

**Register Reference:** SDZ23A/0004 **Date:** 23-Feb-2023

**Development:** 385 dwelling units (139 houses, 70 Build-to-Rent duplex / apartments, 72 duplex / apartments and 104 apartments), ranging between two to six storeys in height comprising the following: - Total of 139 houses consisting of 102 three bedroom two storey terraced houses (House Type: 0, E & F); 11 four bedroom two storey terraced houses (House Type: C); 26 four bedroom three storey terraced houses (House Type: A & B); Total of 70 Build-to-Rent duplex / apartments units consisting of 35 two bedroom units (House Type: J, L & O); 35 three bedroom units (House Type: K, M & P); Total of 72 duplex / apartment units consisting of: - 36 two bedroom units (House Type: J, L & O); 36 three bedroom units (House Type: K, M & P); Total of 104 apartment units accommodated in 2 blocks ranging from four to six storeys consisting of 48 one bedroom units (House Type: A1 & A2); 56 two bedroom units (House Type: B1 & B2); Private rear gardens are provided for all houses. Private patios / terraces and balconies are provided for all duplexes and apartments; Vehicular access to serve the development is provided off the Clonburris Southern Link Street permitted under SDCC Reg. Ref. SDZ20A/0021 and currently under construction. Pedestrian and cycle access is also provided to the Newcastle Road (R120) and to the Clonburris Southern Link Street; All associated and ancillary site development, infrastructural, hard and soft landscaping and boundary treatment works, including: - A single storey tenant amenity building (c. 170 sq.m); Areas of public open space (1.45Ha); 538 car parking spaces and 878 bicycle parking spaces (660 long-term spaces and 218 visitor spaces); Bin and bicycle stores; Plant provided at undercroft level and additional plant provided at roof level (including solar panels) of the proposed apartment blocks; 3 ESB Sub-stations; Demolition of remaining walls and hardstanding associated with a former agricultural building; The development proposed includes minor revisions to an attenuation pond, connections to water services (wastewater, surface water and water supply) and connections to permitted cycle/ pedestrian paths permitted under SDCC Reg. Ref. SDZ20A/0021 on a site (c. 8.94 Ha) in the townland of Adamstown, within the Clonburris Strategic Development Zone (Adamstown Extension). On lands generally bound by the Dublin-Cork Rail Line to the north; Hayden's Lane, the Griffeen River and the undeveloped lands of Clonburris Strategic Development Zone to the east; Lucan Pitch and Putt to the south; and Newcastle Road (R120) to the west. This site consists of Development Areas AE-S1 and AE-S2 within the Clonburris Strategic Development Zone, as prescribed by the Clonburris Strategic Development Zone Planning Scheme 2019; This application is being made in accordance with the Clonburris Strategic Development Zone Planning Scheme 2019 and related to a proposed development within the Clonburris Strategic Development Planning Scheme Area, as defined by Statutory Instrument No. 604 of 2015.

**Location:** In the townland of Adamstown, Lucan, Co. Dublin

**Applicant:** Clear Real Estate Holdings Limited

**App. Type:** SDZ Application

**Planning Officer:** SARAH WATSON

**Date Recd:** 10-Feb-2023

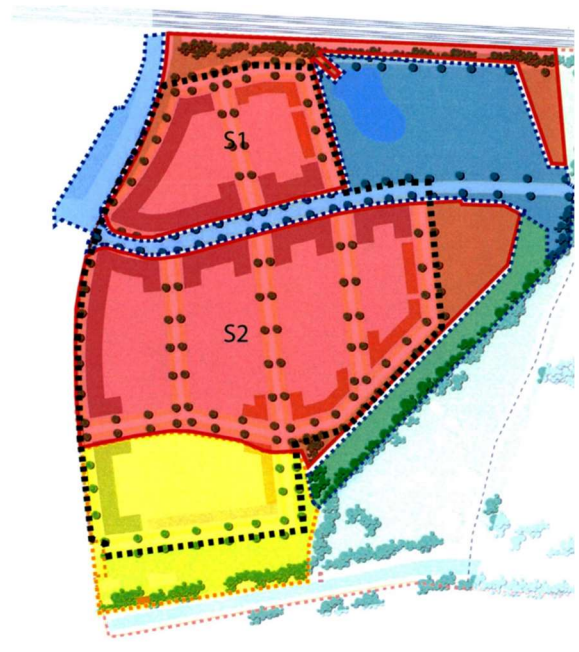
**Decision Due Date:** 06-Apr-2023

*Prior to commencement of any works in the public domain, and in order to comply with The Roads Act 1993 Section 13 Paragraph 10, a Road Opening Licence must be secured from South Dublin County Council, Roads Maintenance Department.*



9.19 ha (shown dashed above)

is above illustrate the extent of lands in the ownership of the applicant - how these existing planning permissions. As illustrated above - the pitch and putt lands to the proposed application area, are not within the applicants ownership. The full extent of development areas have been considered as part of the masterplan only.



- Extent of previously permitted works (SDZ20A -0021)
- Extent of planning application
- Lands outside applicants ownership
- Existing Griffeen River & embankment

**bkd**archite

## Description

- **385** dwelling units
- Total of **139 houses** consisting of
  - **102 three bedroom** two storey terraced houses (House Type: O, E & F)
  - **11 four bedroom** two storey terraced houses (House Type: C)
  - **26 four bedroom** three storey terraced houses (House Type: A & B)
- Total of **70 Build-to-Rent duplex/apartments** units consisting of
  - **35 two bedroom** units (House Type: J, L & O)
  - **35 three bedroom** units (House Type: K, M & P)
- Total of **72 duplex/apartment** units consisting of:
  - **36 two bedroom** units (House Type: J, L & O)
  - **36 three bedroom** units (House Type: K, M & P)
- Total of **104 apartment** units accommodated in 2 blocks ranging from four to six storeys consisting of
  - **48 one bedroom** units (House Type: A1 & A2)
  - **56 two bedroom** units (House Type: B1 & B2)
  - Private rear gardens are provided for all houses. Private patios / terraces and balconies are provided for all duplexes and apartments
- **Vehicular access to serve the development is provided off the Clonburris Southern Link Street permitted under SDCC Reg. Ref. SDZ20A/0021 and currently under construction**
- **Pedestrian and cycle access** is also provided to the Newcastle Road (R120) and to the Clonburris Southern Link Street
- All associated and ancillary site development, infrastructural, hard and soft landscaping and boundary treatment works, including:
  - A single storey tenant amenity building (c. 170 sq.m)
  - Areas of public open space (1.45Ha)
  - **538 car parking spaces and 878 bicycle parking spaces** (660 long-term spaces and 218 visitor spaces)
  - **Bin and bicycle stores**
  - 3 ESB Sub-stations
  - **Demolition of remaining walls** and hardstanding associated with a former agricultural building; The development proposed includes minor revisions to an attenuation pond, connections to water services (wastewater, surface water and water supply) and
  - **connections to permitted cycle/pedestrian paths permitted under SDCC Reg. Ref. SDZ20A/0021** on a site (c. 8.94 Ha) in the townland of Adamstown, within the Clonburris Strategic Development Zone (Adamstown Extension). On lands generally bound by the Dublin-Cork Rail Line to the north; Hayden's Lane, the Griffeen River and the undeveloped lands of Clonburris Strategic Development Zone to the east; Lucan Pitch and Putt to the south; and Newcastle Road (R120) to the west
  - This site consists of **Development Areas AE-S1 and AE-S2** within the Clonburris Strategic Development Zone, as prescribed by the Clonburris Strategic Development Zone Planning Scheme 2019
  - This application is being made in accordance with the Clonburris SDZ Planning Scheme 2019 and related to a proposed development within the Clonburris Strategic Development Planning Scheme Area

## **Access & Roads Layout:**

The proposed layout conforms closely to the SDZ roads hierarchy. The vehicular access to the North and South will be from the Clonburris Southern Link Street as granted previously. No issues arise regarding layout or hierarchy.

## **RSA**

Roads note that on Road Safety Audit feedback form, that one of the 5no. alternative measures proposed by the Designers were accepted by the Auditing Team.

Applicant to provide a written rationale as to how the issues raised by the road safety audit were all fully addressed.

## **Swept path analysis:**

Swept path analysis for emergency vehicles is satisfactory.

## **Permeability:**

The overall pedestrian permeability is good within the site.

Cycling and walking shall be encouraged throughout the SDZ lands with the creation of a network of dedicated and street integrated pedestrian and cyclist routes. In accordance with the Design Manual for Urban Roads and Streets (DTTS & DECLG, 2013) (DMURS), all streets within the SDZ lands shall be designed for pedestrian and cyclist movement.

There shall be no barriers to pedestrian or cyclist movement between residential developments. Barriers created by the canal and railway shall be overcome by bridges.

Link Streets will form a vital linking component between Arterial Streets and Local Streets and will be instrumental in creating a highly accessible and permeable street network. Link Streets will act as the principle corridors for the movement of pedestrians, cyclists, public transport (local buses) and vehicles within and through the SDZ lands.

The site will have particularly good connectivity to the east/south via Hayden's Lane/Grand Canal, to the North across the western rail line via the existing pedestrian cycle bridge and to the west using the existing R120 cycle tracks.



Will or Can the Greenway that follows the western rail corridor be continued?

## **TTA:**

All RFC (ratio to flow capacity) figures are well under the key 0.85 quotient.

## **Car Parking:**

The maximum allowable number of spaces as per CDP 2022-28 is calculated at 558.

A total of 538 car parking spaces have been proposed which is acceptable to Roads.

Applicant has submitted a provision of 27 MID spaces, 94 EV charging points and 42 visitor spaces.

These EV CDP min requirements have not been met and the figure must increase to a minimum of 108no. spaces.

### **Reversing behind parallel parking**

All locations have achieved a min 6m reversing distance.

### **Bicycle Parking:**

Minimum required spaces of 638no. The applicant has proposed 878no. bike parking spaces (660 long-term, 218 visitor) which is satisfactory to Roads.

Within the development 36no cargo spaces & 72no cargo spaces are proposed which is welcomed by Roads. 40% of spaces to accommodate EV charging including cargo bike spaces.

Visitor spaces - Type 4 & type 5 are very similar. In the drawing provided these spaces are not covered. Applicant to submit revised layout showing visitor bicycle parking covered in line with the “National Cycle Manual”.

### **Taking in Charge:**

A plan of the areas to be taken in charge by SDCC has been submitted. Details of the road construction have been included. The roads and footpaths must conform to SDCC taking in charge standards.

### **Waste Collection:**

Roads are satisfied with waste collection arrangements as proposed.

### **Roads recommend that additional information be requested from the applicant:**

1. Applicant to provide a written rationale as to how the issues raised in the applicant Road Safety Audit were addressed.
2. EV car-parking provision must increase to a minimum of 108no. spaces in line with min 20% requirement in CDP 2022-28.
3. Applicant to submit revised layout showing visitor bicycle parking covered in line with the “National Cycle Manual”.
4. Applicant to provide details of how the Greenway that follows the western rail corridor will be continued under the road/rail bridge to the NW corner of the subject site.