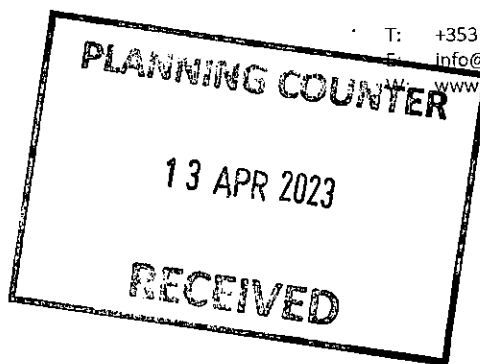


South Dublin County Council  
Planning Department  
County Hall  
Tallaght  
Dublin 24



13/04/2023

**RESPONSE TO REQUEST FOR FURTHER INFORMATION**

**Reg. Ref.** SD22A/0398  
**Applicant:** Greenacre Residential DAC  
**Development:** Cuil Duin Creche and Community Facility  
**Site Address:** Cuil Duin Avenue, Citywest, Co. Dublin

Dear Sir/ Madam,

This Response to Further Information has been prepared on behalf of Greenacre Residential DAC (applicants) in relation to the above planning application.

South Dublin County Council (SDCC) issued a request for Further Information (FI) on 9<sup>th</sup> December 2022 containing 5no. items.

The response (6no. copies) is submitted as follows: -

**Separate Reports/ Responses**

Separate reports from the relevant professionals are enclosed to address the following items: -

- RFI 2 and 3 – Further Information Response (DBFL)
- RFI 4 – Response to Request for Further Information (Cunnane Stratton Reynolds)

**Updated Drawings**

Revised drawings are submitted and this includes revisions to the previously submitted drawings and additional drawings as requested – see Drawing Schedules from Darmody Architecture, DBFL Consulting Engineers and Cunnane Stratton Reynolds.

**Other Written Responses**

For items not addressed in reports and drawings above, we have included our written responses at the end of this letter.

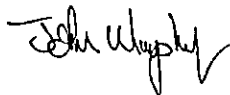
- RFI 1 – Creche Operations

- RFI 5 – Riparian Corridor.

**Conclusion**

I trust the enclosed address the Further Information Request and look forward to receiving your decision in due course.

Yours sincerely,

A handwritten signature in black ink, appearing to read "John W. Hynes". The signature is fluid and cursive, with a prominent initial "J" and a long, sweeping tail.

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BMA Planning

**RFI 1: Creche Operations**

The proposed creche will operate Monday to Friday from 7.00am to 6.30pm.

Staff numbers within the proposed creche will be provided in accordance with the requirements of the *Childcare Act 1991 (Early Years) Regulations 2016*. Based on the Schedule of Accommodation submitted with the original planning application and the proposed provision of 125no. childcare spaces, the proposed creche will accommodate c.24no. staff.

The proposed creche will provide a full day care service from 7.00am to 6.30pm each week day.

**RFI 5: Riparian Corridor**

The applicant's design team has investigated the potential for relocating the proposed creche and community building to east and south to create a greater separation distance to the existing stream. It is noted that the extent to which the building can be relocated within the site is limited due the presence of a wayleave within the eastern third of the site. The design team are also eager to maintain the gross floor area of the proposed creche and community facility to ensure that these facilities are adequately sized to meet the needs of the established and emerging communities in Fortunestown.

The building as originally submitted provided for a separation distance of 5m to 8.1m from the stream. In response to this item, the design team has relocated the building c.300mm in an easterly direction and increased the separation distance from the top of the stream back to the proposed building to between 5m and 8.4m. The entrance area to proposed creche on the western façade of the building has been revised to provide a recessed area of 1.8m within the floor plan. This zone reduces the building footprint within this area of the site, stepping the building away from the riparian zone where possible in addition to the other measures outlined.

The proposed Site Layout Plan (Dwg. No. PA-001) is updated to illustrate the revised layout and this is enclosed. A Cross Section (Dwg. no. PA-304) through the adjoining stream and the proposed building has been prepared to illustrate the relationship and extent of the proposed riparian corridor being provided.

The external access running from northeast to southwest along the western façade of the proposed building is finished in decking material, which is both porous and cantilevered to provide additional space below for planting and to maintain the full extent of the separation distance between the proposed building and the stream. The creche entrance area and bridge crossing to the amenity space also comprises lightweight wooden deck structures which will further reduce the built impact on the existing stream and adjoining bank area.

Cunnane Stratton Reynolds Landscape Architects has prepared a revised Landscape Masterplan (Dwg. No. 101) which proposes appropriate planting and surface treatments that significantly enhances biodiversity within the area adjoining the stream. Currently, this area comprises disturbed ground with limited biodiversity value. The planting of native species in the area between the proposed building and the stream will reinstate native riparian vegetation along the length of the stream within the application site. In this context, the proposed development meets the objectives of the Development Plan insofar as is possible within this constrained site.