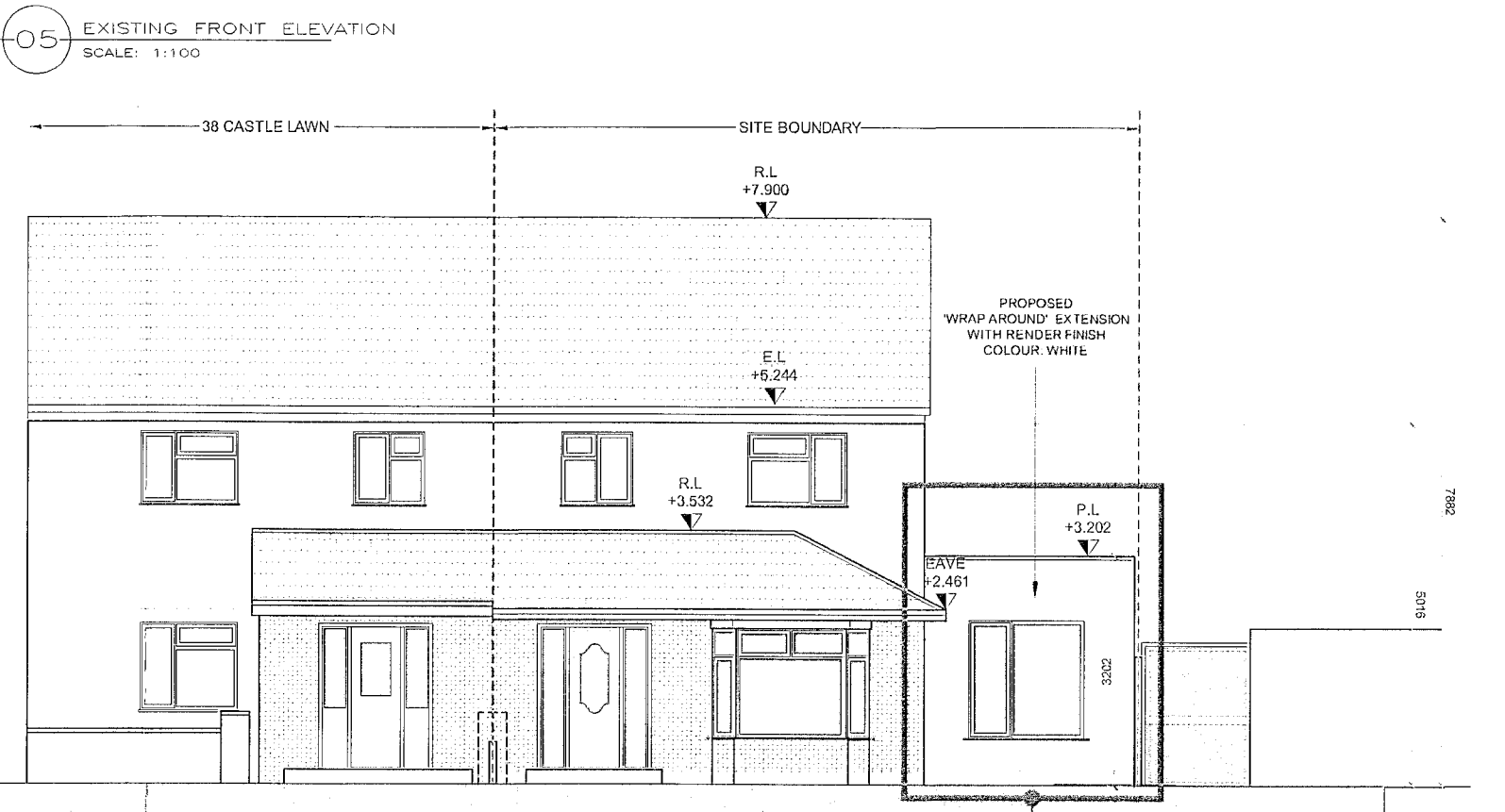
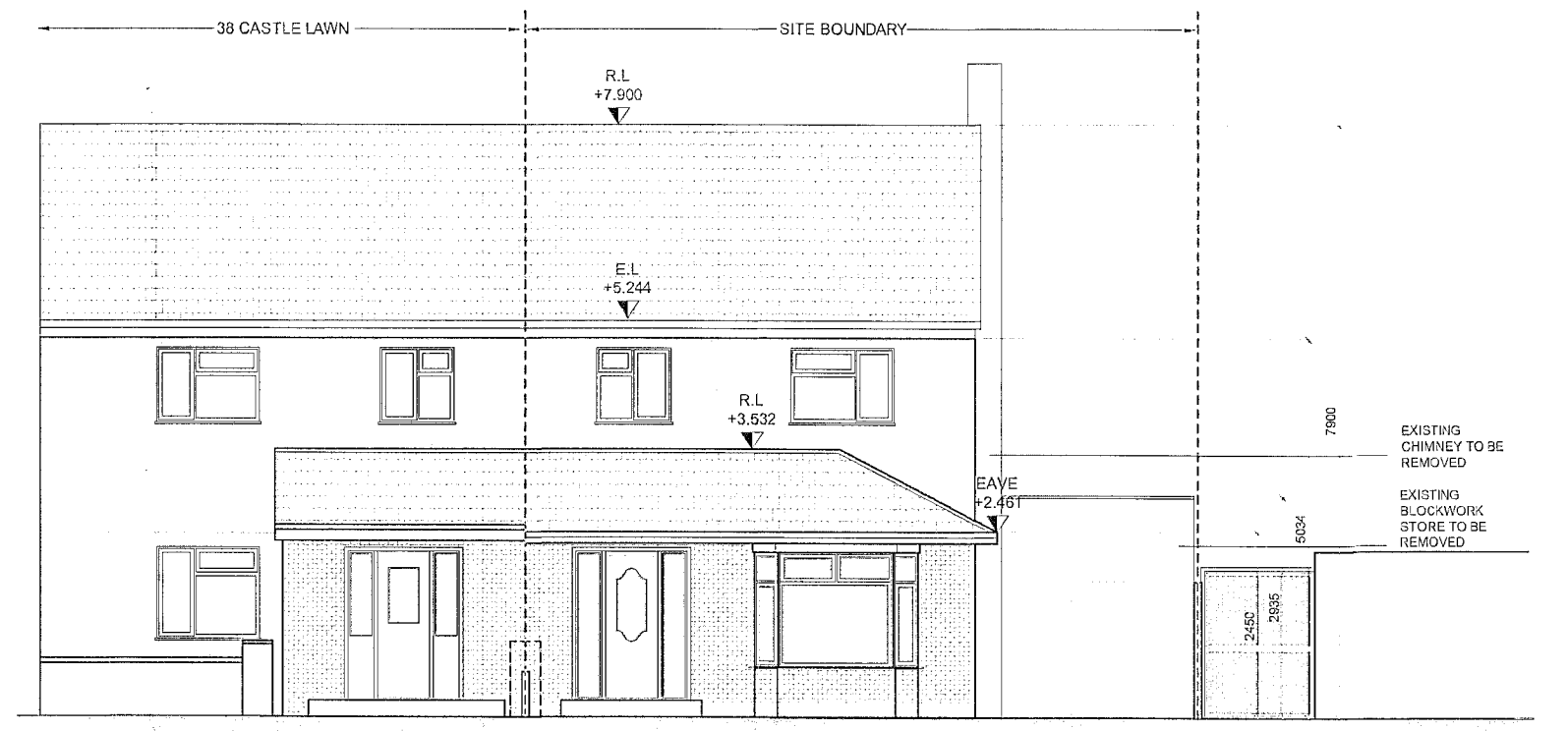


CONDITION 2
 Prior to the commencement of development the applicant, owner or developer shall submit the following for the written agreement of the Planning Authority
 (a) False roof on the side extension omitted, replaced by a contiguous flat roof that wraps around the dwelling
 (b) New Access door removed from the front of the property
 (c) Depth of proposed side extension set back 1.1m from the front building line to accommodate parking in curtil area.



01 EXISTING GROUND FLOOR PLAN
 SCALE: 1:100

02 PROPOSED GROUND FLOOR PLAN
 SCALE: 1:100

03 EXISTING ROOF PLAN
 SCALE: 1:100

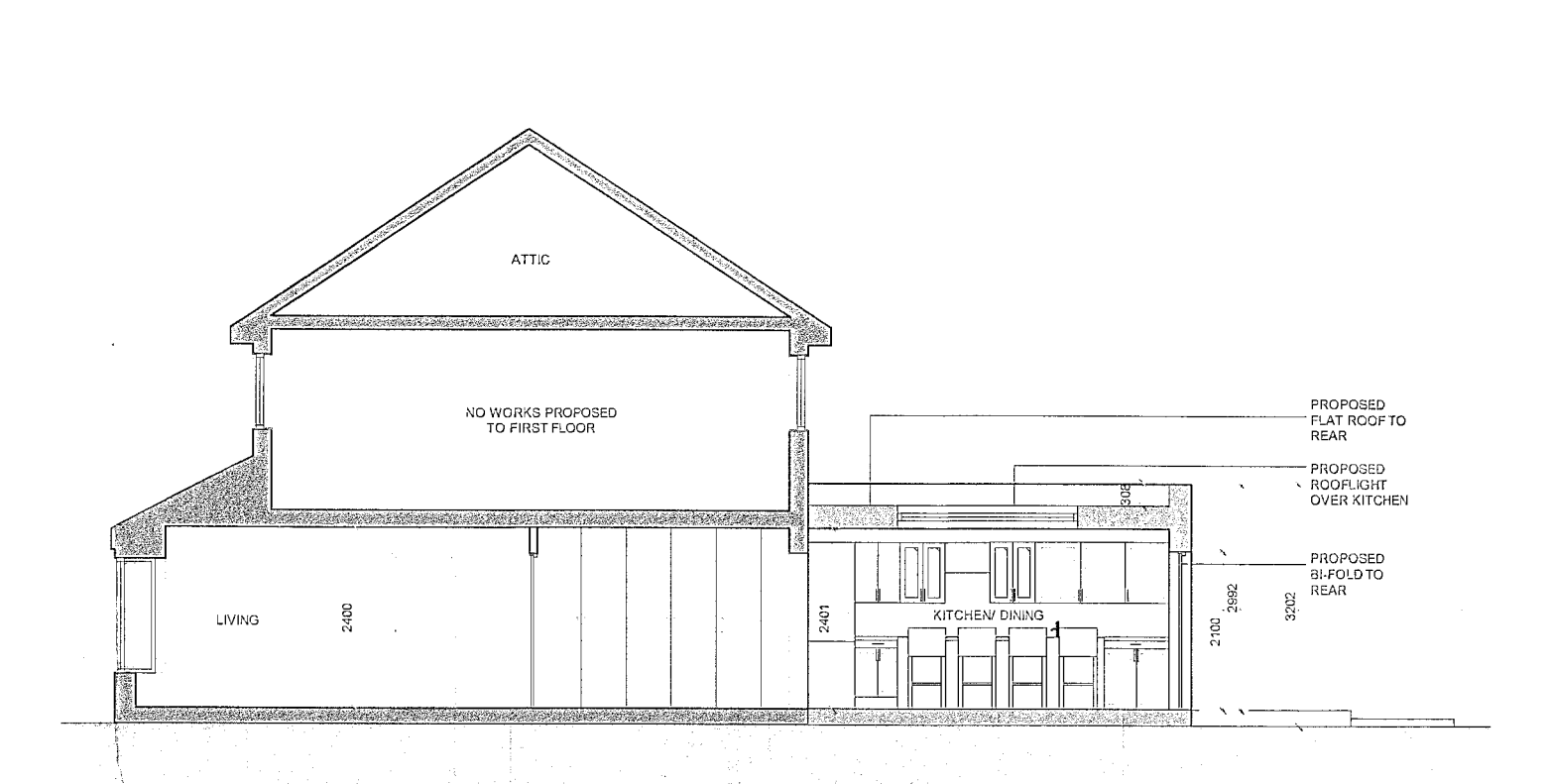
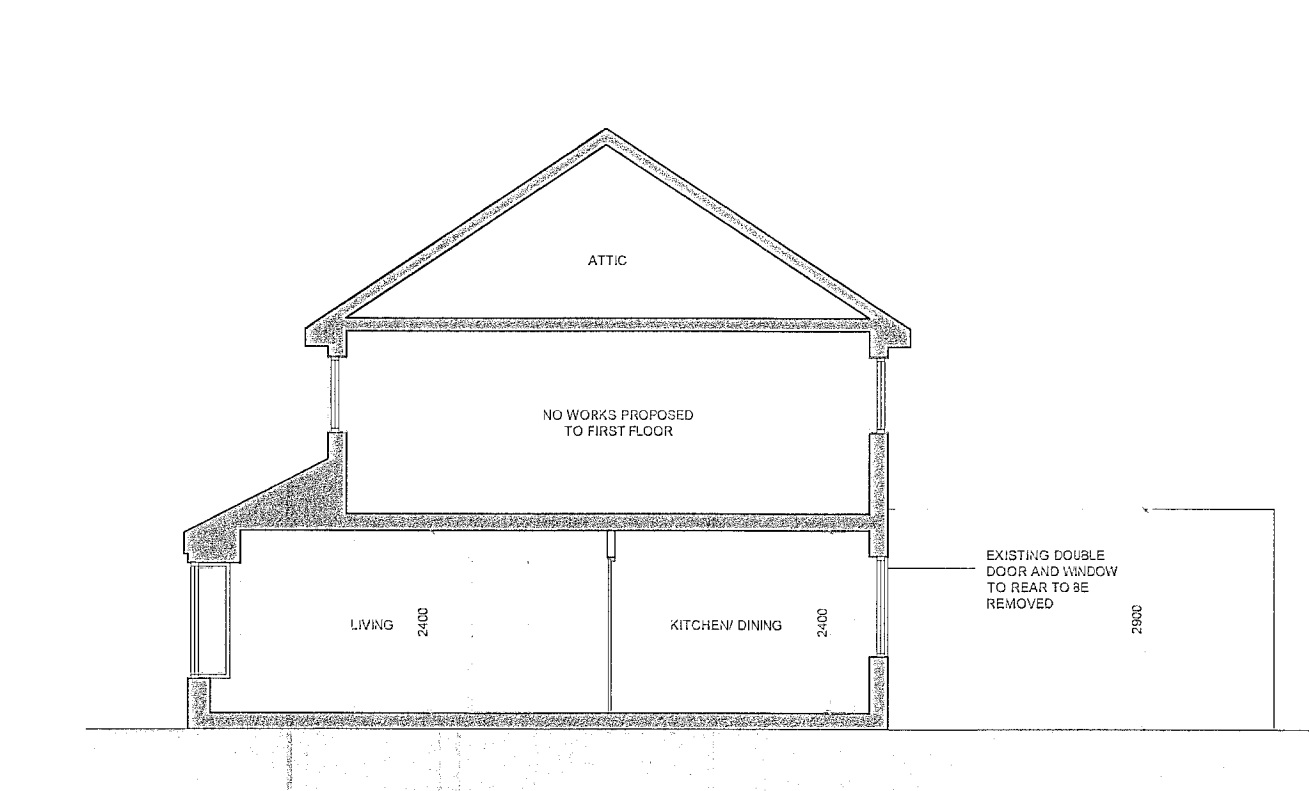
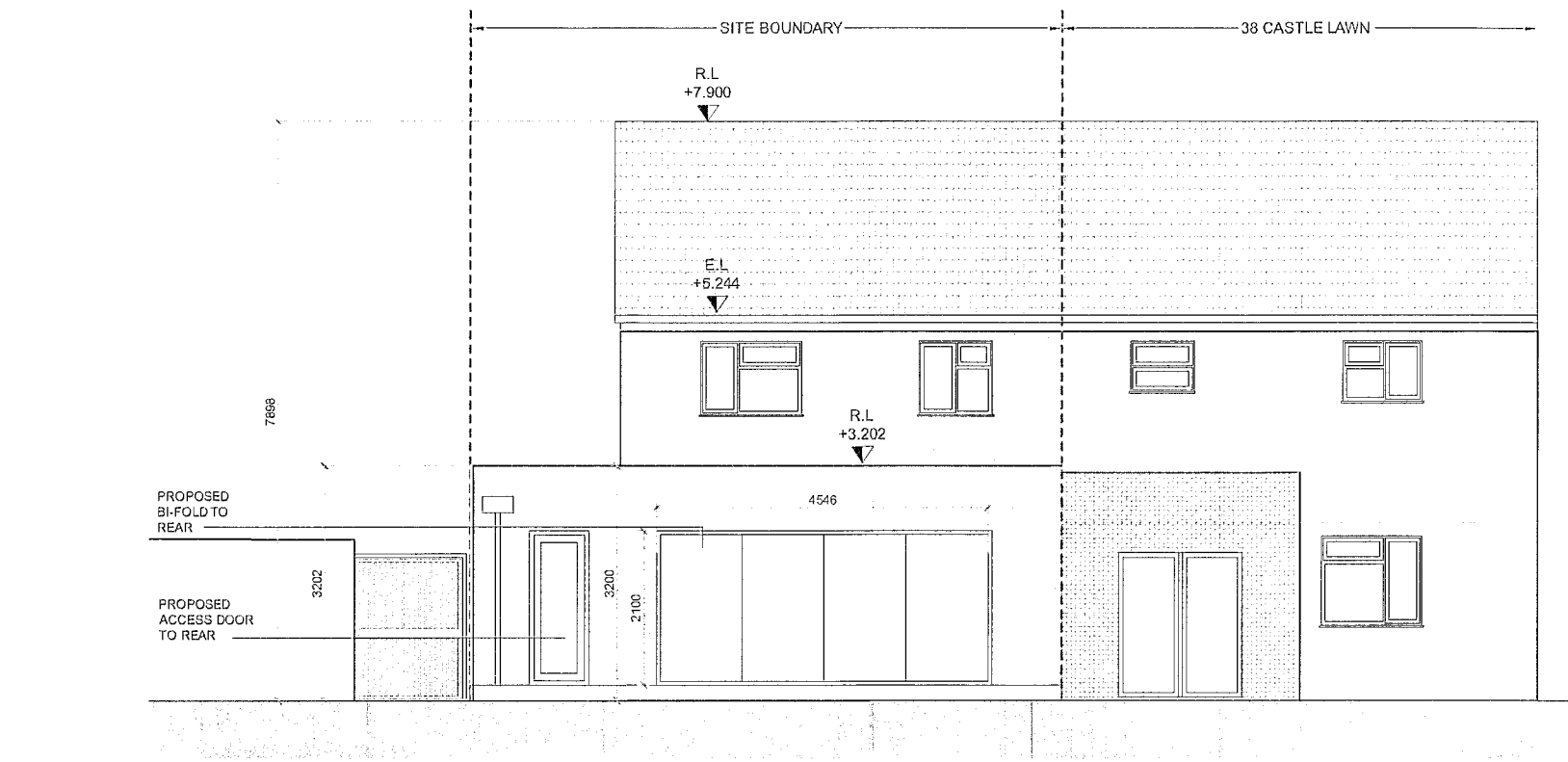
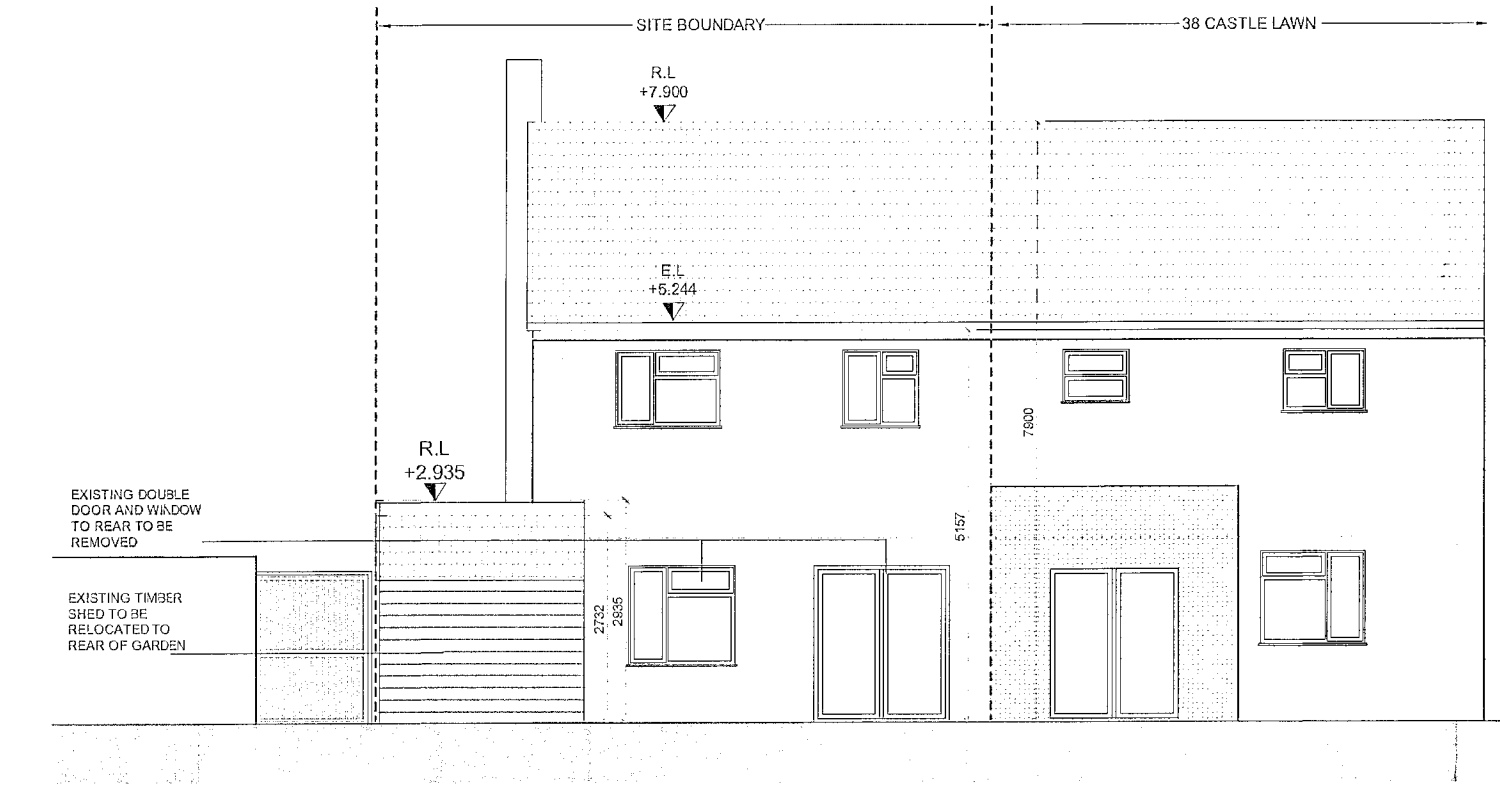
04 PROPOSED ROOF PLAN
 SCALE: 1:100

06 PROPOSED FRONT ELEVATION - COMPLIANCE
 SCALE: 1:100

CONDITION 2
 (a) False roof on the side extension omitted, replaced by a contiguous flat roof
 (b) Removal of front access door
 (c) New Access door removed from the front of the property

CONDITION 2
 (a) False roof on the side extension omitted, replaced by a contiguous flat roof
 (b) Removal of front access door
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CONDITION 2
 (a) False roof on the side extension omitted, replaced by a contiguous flat roof
 (b) Removal of front access door
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07 EXISTING REAR ELEVATION
 SCALE: 1:100

08 PROPOSED REAR ELEVATION
 SCALE: 1:100

09 EXISTING SECTION
 SCALE: 1:20

10 PROPOSED SECTION
 SCALE: 1:100

NOTES
 1. This drawing is copyright. If printed dimensions only to be taken from this drawing. All dimensions to be checked on site. Module Design Ltd to be informed immediately of any discrepancies before work proceeds.

| REV | DATE | DESCRIPTION | ISSUED BY | REV | DATE | DESCRIPTION | ISSUED BY |
|-----|-----------|------------------------------------|-----------|-----|------|-------------|-----------|
| A | MARCH '23 | COMPLIANCE CONDITION 2 (A) (B) (C) | POB | | | | |
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| DRAWN: AC | CHECKED BY: MON | PAGE SIZE A1 |
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| PROJECT NAME: 37 CASTLE LAWN BALROTHERY | | | |
| DRAWING TITLE: PLANNING DRAWINGS | | | |
| PROJECT NO. 22028 | DATE: JUNE 2022 | SCALE: 1:100 | REV. A |

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STATUS
COMPLIANCE