

Stephen Mason Architectural & Planning Services
2, Clonkeefy
Castlerahan
Ballyjamesduff
Co. Cavan

SENT BY EMAIL
13-03-2023
PLANNING COMPLIANCE SUBMISSION
CONDITION 4
FROM
STEPHEN MASON
AGENT FOR STEPHEN AND EIMEAR SHIELDS

**NOTIFICATION OF DECISION TO GRANT PERMISSION
PLANNING & DEVELOPMENT ACT 2000 (as amended) AND
PLANNING REGULATIONS THEREUNDER**

Decision Order Number: 1021	Date of Decision: 11-Aug-2022
Register Reference: SD22B/0278	Date: 17-Jun-2022

Applicant: Stephen & Eimear Shields

Development: Planning Permission for (1) Construction of a two storey pitched roof side extension to the existing dwelling
(2) Construction of a single storey flat roof rear extension to the existing dwelling and extending for the width of the two storey extension.
(3) Works to the existing house (a) Internal alterations at ground and first floor level to facilitate the new extension (b) Alterations to existing ground floor window on the front elevation
(4) Increased width vehicular entrance of the public road and
(5) All necessary ancillary site development works to facilitate this development

Location: 53, Michael Collins Park, Dublin 22

Floor Area:

13-03-2023 / PLANNING COMPLIANCE SUBMISSION
C4+5. Revised drawings 462-PC-02 and 462-PC-04 to indicate foul water and surface water layouts.
Also refer to attached letter received from ARC regards surface water
Also refer to attached Drainage map received from SDCC
Paving details attached

DECISION TO: Pursuant to the Planning & Development Act 2000 (as amended), it is hereby decided, for the reasons set out in the First Schedule hereto, to **GRANT PERMISSION** for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said decision is subject to the said conditions.

FIRST SCHEDULE

It is considered that the proposed development accords with the policies and objectives of South Dublin County Council, as set out in the South Dublin County Council Development Plan 2022 - 2028 and subject to the condition(s) set out hereunder is thereby in accordance with the proper planning and sustainable development of the area.

SECOND SCHEDULE

Conditions and Reasons:

1. Development in accordance with submitted plans and details.
The development shall be carried out and completed in its entirety fully in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
2. Roads and Access
 - i) The vehicular access points shall be limited to a width of 3.5 meters.
 - ii) The boundary walls at vehicle access points shall be limited to a maximum height of 0.9m, and any boundary pillars shall be limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles.
 - iii) Footpath and kerb shall be dished and widened, and the dropped crossing shall be constructed to the satisfaction of South Dublin County Council and at the applicant's expense. The footpath and kerb shall be dished and widened to the full width of the proposed widened driveway entrance.
 - iv) Any gates shall open inwards and not out over the public domain.
REASON: In the interest of public safety, proper planning and sustainable development.
3. First Floor Gable Window
Prior to the commencement of development, the applicant/developer shall submit drawings including elevations, floor plans and site plans showing one a new window on the first-floor of the gable wall (southern elevation) that shall be similar in design and dimensions to the window projecting onto the proposed new bedroom on the western (front) elevation at first floor level for the written agreement of the Planning Authority.
REASON: In the interest of residential amenity.
4. Drainage - Surface Water.
The disposal of surface water, shall fully comply with all of the technical requirements of the Council's Water Services Section. In this regard, prior to the commencement of

development, the applicant/developer shall submit the following for the written agreement of the Planning Authority:

(a) Fully detailed foul and surface water drainage plans for the proposed development as approved showing location of all manholes, AJs etc located within the site boundary up to and including point of connection to the public sewer that fully accords with the requirements Council's Water Services Section and or Irish Water,

(b) There shall be complete separation of the foul and surface water drainage systems, both in respect of installation and use. All new precast surface water manholes shall have a minimum thickness surround of 150mm Concrete Class B.

(c) All drainage works for this development shall comply fully with the Greater Dublin Regional Code of Practice for Drainage Works.

(d) The soakaway design to be submitted shall be certified to BRE Digest 365 standard by a suitably qualified person carrying professional indemnity insurance and shall include documented evidence of infiltration test results to demonstrate that the soakaway complies with the requirements of BRE Digest 365.

The revised plans shall provide for a soakaway to be located within the curtilage of the property and this shall be:

(i) at least 5m from any buildings, public sewers or structures and not in such a position that the ground below foundations is likely to be adversely affected.

(ii) at least 5m from the nearest road boundary and not within 3m of the boundary of the adjoining site.

(iii) a minimum of 10m from any sewage treatment percolation area.

(iv) at least 10m from any stream / river / flood plain.

In addition only rainwater shall be discharged to soakaways.

REASON: In the interests of public health, safety, the proper planning and sustainable development of the area and in order to ensure adequate and appropriate surface water drainage provision.

5. Sustainable Urban Drainage Systems (SuDS)

The applicant has not proposed any SuDS (Sustainable Drainage Systems) features for the proposed development. Prior to the commencement of development, the applicant is required to submit a drawing in plan and cross sectional views clearly showing proposed Sustainable Drainage Systems (SuDS) features for the development, such as but not limited to the following:

- Rain Gardens , Planter boxes with overflow connection to the public surface water sewer.
- Permeable Paving
- Grasscrete
- Green Roofs,
- Swales
- Permeable Paving
- Grasscrete
- Channel Rills
- Planter Boxes water butts

The applicant should reference the SDCC Sustainable Drainage Explanatory Design & Evaluation Guide prior to submission.

REASON: In the interest of providing suitable SuDS measures and sustainable development of the area.

6. Protection of Street Trees in Grass Margins

The applicant shall ensure the protection of the existing street tree to be retained through the installation of suitable tree protection fencing in order to protect the existing tree during any construction works pertaining to retention of the gate. Commencement of development shall not be permitted without adequate protective fencing being in place. This fencing, enclosing the tree protection area must be installed prior to any plant, vehicle or machinery access on site. Fencing must be clearly signed 'Tree Protection Area – No Construction Access'. No Excavation, plant vehicle movement, materials or soil storage shall be permitted within the fenced tree protection areas indicated on plan. REASON: In the interest of proper planning and sustainable development.

7. Financial Contribution.

The developer shall pay to the Planning Authority a financial contribution of €2,089.80 (two thousand and eighty nine euros and eighty cents), in respect of public infrastructure and facilities benefiting development within the area of the Planning Authority, that is provided, or intended to be provided by or on behalf of the authority, in accordance with the terms of the Development Contribution Scheme 2021 - 2025, made under Section 48 of the Planning and Development Acts 2000-2011 (as amended).

The contributions under the Scheme shall be payable prior to commencement of development or as otherwise agreed in writing by the Council. Contributions due in respect of permission for retention will become payable immediately on issue of the final grant of permission. Contributions shall be payable at the index adjusted rate pertaining to the year in which implementation of the planning permission is commenced.

REASON: The provision of such facilities will facilitate the proposed development. It is considered reasonable that the payment of a contribution be required, in respect of public infrastructure and facilities benefiting development in the area of the Planning Authority and that is provided, or that is intended will be provided, by or on behalf of the Local Authority.

NOTE RE: CONDITION - Please note that with effect from 1st January 2014, Irish Water is now the statutory body responsible for water services. Further details/clarification can be obtained from Irish Water at Tel. 01 6021000 or by emailing customerservice@water.ie.

NOTE: The applicant is advised that under the provisions of Section 34 (13) of the Planning and Development Act 2000 (as amended) a person shall not be entitled solely by reason of a permission to carry out any development.

NOTE: The applicant or developer should ensure that all necessary measures shall be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works and to ensure that any such instances arising are remedied immediately.

NOTE: Adequate provision should be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons, including sanitary conveniences. The minimum requirements should be as per Part M of the Building Regulations.

NOTE: The applicant/developer of these lands is advised that in the event of encroachment or oversailing of adjoining property, the consent of the adjoining property owner is required.

NOTE: Notwithstanding any grant of planning permission; if an applicant requires permission to access local authority land (e.g. public footpaths, public open space or roadways) in order to access utilities, or for any other reason; the applicant should apply via <https://maproadroadworkslicensing.ie/MRL/> for a licence from the Local Authority to carry out those works.

The Developer is advised that under the provisions of the Construction Products Regulation 2013 (No.305/2011-CPR) All products sourced for use in building process must conform with the statutory requirements of the CPR. For more information on these responsibilities see <http://ec.europa.eu/enterprise/sectors/construction/legislation>.

From March 1, 2014 the Building Control (Amendment) Regulations 2013 (SI 80 of 2013) come into effect. All Commencement Notices for works greater than 40sq.m are obliged to be accompanied by a number of certified undertakings as described by these Regulations.

Please note that upon receipt of this document you are obliged to remove the planning site notice in compliance with Article 20 of the Planning and Development Regulations 2001, as amended.

Please note that any valid submissions or observations received in accordance with the provisions of the Planning and Development Regulations 2001, as amended, have been considered in the determination of this application.

Signed on behalf of the South Dublin County Council.



for **Senior Planner**

12-Aug-2022

NOTES

(A) REFUND OF FEES SUBMITTED WITH A PLANNING APPLICATION

Provision is made for a partial refund of fees in the case of certain repeat applications submitted within a period of twelve months where the full standard fee was paid in respect of the first application and where both applications related to developments of the same character or description and to the same site. An application for a refund must be made in writing to the Planning Authority and received by them within a period of two months beginning on the date of the Planning Authority's decision on the second application. For full details of fees, refunds and exemptions the Planning & Development Regulations, 2001 should be consulted.

(A) APPEALS

1. An appeal against the decision may be made to An Bord Pleanála. The applicant or ANY OTHER PERSON who made submissions or observations to the Local Authority may appeal within FOUR WEEKS beginning on the date of this decision. (N.B. Not the date on which the decision is sent or received).
2. Every appeal must be made in writing and must state the subject matter and full grounds of appeal. It must be fully complete from the start. In the case of a third party appeal it must be accompanied by the acknowledgement by the Planning Authority of receipt of the submissions/observations. Appeals should be sent to:
3. The Secretary, An Bord Pleanála, 64 Marlborough Street, Dublin 1.
4. An Appeal lodged by an applicant/ agent or by a third party with An Bord Pleanála will be invalid unless accompanied by the prescribed fee. A schedule of fees is at 7 below.
5. A party to an appeal making a request to An Bord Pleanála for an Oral Hearing of an appeal must, in addition to the prescribed fee, pay to An Bord Pleanála a further fee (see 7 (g) below).
6. A person who is not a party to an appeal must pay a fee to An Bord Pleanála when making submissions or observations to An Bord Pleanála in relation to an appeal.
7. If the Council makes a decision to grant permission/grant permission consequent on a grant of outline permission and there is no appeal to An Bord Pleanála against this decision, PERMISSION/PERMISSION CONSEQUENT ON A GRANT OF OUTLINE PERMISSION will be granted by the Council as soon as may be after the expiration of the period for the taking of such an appeal. If any appeal made in accordance with the Acts has been withdrawn, the Council will grant the PERMISSION/PERMISSION CONSEQUENT ON A GRANT OF OUTLINE PERMISSION/RETENTION as soon as may be after the withdrawal.
8. Fees payable to An Bord Pleanála from 10th December 2007 are as follows:
 - (a) Appeal against a decision of a Planning Authority on a planning application relating to commercial development made by the person by whom the planning application was made.
where the application relates to unauthorised development €4,500.00 or €9,000 if an E.I.A.R. is involved
 - (b) Appeal against a decision of a planning authority on a planning application relating to commercial development made by the person by whom the planning application was made.
other than an appeal mentioned at (a)..... €1,500.00 or €3,000.00 if an E.I.A.R. is involved
 - (c) Appeal made by the person by whom the planning application was made, where the application relates to unauthorised development other than an appeal mentioned at (a) or (b) €660.00
 - (d) Appeal other than an appeal mentioned at (a), (b), (c) or (f) €220.00
 - (e) Application for leave to appeal €110.00
 - (f) Appeal following a grant of leave to appeal €110.00
 - (g) Referral..... €220.00
 - (h) Reduced fee (payable by specified bodies)..... €110.00
 - (i) Submission or observations (by observer) €50.00
 - (j) Request from a party for an Oral Hearing €50.00

If in doubt regarding any of the above appeal matters, you should contact An Bord Pleanála for clarification at

Telephone 01-858 8100

planning compliance

below ground storm drains to connect to exg public drains within footpath/road

paving areas to be constructed as permeable paving refer to submitted literature pavers, bedding aggregate, geofabric, basecourse aggregate, geofabric or impermeable liner to suit, on sub grade.

planning compliance

below ground storm drains to connect to exg public drains within footpath/road

refer to letter of recommendations from ARC

no part of the extension encroaches or overhangs the adjoining properties / boundaries

network of below ground foul drains to connect to exg aj at drain junctions and change of direction of drains

exg aj
exg foul drain connection from house

exg aj
exg foul drain connection from house

1800mm high blockwork boundary wall

NEW WALLS

EXTERNAL WALLS DRAWN AS 350MM CAVITY

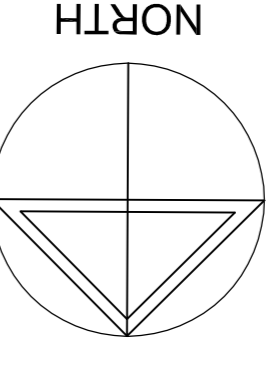
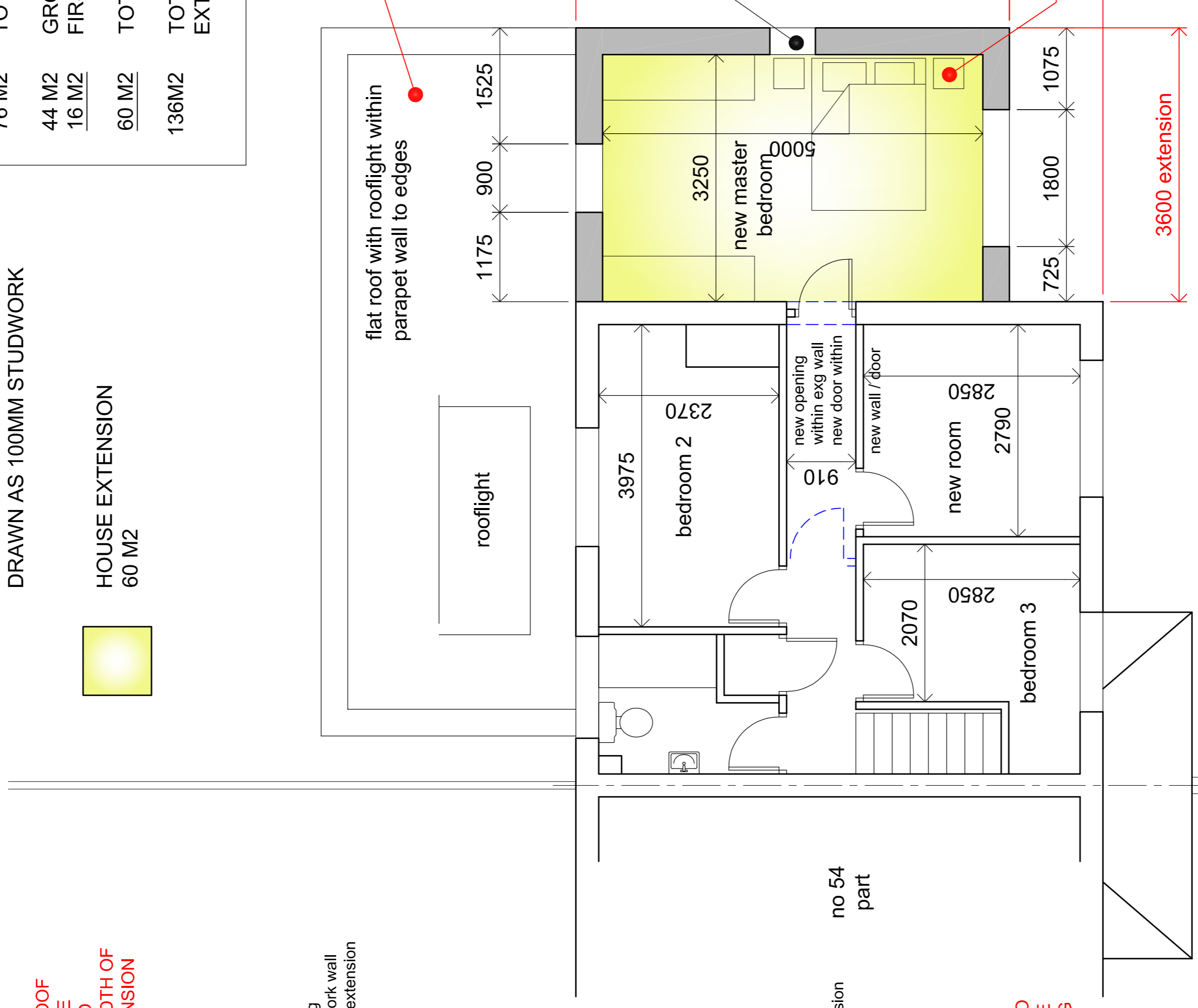
INTERNAL WALLS / GROUND FLOOR DRAWN AS 100MM BLOCKWORK

INTERNAL WALLS / FIRST FLOOR DRAWN AS 100MM STUDWORK

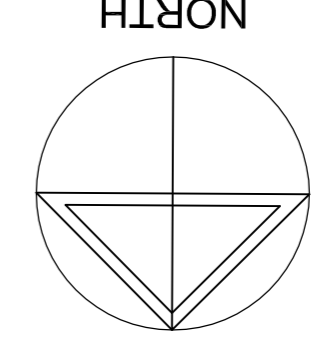
HOUSE EXTENSION
60 M²

FLOOR AREAS

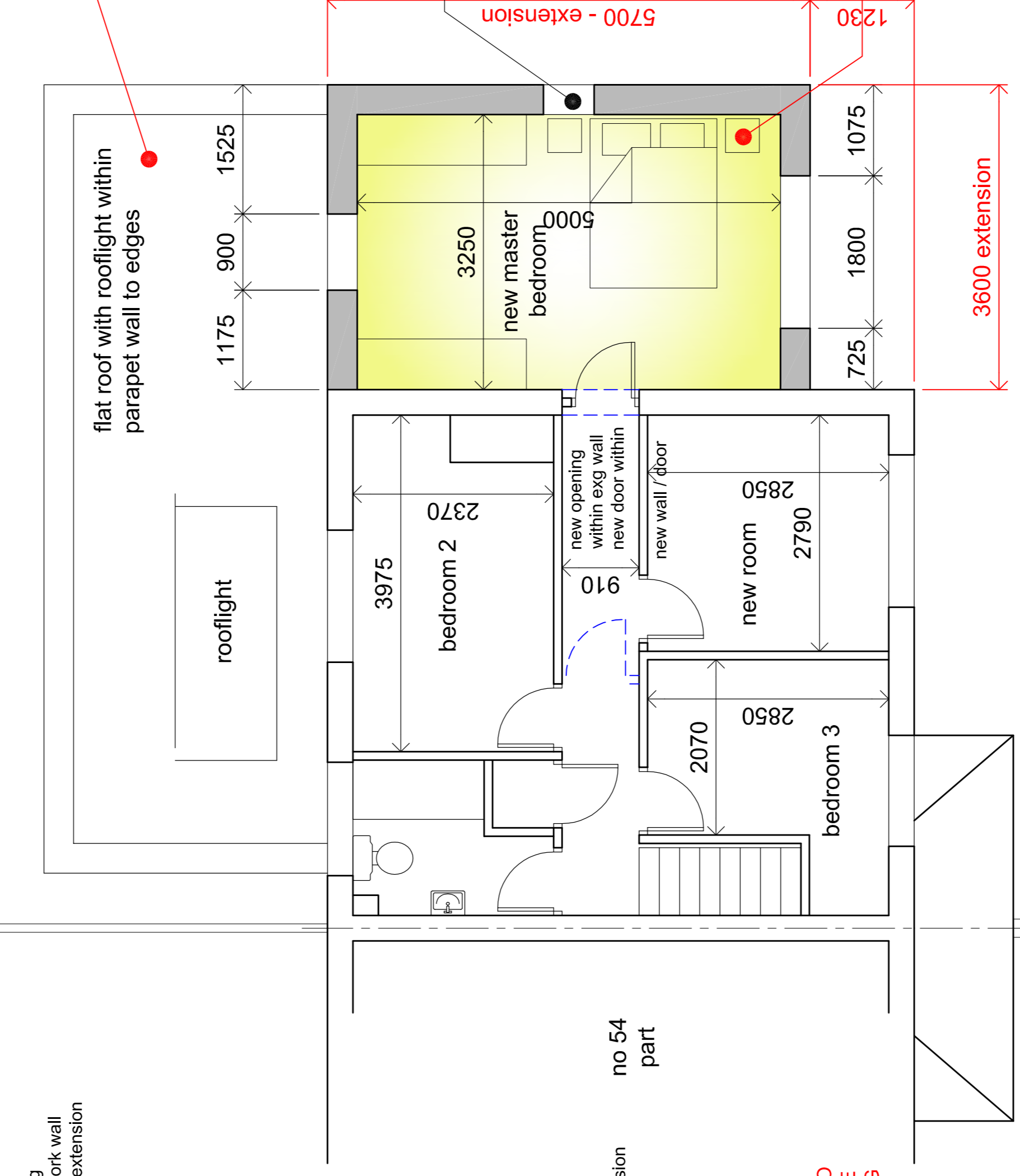
EXISTING GROUND FLOOR	39 M ²
EXISTING FIRST FLOOR	37 M ²
TOTAL EXISTING FLOOR AREA	76 M ²
GROUND FLOOR EXTENSION	44 M ²
FIRST FLOOR EXTENSION	16 M ²
TOTAL EXTENSION	60 M ²
TOTAL EXG HOUSE (76) AND EXTENSION (60)	136M ²



GROUND FLOOR PLAN
AS PROPOSED
extension 44 m²



FIRST FLOOR PLAN
AS PROPOSED
extension 16 m²



(2) CONSTRUCTION OF A SINGLE STOREY FLAT ROOF REAR EXTENSION TO THE EXISTING DWELLING AND EXTENDING FOR THE WIDTH OF THE TWO STOREY EXTENSION

(1) CONSTRUCTION OF A TWO STOREY PITCHED ROOF SIDE EXTENSION TO THE EXISTING DWELLING

(3) WORKS TO THE EXISTING HOUSE (B) ALTERATIONS TO EXISTING GROUND FLOOR WINDOW ON THE FRONT ELEVATION

planning compliance

below ground storm drains to connect to exg public drains within footpath/road

paving areas to be constructed as permeable paving refer to submitted literature pavers, bedding aggregate, geofabric, basecourse aggregate, geofabric or impermeable liner to suit, on sub grade.

increase depth of window from 1000mm to 1500mm width as existing

exg window remove exg window and cill

ground level 99.85

THIS DRAWING WAS PREVIOUS PLANNING DRAWING 462 / 02 REVISOR FOR PLANNING COMPLIANCE SUBMISSION

ORDNANCE SURVEY PLAN REF
MAP SERIES: 1:1000
MAP SHEET: 3225-04, 3261-24
ITM CENTRE POINT CO-ORDINATE
X, Y = 706623. 731981

PLANNING PERMISSION FOR (1) CONSTRUCTION OF A TWO STOREY PITCHED ROOF SIDE EXTENSION TO THE EXISTING DWELLING
(2) CONSTRUCTION OF A SINGLE STOREY FLAT ROOF REAR EXTENSION TO THE EXISTING DWELLING AND EXTENDING FOR THE WIDTH OF THE TWO STOREY EXTENSION (3) WORKS TO THE EXISTING HOUSE (A) INTERNAL ALTERATIONS TO EXISTING GROUND FLOOR WINDOW ON THE FRONT FLOOR LEVEL TO FACILITATE THE NEW EXTENSION (B) ALTERATIONS TO EXISTING GROUND FLOOR WINDOW ON THE FRONT FLOOR LEVEL TO FACILITATE THE NEW EXTENSION (C) REPAIR AND REPOINTING OF EXISTING GROUND FLOOR WINDOW ON THE FRONT FLOOR LEVEL TO FACILITATE THE NEW EXTENSION (D) INCREASED WINDOW ELEVATION (E) INCREASED WINDOW ELEVATION (F) INCREASED WINDOW ELEVATION
AT
DEVELOPMENT WORKS TO FACILITATE THIS DEVELOPMENT

53 MICHAEL COLLINS PARK, CLONDALKIN, DUBLIN 22, D22 CD56.
STEPHEN AND EIMEAR SHIELDS FOR

SCALE 1 TO 50
DATE MAY 2022

DRG. NO 462 / PC / 02

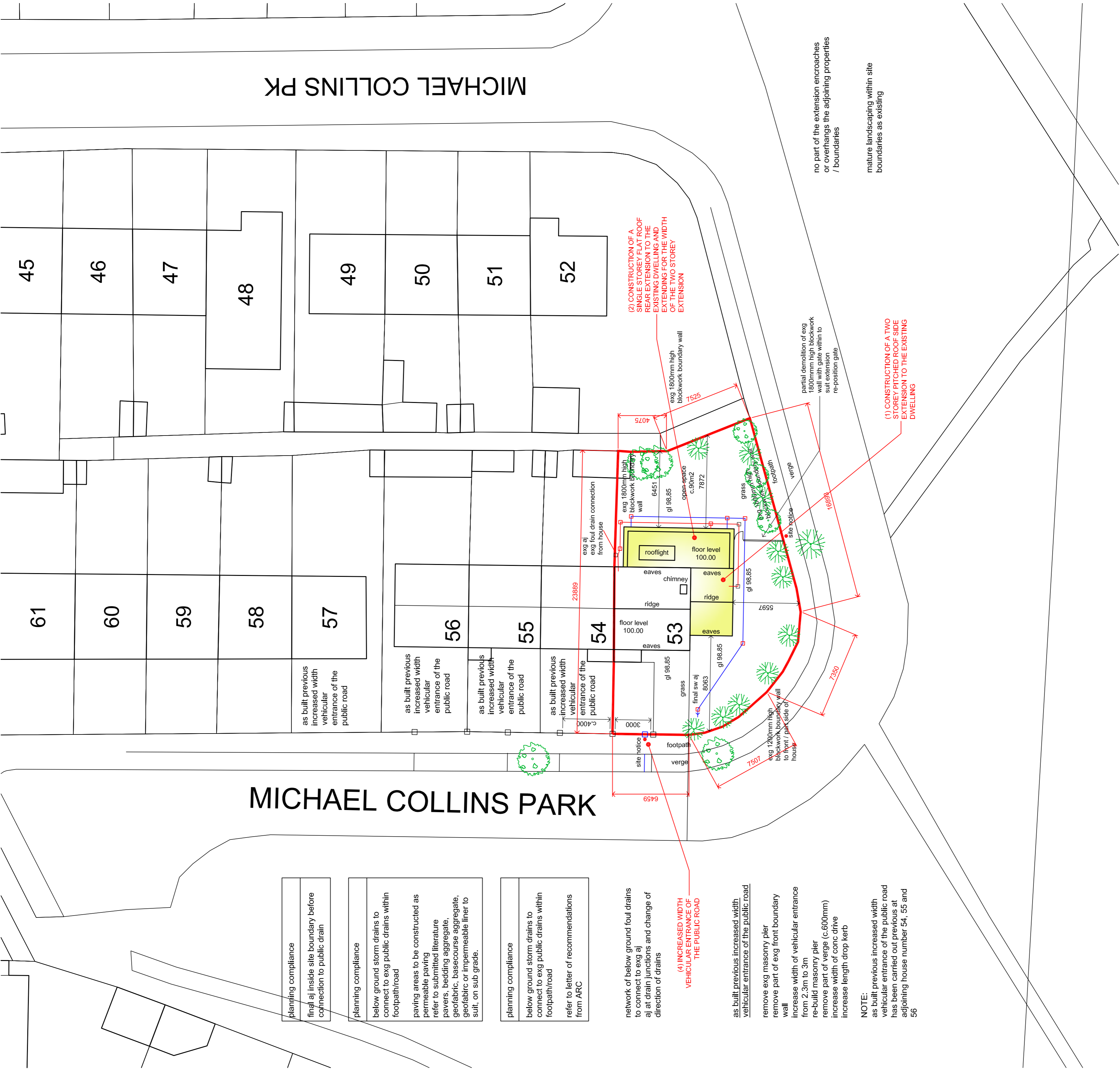
PLANNING COMPLIANCE DRAWING

PRAM

STEPHEN MASON
ARCHITECTURAL AND PLANNING SERVICES
2 CLONKERRY, CASTLERAHAN,
BALLYJAMESDUFF, CO. CAVAN
TEL - 087 746 4003

AS PROPOSED

SCALE: DRAWING TO SCALE AT A1 SIZE



planning compliance

final gully inside site boundary before connection to public drain

planning compliance

below ground storm drains to connect to exg public drains within footpath/road

paving areas to be constructed as permeable paving alternatives to existing concrete, asphalt, geotextile, basecourse aggregate, geotextile or impermeable liner to suit, on sub grade.

planning compliance

below ground storm drains to connect to exg public drains within footpath/road refer to letter of recommendations from ARC

network of below ground four drains to be installed along gully at drain junctions and change of direction of drains

(A) INCREASED WIDTH VEHICULAR ENTRANCE OF THE PUBLIC ROAD

as built previous increased width vehicular entrance of the public road remove exg masonry pier remove part of exg front boundary wall increase width of vehicular entrance from 2.3m to 3m re-build masonry pier remove part of verge (c.600mm) increase width of conc drive increase length drop kerb

NOTE:
as built previous increased width vehicular entrance of the public road has been carried out previously at adjoining house number 54, 55 and 56

SITE AREA FOR WHICH THIS PLANNING APPLICATION REFERS
AREA 383 M2

SITE PLAN
AS PROPOSED
(200 SCALE)
INDICATING ROOF PLAN(S)

ORDNANCE SURVEY PLAN REF
MAP SERIES: 1:1000
MAP SHEET: 3326-04, 3261-24
ITM CENTRE POINT CO-ORDINATE
X,Y = 706623, 731981

SITE AREA FOR WHICH THIS PLANNING APPLICATION REFERS
AREA 383 M2

SITE LOCATION PLAN
(1000 SCALE)

ORDNANCE SURVEY PLAN REF
MAP SERIES: 1:1000
MAP SHEET: 3326-04, 3261-24
ITM CENTRE POINT CO-ORDINATE
X,Y = 706623, 731981

DRAWING PREPARED FOR
PLANNING COMPLIANCE SUBMISSION

ORDNANCE SURVEY PLAN REF
MAP SERIES: 1:1000
MAP SHEET: 3326-04, 3261-24
ITM CENTRE POINT CO-ORDINATE
X,Y = 706623, 731981

SCALE 1 TO 200 + 1000
DATE MAY 2022

DRG NO
462 / PC / 04

STEPHEN MASON
ARCHITECT AND PLANNING SERVICES
2 CLONKERRY CASTLEHAYN
BALLYJAMESDUFF, CO CAVAN
TEL - 087 746 4003

SM
APS

PLANNING PERMISSION FOR (1) CONSTRUCTION OF A TWO STOREY PITCHED ROOF SIDE EXTENSION TO THE EXISTING DWELLING (2) CONSTRUCTION OF A SINGLE STOREY FLAT ROOF REAR EXTENSION TO THE EXISTING DWELLING AND EXTENDING FOR THE FLOOR LEVEL TO FACILITATE THE NEW EXTENSION (3) WORKS TO THE EXISTING HOUSE (A) INTERNAL ALTERATIONS AT GROUND AND FIRST FLOOR LEVEL TO FACILITATE THE NEW EXTENSION (B) ALTERATIONS TO EXISTING GROUND FLOOR WINDOW ON THE FRONT ELEVATION (C) INCREASED WIDTH VEHICULAR ENTRANCE OF THE PUBLIC ROAD AND (D) ALL NECESSARY ANCILLARY SITE DEVELOPMENT WORKS TO FACILITATE THIS DEVELOPMENT

53 MICHAEL COLLINS PARK, CLONDALKIN, DUBLIN 22, D22 CD56.
FOR
STEPHEN AND EIMEAR SHIELDS

THIS DRAWING WAS PREVIOUS PLANNING DRAWING 462 / 04
REVISED FOR PLANNING COMPLIANCE SUBMISSION

SCALE: DRAWING TO SCALE AT A1 SIZE

Irish Water Web Map



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Print Date: 28/02/2023
Printed by: Irish Water

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NOTE: DIAL BEFORE YOU DIG Phone: 1850 427 747 or e-mail dig@gasnetworks.ie. The actual position of the gas electricity distribution and transmission network must be verified on site before any mechanical excavating takes place. If any mechanical excavation is proposed, hard copy maps must be requested from GNI re gas. All work in the vicinity of gas distribution and transmission network must be completed in accordance with the current edition of the Health & Safety Authority publication, 'Code of Practice For Avoiding Danger From Underground Services' which is available from the Health and Safety Authority (1890 28 93 89) or can be downloaded free of charge at www.hsa.ie.

Water Distribution Networks Water Treatment Plant Water Pump Station Storage Call/Tower Dosing Point Meter Station Abstraction Point Telemetry Kiosk Reservoir Potable Raw Water Water Distribution Mains Private Irish Water Trunk Water Mains Irish Water Water Lateral Lines Irish Water Non IW Water Castings Water Abandoned Lines Boundary Meter Bulk/Check Meter Group Scheme Source Meter Waste Meter Unknown Meter ; Other Meter Non-Return PRV PSV Slice Valve Open/Closed Butterfly Valve Open/Closed Slice Boundary Valve Open/Closed Butterfly Boundary Valve Open/Closed Scour Valves Single Air Control Valve Double Air Control Valve Water Stop Valves Water Service Connections Water Distribution Chambers Water Network Junctions Pressure Monitoring Point Fire Hydrant Fire Hydrant/Washout Water Fittings Cap Reducer Tap Other Fittings	Sewer/Foul Combined Networks Waste Water Treatment Plant Waste Water Pump Station Sewer Mains Irish Water Gravity - Combined Gravity - Foul Gravity - Unknown Pumping - Combined Pumping - Foul Pumping - Unknown Siphon - Combined Siphon - Foul Overflow Sewer Mains Private Gravity - Combined Gravity - Foul Gravity - Unknown Pumping - Combined Pumping - Foul Pumping - Unknown Siphon - Combined Siphon - Foul Overflow Sewer Lateral Lines Sewer Castings Sewer Manholes Standard Backdrop Cascade Calcipit Bifurcation Hatchbox Lamphole Hydrobrake Other: Unknown Storm Culverts Storm Clean Outs Stormwater Chambers Discharge Type Outfall Overflow Soakaway Other: Unknown Gas Networks Ireland Transmission High Pressure Gasline Distribution Medium Pressure Gasline Distribution Low Pressure Gasline ESB Networks ESB HV Lines HV Underground HV Overhead HV Abandoned ESB MVLV Lines MV Overhead Three Phase MV Overhead Single Phase LV Overhead Three Phase LV Overhead Single Phase MVLV Underground Abandoned Non Service Cables Under Construction Out of Service Decommissioned Water Non Service Assets Water Point Feature Water Pipe Water Structure Waste Point Feature Waste Structure Waste Non Service Assets Waste Point Feature Waste Structure Waste Non Service Assets	Storm Water Networks Surface Water Mains Surface Gravity Mains Surface Gravity Mains Private Surface Water Pressurised Mains Surface Water Pressurised Mains Private Inlet Type Gully Standard Other: Unknown Storm Manholes Standard Backdrop Cascade Calcipit Bifurcation Hatchbox Lamphole Hydrobrake Other: Unknown Storm Culverts Storm Clean Outs Stormwater Chambers Discharge Type Outfall Overflow Soakaway Other: Unknown Gas Networks Ireland Transmission High Pressure Gasline Distribution Medium Pressure Gasline Distribution Low Pressure Gasline ESB Networks ESB HV Lines HV Underground HV Overhead HV Abandoned ESB MVLV Lines MV Overhead Three Phase MV Overhead Single Phase LV Overhead Three Phase LV Overhead Single Phase MVLV Underground Abandoned Non Service Cables Under Construction Out of Service Decommissioned Water Non Service Assets Water Point Feature Water Pipe Water Structure Waste Point Feature Waste Structure Waste Non Service Assets Waste Point Feature Waste Structure Waste Non Service Assets
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ARC DESIGN SERVICES
PLANNING CONSULTANTS - SITE SUITABILITY ASSESSORS
Mountain Pole, Kells, Co. Meath.
Mob: 087-9520269
E-mail: arcdesignservices@gmail.com

RE: Condition of Planning Item 4(d) on Planning File SD22B/0278

To whom it may concern;

The architect for the applicants, Stephen & Eimear Shields asked me to carry out a soakaway assessment on their property namely, 53 Michael Collins Park, Dublin 22, following a Condition of Planning Item 4(d) on Planning File SD22B/0278

I received a site layout plan from the applicants architect and having carried out drainage tests in this area before, drainage is normally poor. It also appears that there is no location on the site that a soakaway can be positioned so that it meets the criteria of the set out in the conditions of planning, namely the following;

- (i) at least 5m from any buildings, public sewers or structures and not in such a position that the ground below foundations is likely to be adversely affected.
- (ii) at least 5m from the nearest road boundary and not within 3m of the boundary of the adjoining site.
- (iii) a minimum of 10m from any sewage treatment percolation area.
- (iv) at least 10m from any stream / river / flood plain.

Therefore, it is proposed that the surface water from the extensions be discharged into the current public surface water system.

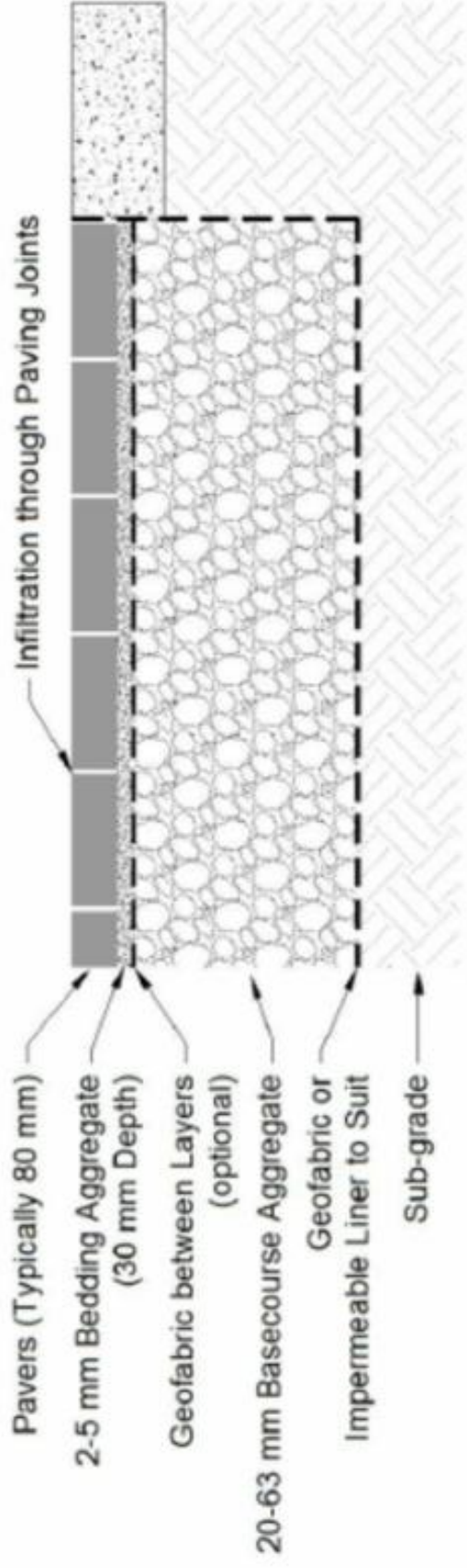
It is also proposed that all driveways, patios, etc. be constructed using gravel or permeable paving so as to lessen the amount of water discharged into the public system. In addition water butts are to be placed on the downpipes to the front and rear of the proposed extension to minimise the amount of surface water entering the public surface water system.

Please do not hesitate to contact me or the client with regards to the above.

Regards,

Oliver Farrelly
Arc Design Services





Typical Permeable Pavement Structure.