Council House Extension Guide (2010) or any superseding standards.'

South Dublin County Council favourably considers residential extensions. The design of the proposed residential extension accords with the South Dublin County Council House Extension Guide (2010).

The proposal is an excellent design which integrates with the existing dwelling and does not spoil the appearance of the property or have negative impacts on the amenity of neighbouring properties. All elements of the proposal respect the amenity of neighbouring dwellings. The South Dublin County Council House Extension Guide (2010) states the following:

'Locate extensions, particularly if higher than one storey, away from neighbouring property boundaries. As a rule of thumb, a separation distance of approximately 1m from a side boundary per 3m of height should be achieved.'

The proposal provides adequate separation distance from neighbouring dwellings, in line with this element of the South Dublin County Council House Extension Guide (2010).

Privacy

Section 12.6.7 of the Development Plan refers to 'Separation Distances' and notes that a separation distance of 22 metres should generally be provided between directly opposing above-ground-floor windows, to maintain privacy. It is also noted in this section that reduced distances will be considered where innovative design solutions are used to maintain a high standard of privacy.

The proposed rear and front dormers are compliant with the separation distances set out by South Dublin County Council. The rear dormer is c. 30 meters from the dwellings on Rossmore Drive, and c.30 meters from the dwellings opposite, Orwell Park Heights. Thus, no issues relating to overlooking or privacy are anticipated.

South Dublin County Council House Extension Guide (2010)

The Development Plan states that *'The design of residential extensions should have regard to the permitted pattern of development in the immediate area alongside the South Dublin County Council House Extension Guide (2010) or any superseding standards.'* The extensive list of precedents detailed in Section 2.1.3 of this report support this element of the Development Plan. The following will now examine the requirements listed under the South Dublin County Council House Extension Guide (2010).

The following policies are noted in relation to 'Attic conversions and dormer windows',

- *'Use materials to match the existing wall or roof materials of the main house.'*

The proposed front and rear dormer will use materials consistent with the existing dwelling No. 201 Orwell Park Heights. It is proposed that metal cladding will be used to finish the front dormer, to match that of the recently granted No. 224 Orwell Park Heights front dormer. The rear dormer is proposed to have a rendered paint finish. The Applicant is open to conditions with the final grant if the Planning Authority would prefer a different finish.

- *'Locate dormer windows below the ridge of the roof, even if the roof has a shallow pitch.'*

The front and dormer windows are proposed below the ridge of the roof line, and thus compliant with this element of the Extension Guide.

- *'Locate dormer windows as far back as possible from the eaves line (at least three tile courses).'*

The location of the front and rear dormer windows is more than 3 No. tile courses above the eaves line and is considered acceptable.

- *'Relate dormer windows to the windows and doors below in alignment, proportion and character.'*

The proposed front and rear dormer windows will match that of the existing dwelling No. 201 Orwell Park Heights to ensure the dormers sit seamlessly into the roof of the existing home.

We strongly contend that the proposed front and rear dormers are compliant with the South Dublin County Council Development Plan and the South Dublin County Council House Extension Guide (2010) and believe that the alternative design prepared for the Planning Authority should be considered acceptable and a grant of permission be issued.

2.1.5 Housing Crisis

As part of the justification and rationale for the front dormer, our client would like to note that they are a growing family of four with another child on the way. Our client has considered relocating their family, however, due to the current economic climate and ongoing housing crisis this option is not viable. The lack of suitable and affordable accommodation has forced our client to stay in their current home.

The addition of an attic level dormer that comprises 1 no. office and 1 no. bathroom. Currently, there is only 1 no. bathroom in the home, and this is quite difficult for a growing family of four. The introduction of the 1 no. bathroom compromises the office space and so, the front dormer has been proposed. This is considered the only viable option for our client and so we respectfully ask the Planning Authority to reconsider the omission of the front dormer and grant permission for the amended design as lodged in response to this request for further information.

2.1.6 Daylight / Sunlight

The dwelling is situated northwest orientation, so, a front dormer would increase the level of sunlight in the dormer significantly. Our client intends to create an office that is bright and pleasant to work from home in.

3.0 Alternative Design

In response to Item no. 1 (i) and (ii) SHD Engineers have prepared a revised design to address the request for further information issued by the Planning Authority, attached in Appendix B.

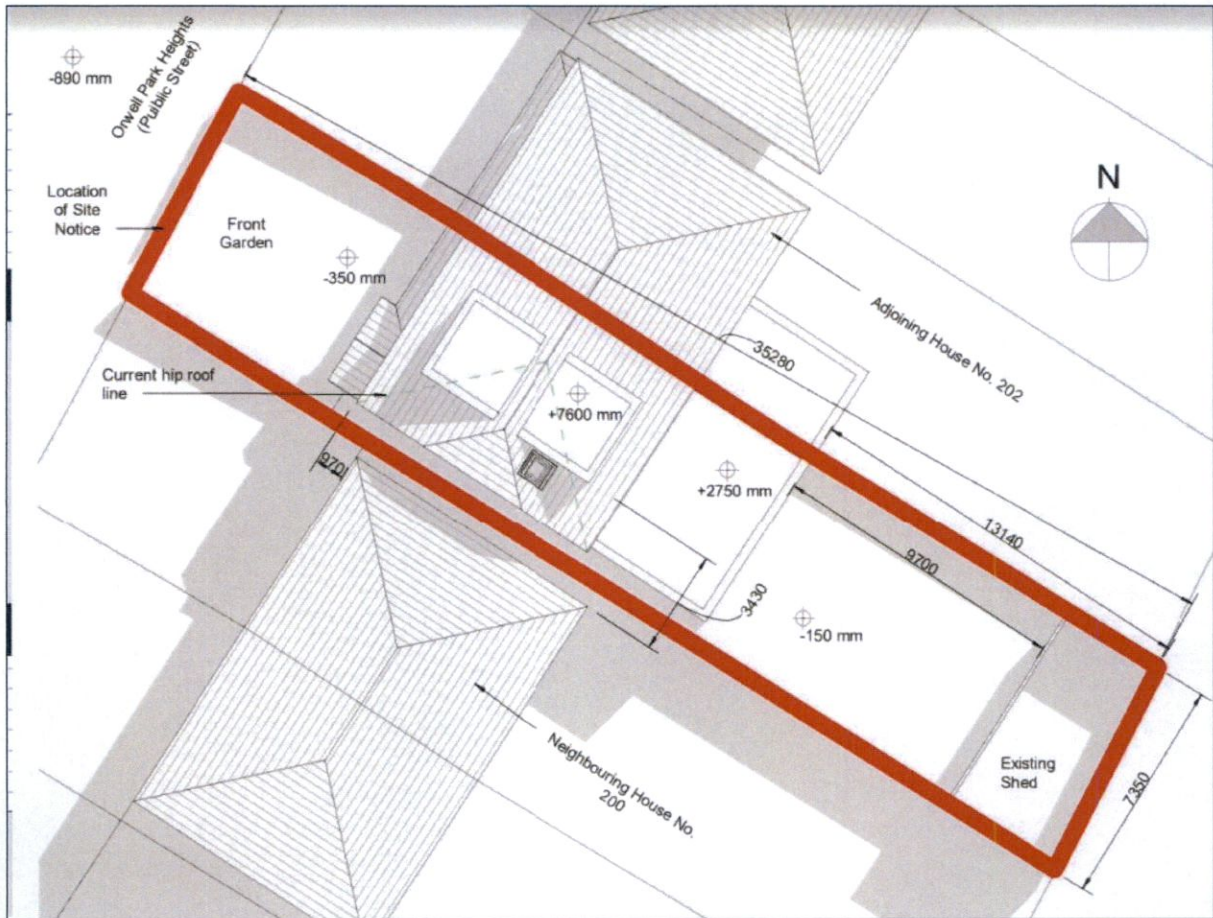


Figure 26.0 Revised proposed site plan in response to South Dublin's request for further information.

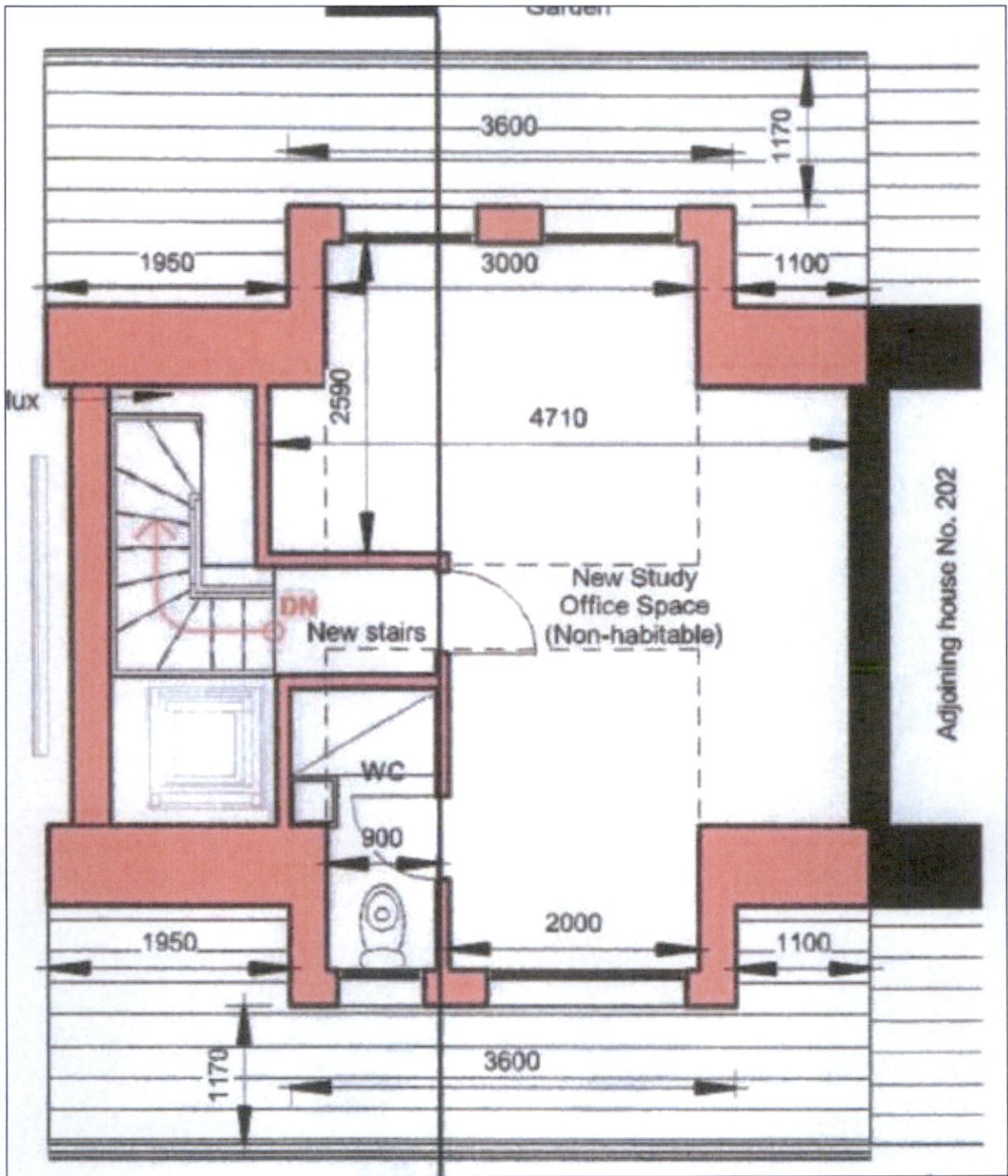


Figure 27.0 Original attic level floor plan proposed under Reg. Ref. SD22B/0544.

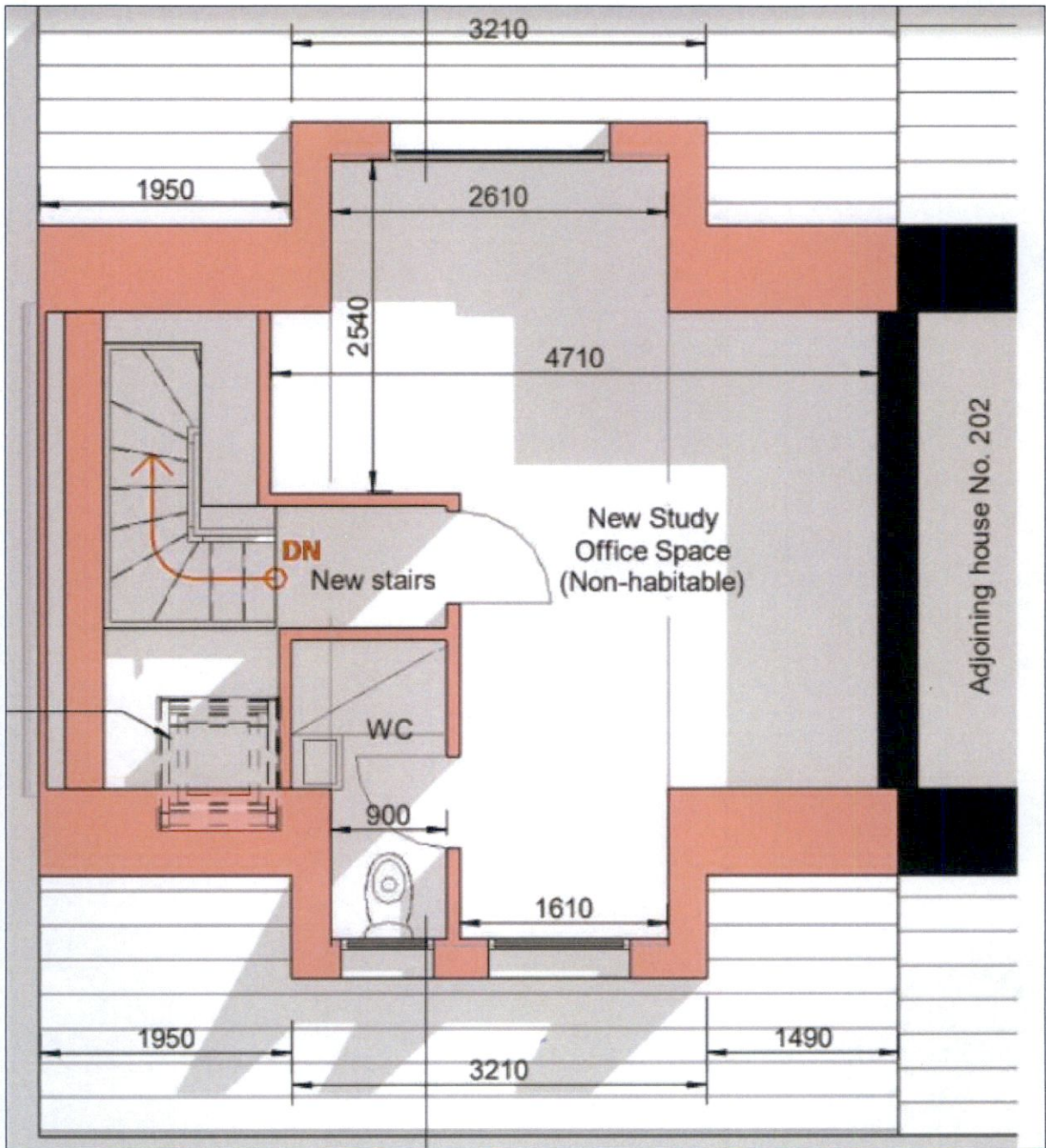


Figure 28.0 Revised proposed attic plan in response to South Dublin County Council's request for further information.

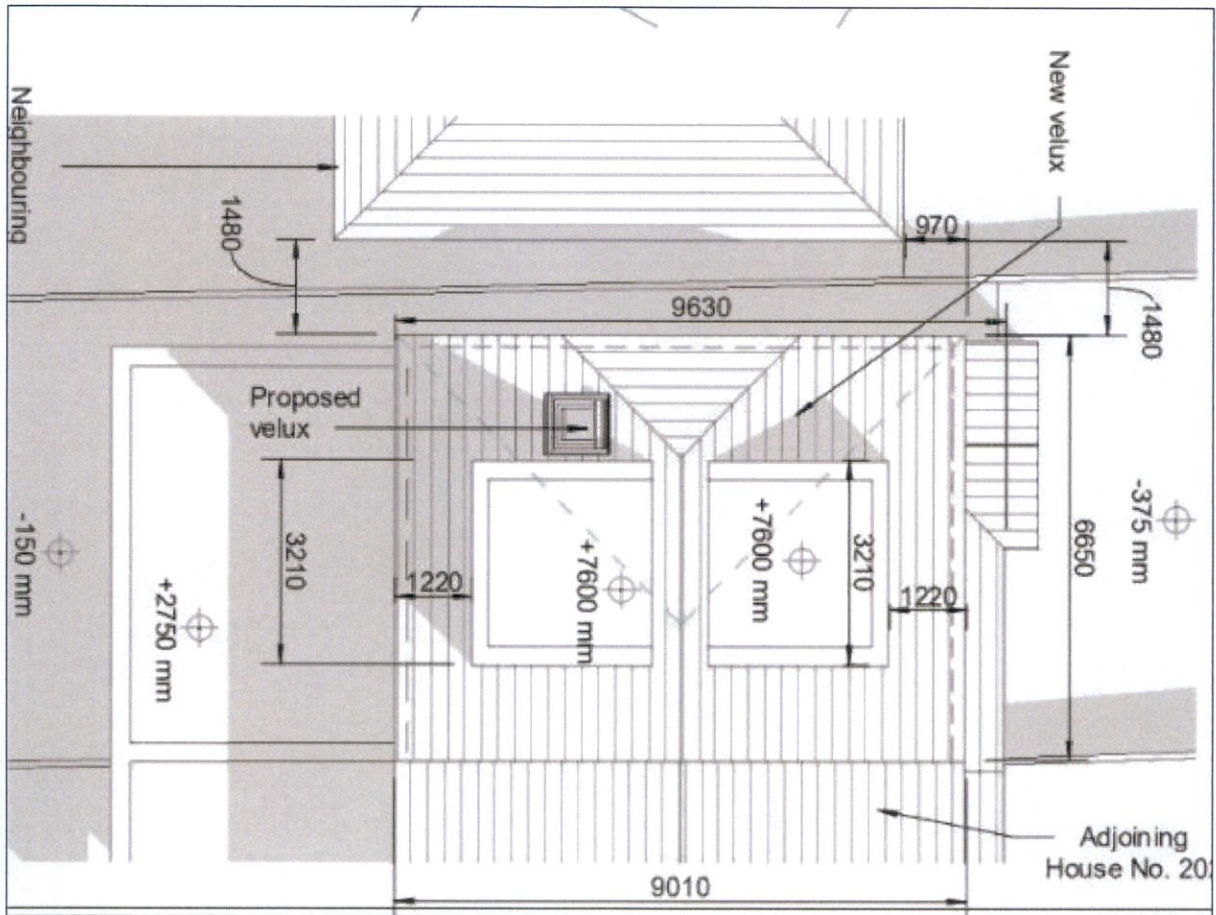


Figure 29.0 Revised proposed roof level plan in response to South Dublin County Council's request for further information.

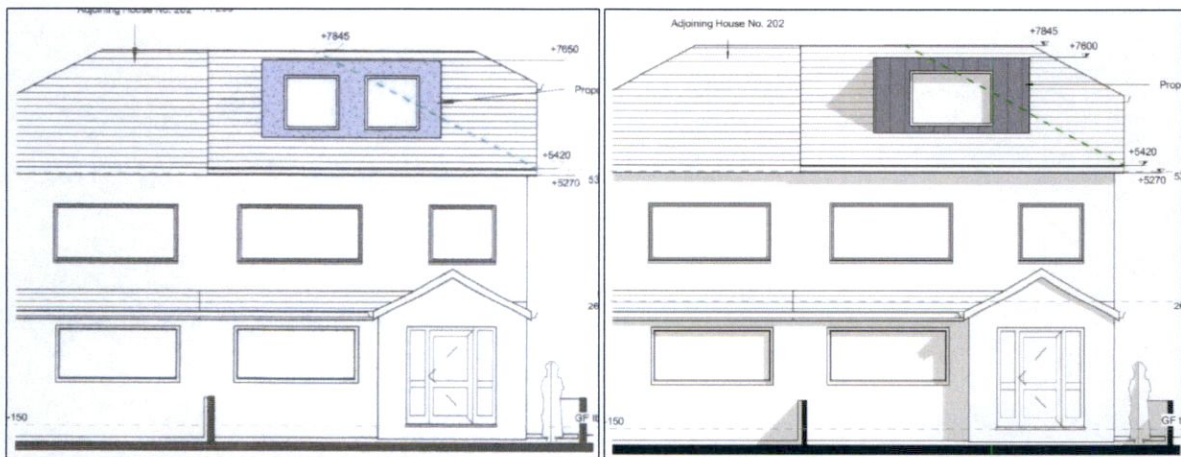


Figure 30.0 Original front elevation (l) and revised front elevation (r) proposed in response to South Dublin County Council's request for further information under Reg. Ref. SD22B/0544.

The front dormer has been reduced in size from c.3.6m width to c.3.2m width, to match that of the permitted front dormer at No. 224 Orwell Park Heights. The location of the dormer has been reduced from 7650m to 7600m, as shown in Figure 27.0. The proposal now uses metal cladding to finish the front dormer, to match that of the permitted front dormer at No. 224 Orwell Park Heights.

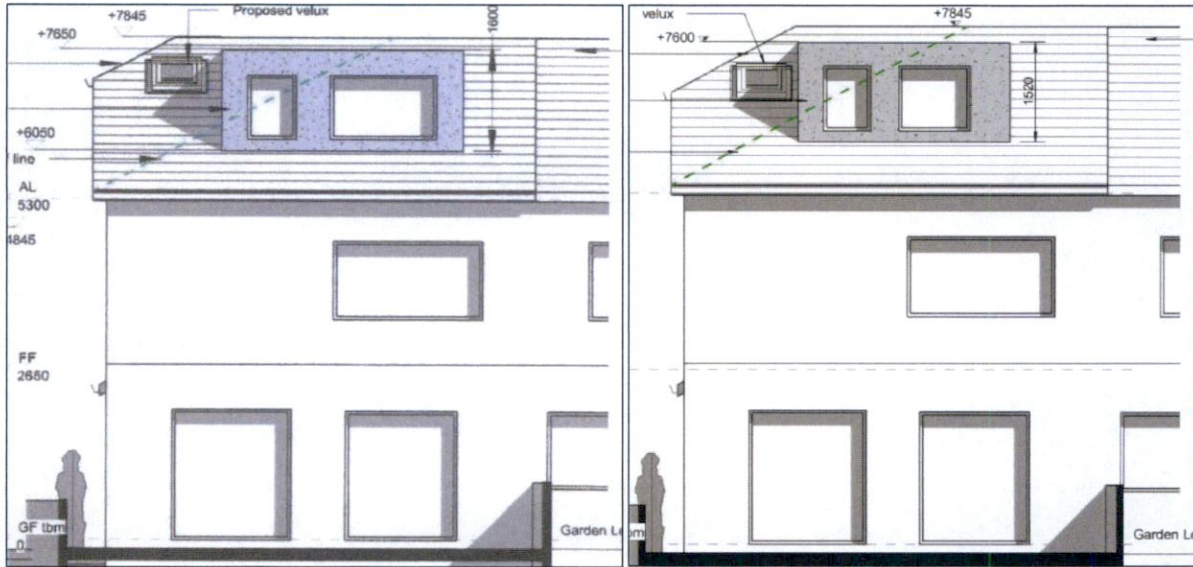


Figure 31.0 Original rear elevation (l) and revised rear elevation (r) in response to South Dublin County Council's request for further information under Reg. Ref. SD22B/0544.

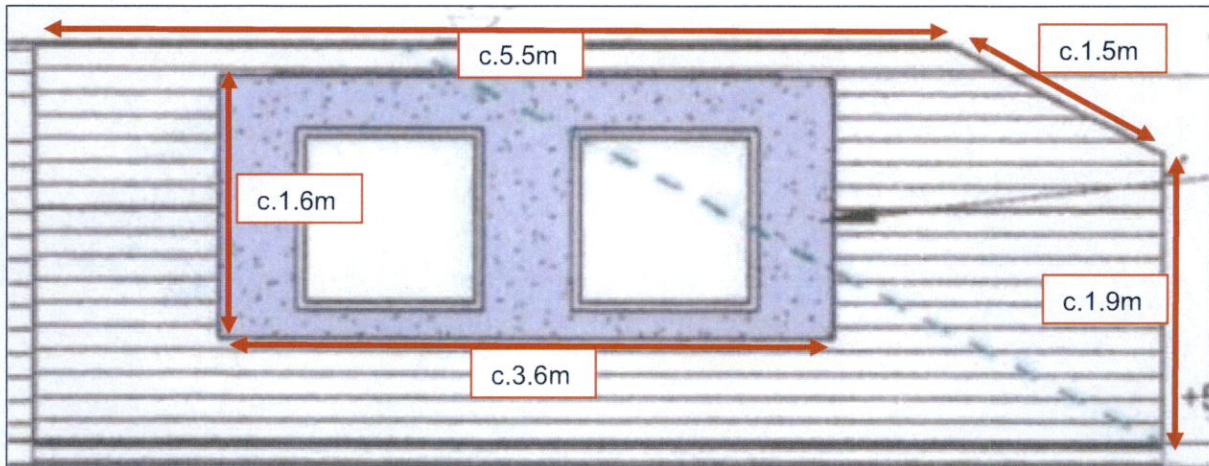


Figure 32.0 Original front elevation showing roof dimensions approximately.

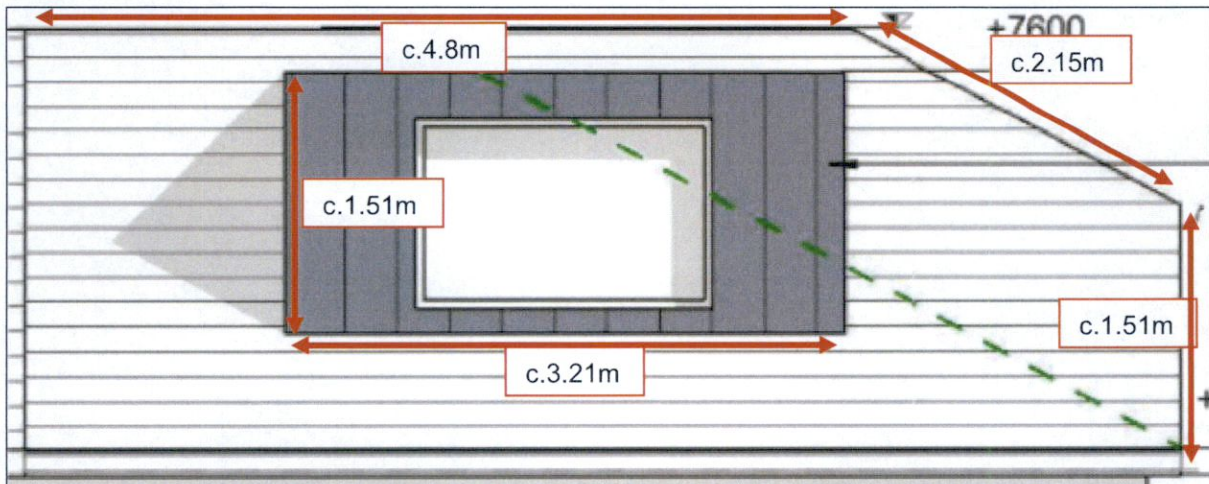


Figure 33.0 Revised front elevation showing dimensions approximately and larger hipped roof element.

The front dormer has been revised as follows:

- The hipped roof element is now larger, as shown by dimensions in Figures 32.0 and 33.0, to appease the Planning Authority's request to Item no. 1 (ii);
- The front dormer has been reduced from c.3.6m to c.3.2m in overall width;
- The front dormer has been reduced from approximately c.1.6m to c.1.5m in height;
- The windows have been reduced from 2 no. windows to 1 no. window;
- The finish will now be metal cladding; and
- The volume of the original attic was 79.5m³ and will be 78.6m³ as the hipped roof element is now larger.

The rear dormer has been revised, to allow for the larger hipped roof element, as follows:

- The rear dormer has been reduced from c.3.6m to c.3.2m in overall width;
- The rear dormer has been reduced from c.1.6m to c.1.5m in height; and
- The velux has been slightly repositioned to allow for these changes.

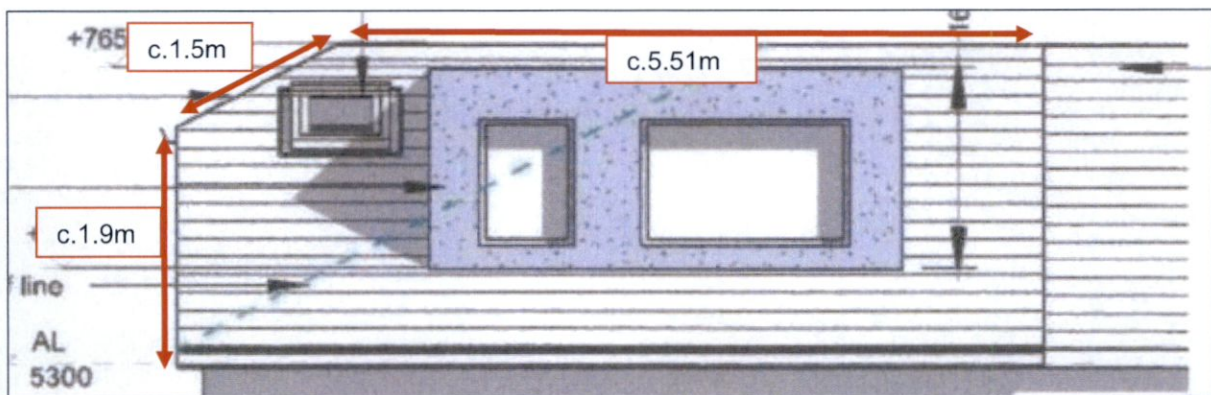


Figure 34.0 Original rear elevation showing roof dimensions approximately.

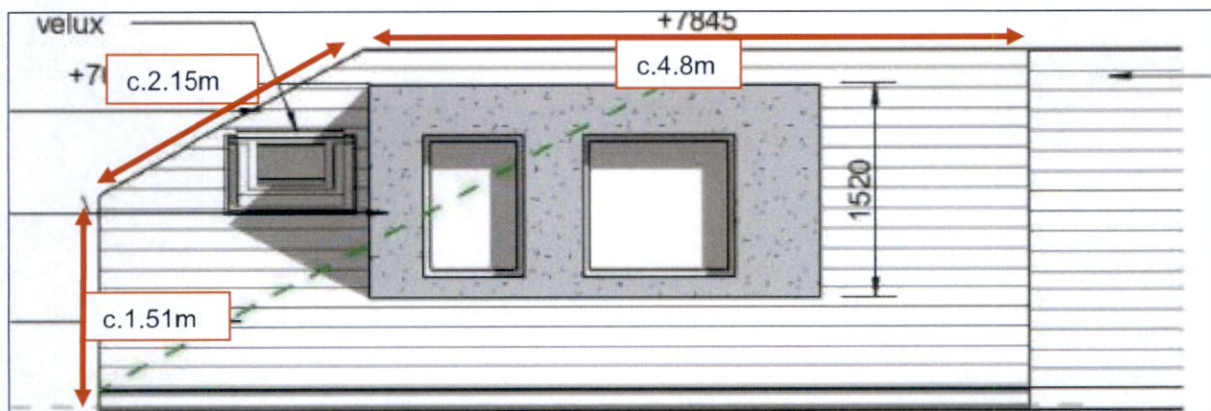


Figure 35.0 Revised rear elevation showing dimensions approximately and larger hipped roof element.

With this in mind, the proposal for front and rear dormers with hipped roof element is in line with that granted at No. 224 Orwell Park Heights. We strongly believe that the revised design allows for adequate additional space for our client, whilst maintaining proper levels of residential amenity and visual amenities along Orwell Park Heights.

It is contended that the proposed front dormer is necessary for our client to provide much-needed space for a growing family. The proposed front dormer will provide sufficient space for the proposed 1 no. office and 1 no. bathroom. We reiterate that South Dublin County Council has granted a front and rear

dormer c.200m from our client's dwelling at No. 224 Orwell Park Heights. This precedent, along with the extensive list of precedents for dormers within South Dublin, exemplifies that South Dublin County Council has issued grants for similar developments within the area. We believe that the same level of consideration should be given to the subject proposal, as has been given to this list of precedents.

4.0 Conclusion

The Applicants are seeking to provide an existing family home with an appropriate level of residential amenity by way of front and rear dormers with hipped roof element at No. 201 Orwell Park Heights, Templeogue, Dublin 6W, D6WPF61. The Applicants, from the outset, have endeavoured to remedy the concerns of South Dublin County Council with regard to the restrictive further information request.

It is submitted that the concerns of the Council's request for further information have been comprehensively addressed in this submission through a revised design. The proposed development is in line with the various quantitative and qualitative objectives of the South Dublin County Development Plan 2022 – 2028 and the South Dublin House Extensions Guide (2010).

Furthermore, we note that there are dwellings in the locality which have been permitted by South Dublin County Council to develop similar dormers to that being proposed, as residents seek to modify their respective homes to a modern and sustainable standard. It is our view that the revised design appeases the requests of the Planning Authority and provides for a design that matches that of the development granted at No. 224 Orwell Park Heights. Moreover, the development is in accordance with the proper planning and sustainable development of the area and would constitute proper planning and sustainable development as set out in the South Dublin County Development Plan 2022 - 2028.

Furthermore, the proposal is in accordance with the proper planning and sustainable development of the area and as such, we request that planning permission be **granted** in this instance.

Yours sincerely,



Kevin Hughes MIPI MRTPI
Director
For HPDC Ltd.

Appendix A South Dublin County Council Request of Further Information from 27th February 2023.

An Rannóg Talamhúsaíde, Pleanála agus Iompair
Land Use, Planning & Transportation Department



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PLANNING & DEVELOPMENT ACT, 2000 (as amended) AND PLANNING REGULATIONS THEREUNDER

Decision Order Number: 0225	Date of Decision: 27-Feb-2023
Register Reference: SD22B/0544	Registration Date: 23-Dec-2022

Applicant: Jason Tully
Development: Front and rear dormer attic extension, alteration of side hipped roof to a dutch-hip gable roof and alterations to elevations of existing dwelling. A new rear Velux and all associated site works.
Location: 201, Orwell Park Heights, Templeogue, Dublin 6W, D6WPF61
Application Type: Permission

Dear Sir /Madam,

With reference to your planning application, received on 23-Dec-2023 in connection with the above, I wish to inform you that before the application can be considered under Section 33 of the Planning & Development Act 2000, six copies of the following ADDITIONAL INFORMATION must be submitted.

1. The Applicant is requested to provide a complete set of revised plan, sectional and elevational drawings demonstrating:
 - (i) The omission of the proposed front dormer.
 - (ii) The applicant shall redesign the proposed roof profile to provide a larger hipped element.

NOTE: The applicant should note that any submission made in response to requests for additional information will be examined by the Planning Authority and may be deemed to be significant additional information. The applicant will be contacted by the Planning Authority if the additional information submission is deemed significant. In this event the applicant(s) will be requested to publish a notice in an approved newspaper and erect or fix a site notice on the land or structure to

which the further information relates and to submit copies of the both the newspaper and site notices to the Planning Authority in accordance with Article 35 (1) (a) and (b) of the Planning and Development Regulations 2001 (as amended).

Note: The applicant must submit the Further Information within **6 months** of the **date of decision**. If the information is not received within this period, the planning authority shall declare the application to be withdrawn.

Please ensure that your reply to this Request for Additional Information is accompanied by a covering letter marked “ADDITIONAL INFORMATION” and that the Planning Register Reference Number given above is quoted on the covering letter.

Signed on behalf of South Dublin County Council

Register Reference: SD22B/0544

Date: 27-Feb-2023

Yours faithfully,

Pamela Hughes
for **Senior Planner**