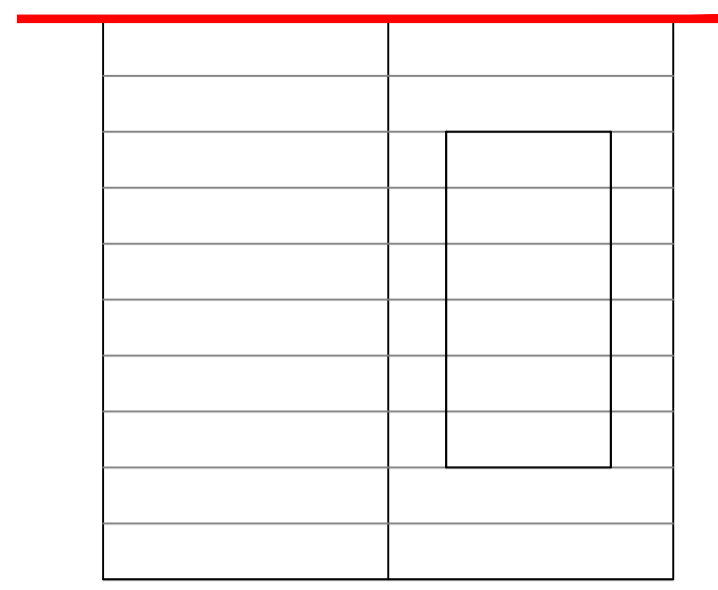
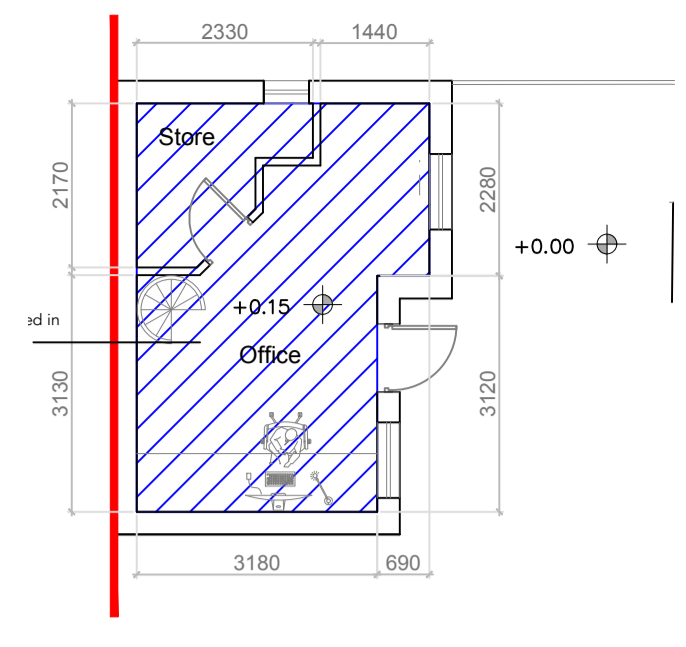


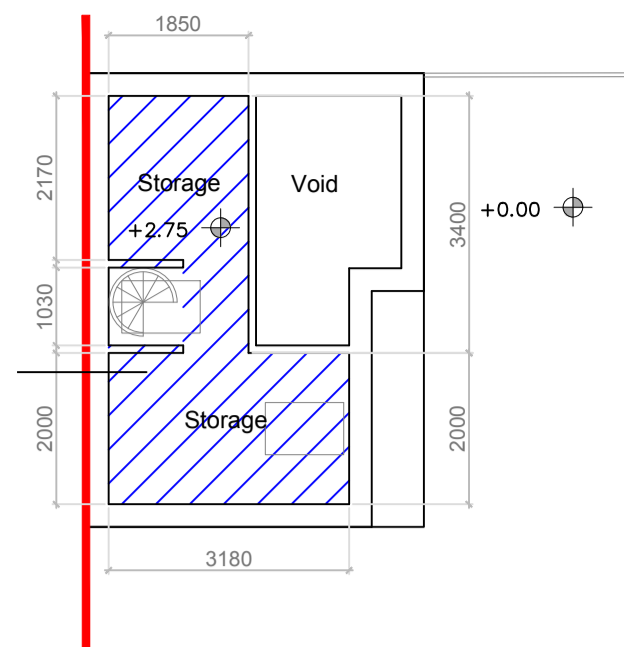
Existing Garage Floor Plan
Area: 53sqm
Scale: 1:100



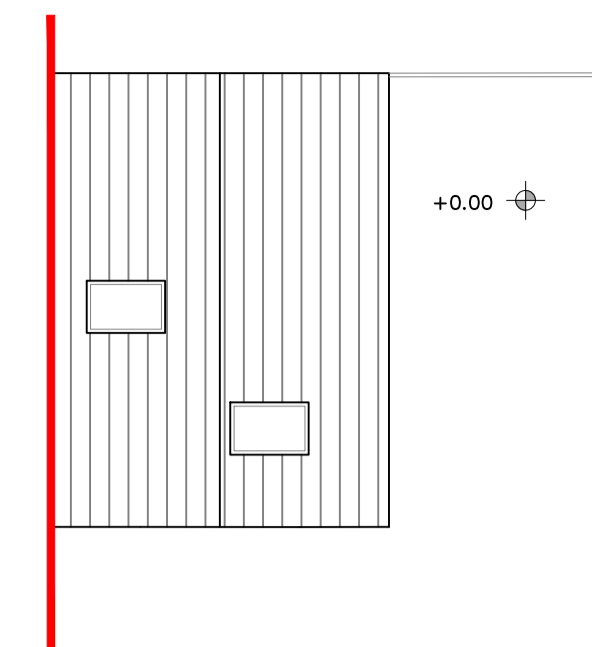
Existing Garage Roof Plan
Scale: 1:100



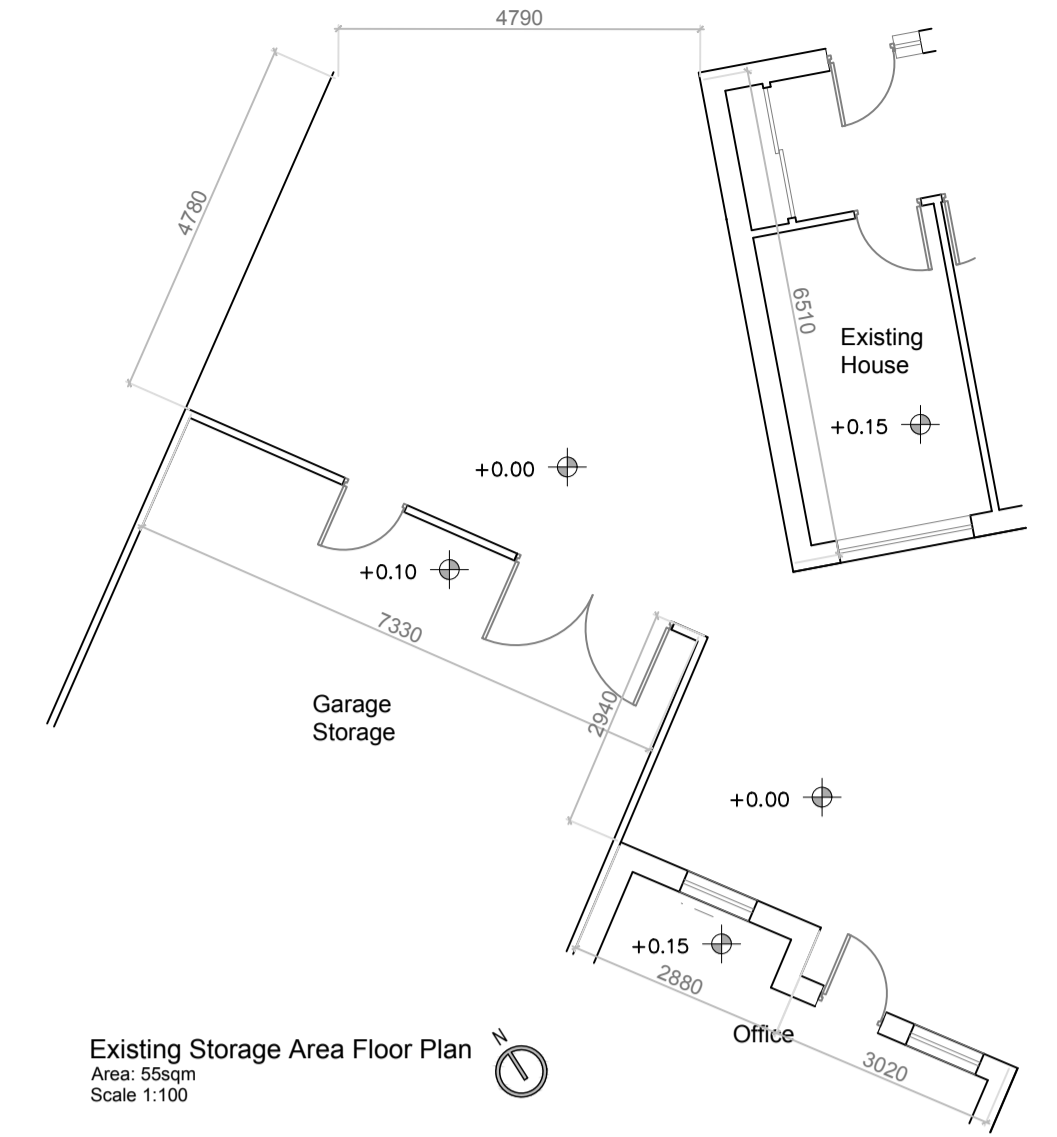
Existing Ground Floor Office
Area: 19sqm
Scale: 1:100



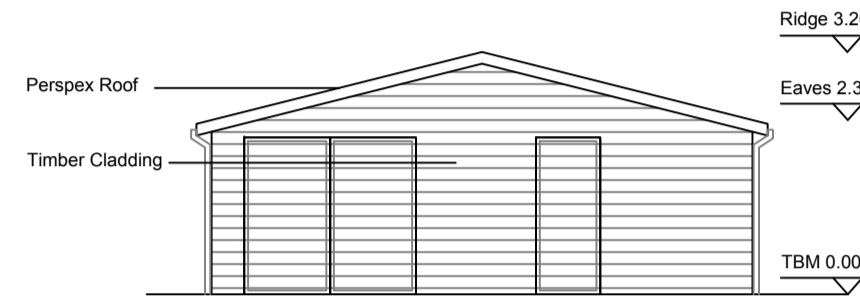
Existing Mezzanine Floor Plan Office
Area: 11sqm
Scale: 1:100



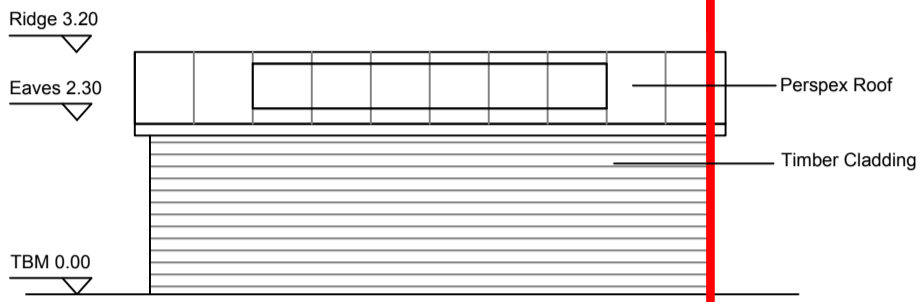
Existing Roof Plan Office
Scale: 1:100



Existing Storage Area Floor Plan
Area: 55sqm
Scale: 1:100



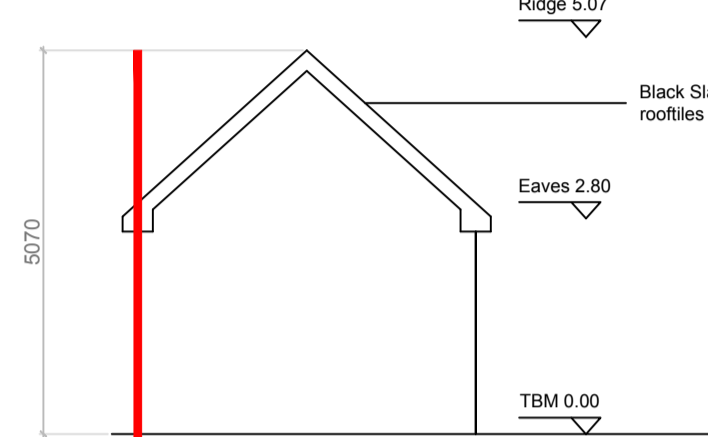
Existing Garage Front Elevation
Scale: 1:100



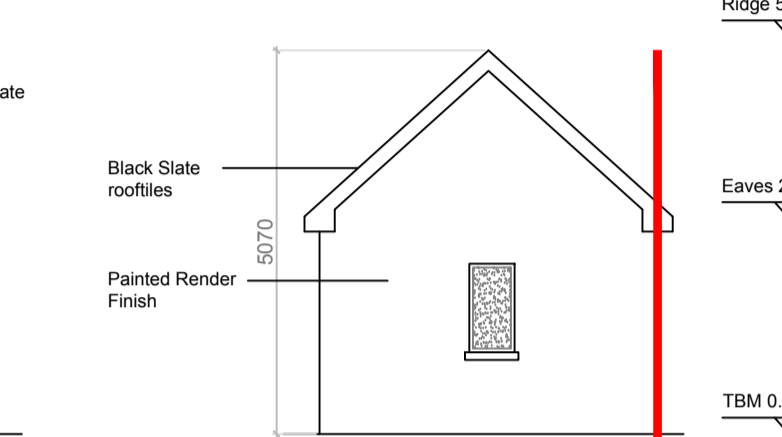
Existing Garage Side Elevation
Scale: 1:100



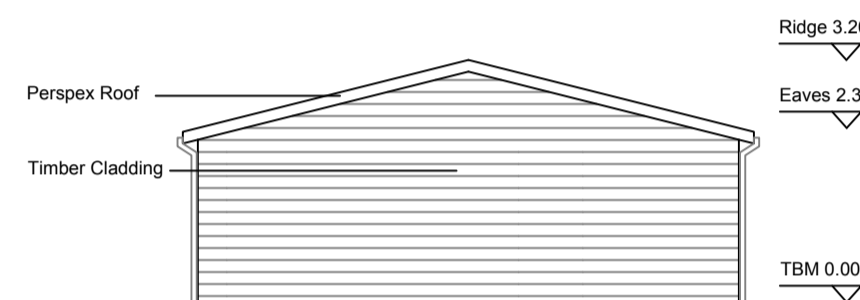
Existing Office Front Elevation
Scale: 1:100



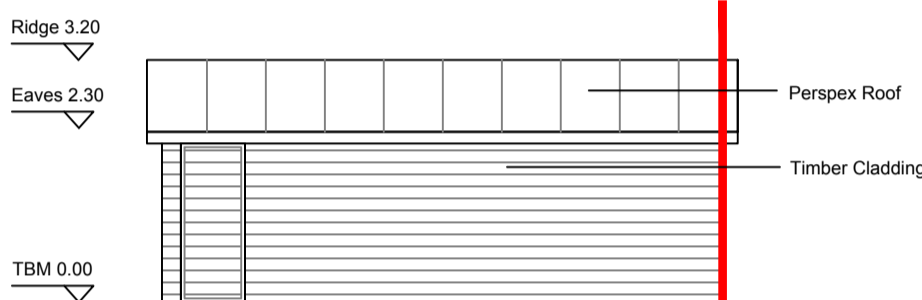
Existing Office Side Elevation
Scale: 1:100



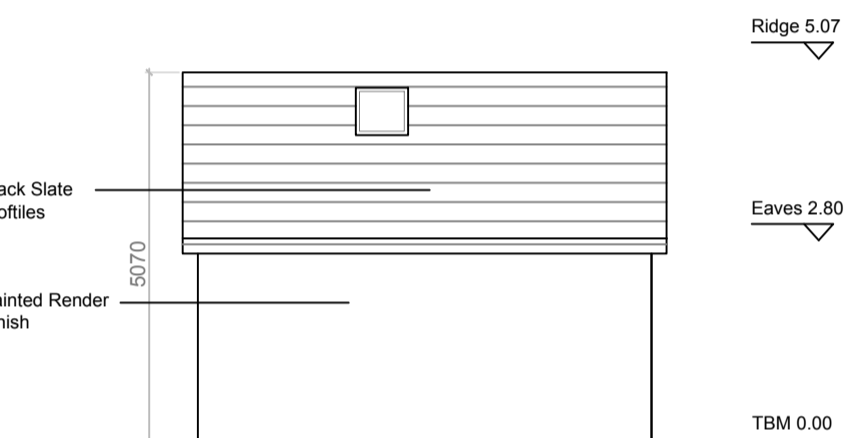
Existing Office Rear Elevation
Scale: 1:100



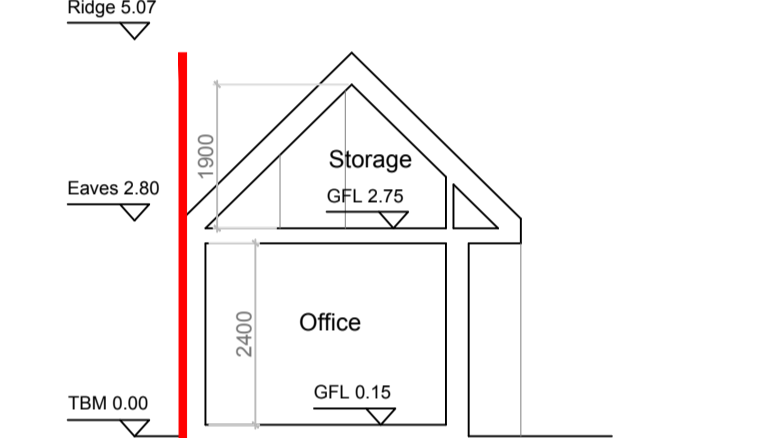
Existing Garage Rear Elevation
Scale: 1:100



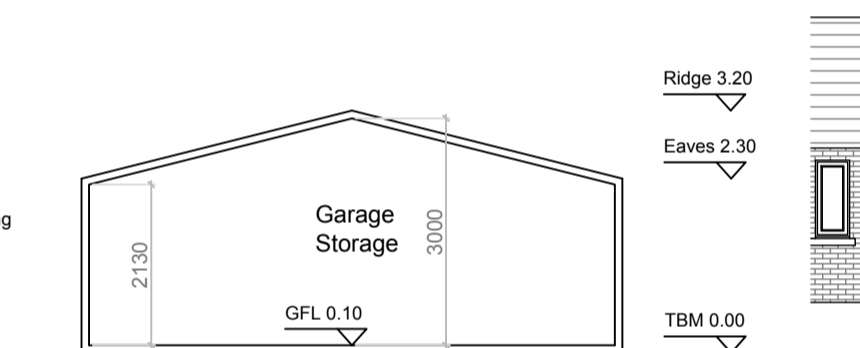
Existing Garage Side Elevation
Scale: 1:100



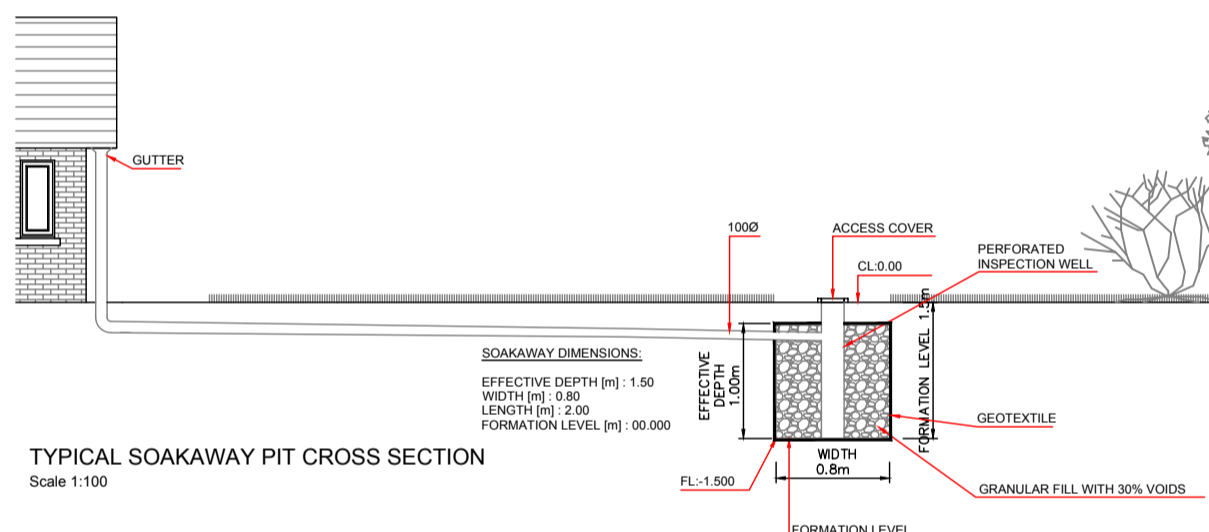
Existing Office Front Elevation
Scale: 1:100



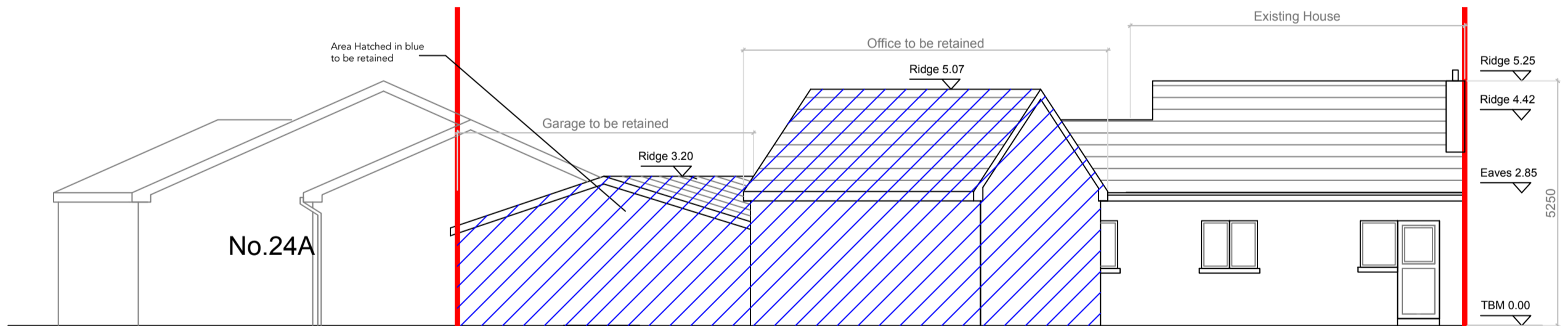
Existing Office Section A
Scale: 1:100



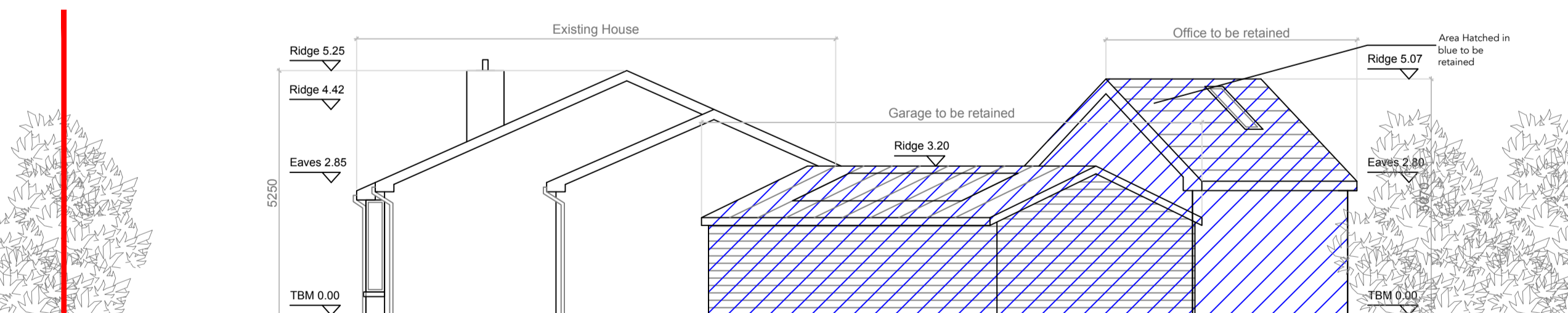
Existing Garage Front Elevation
Scale: 1:100



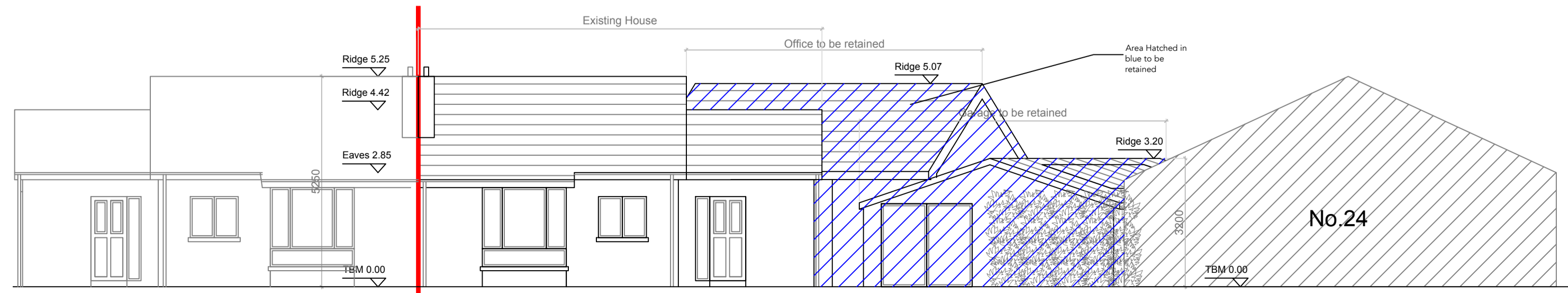
TYPICAL SOAKAWAY PIT CROSS SECTION
Scale: 1:100



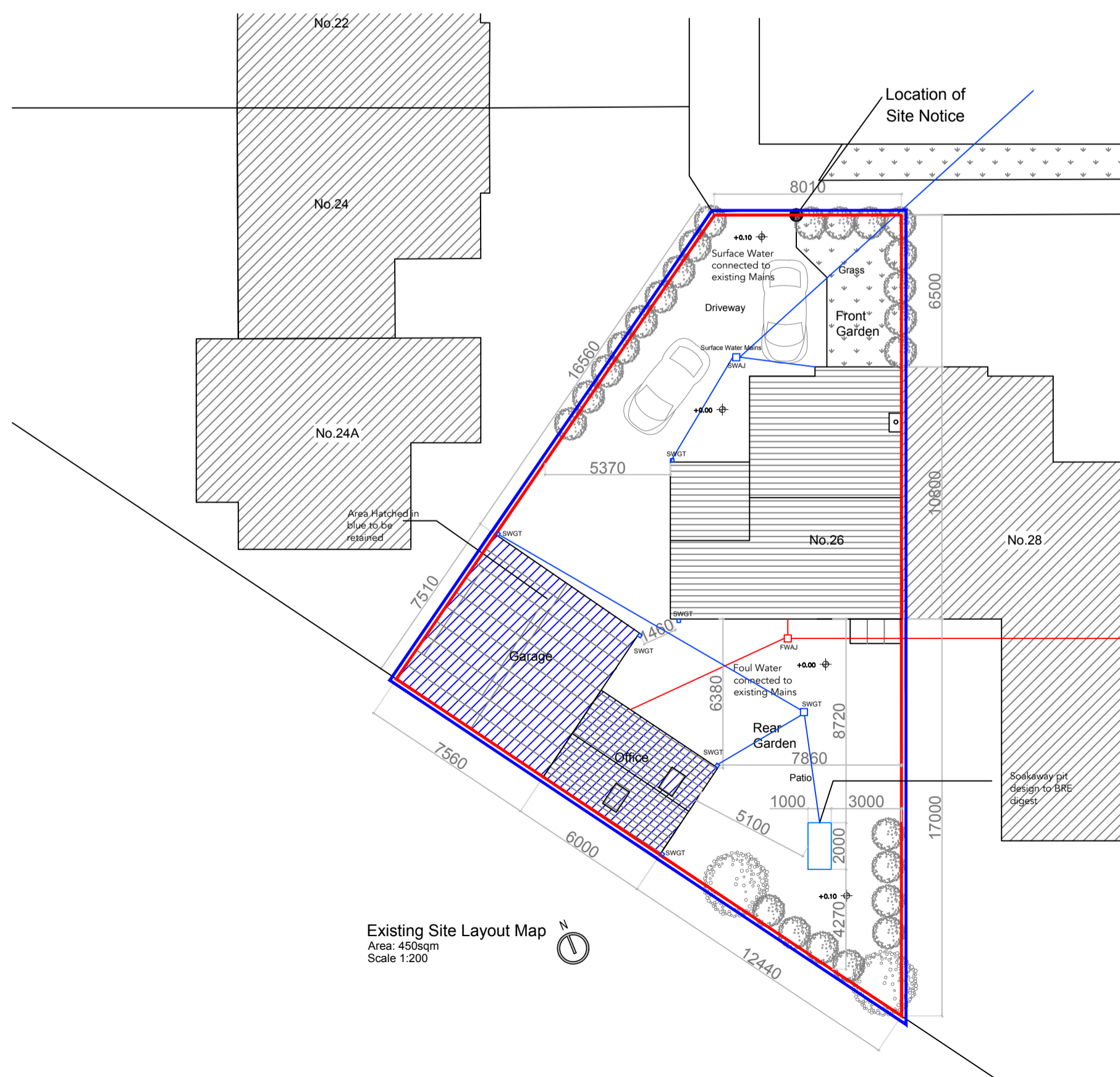
Existing Contextual Rear Elevation
Scale: 1:100



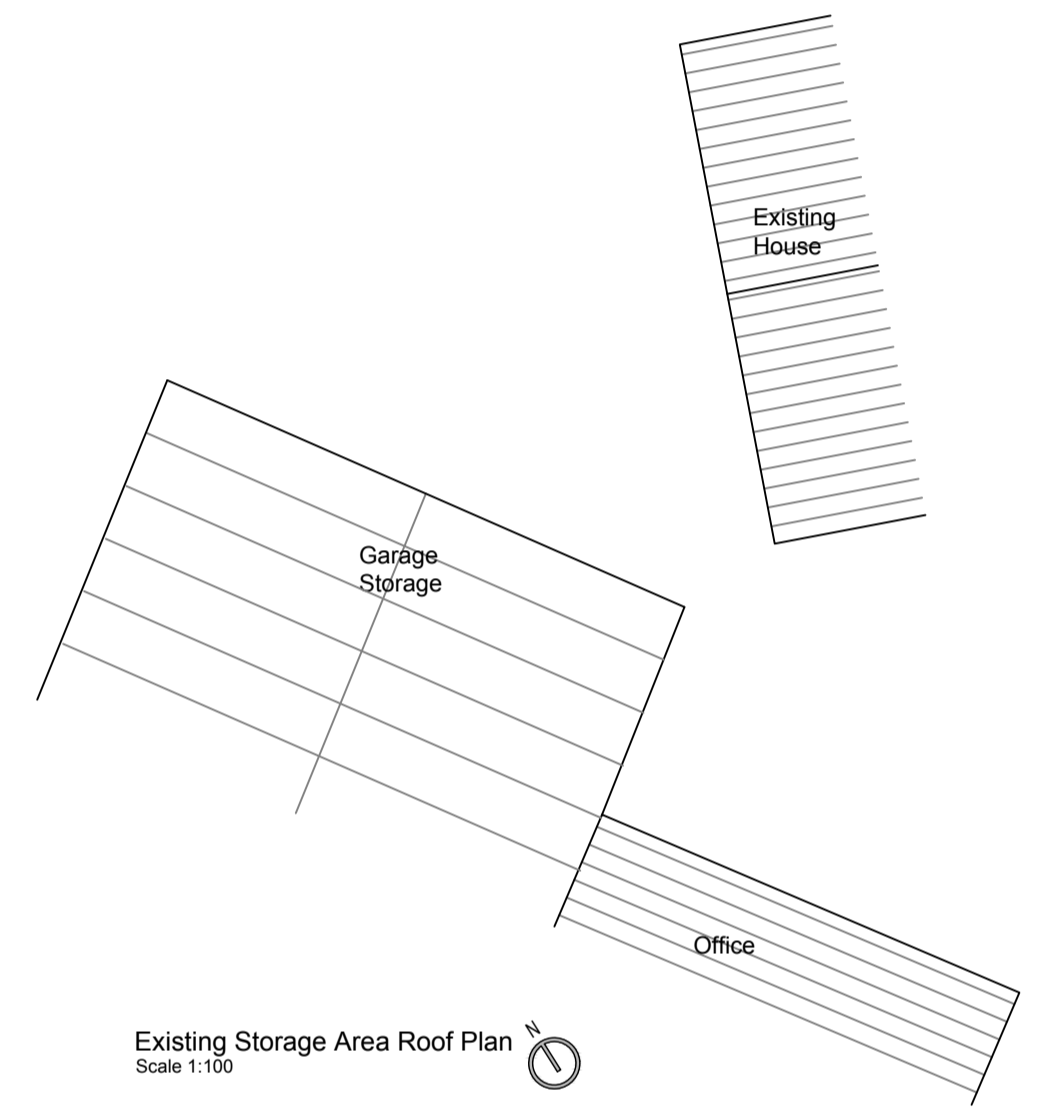
Existing Contextual Side Elevation
Scale: 1:100



Existing Contextual Front Elevation
Scale: 1:100



Existing Site Layout Map
Area: 450sqm
Scale: 1:200



Existing Storage Area Roof Plan
Scale: 1:100

LEGEND:

1. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE RELEVANT SECTIONS OF THE BUILDING SPECIFICATION REPORT.
2. FIGURED DIMENSIONS ONLY TO BE TAKEN FROM THIS DRAWING. DO NOT SCALE FROM THIS DRAWING.
3. ALL DRAWINGS TO BE CHECKED BY A CONTRACTOR ON SITE.
4. ARCHITECT OR ENGINEER TO BE ADVISED OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF ANY WORKS.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL ASPECTS OF THE CURRENT BUILDING REGULATIONS ALONG WITH ALL CONDITIONS IMPOSED BY THE LOCAL AUTHORITIES

CLIENT			
MALGORZATA SOBOTA			
ADDRESS			
26 GRANGE VIEW LAWN, D 22			
PROJECT			
GRANNYFLAT AND GARAGE			
JOB NUMBER:		2366	
DATE:		20/02/23	
SCALE:		1:100/200@ A1	
DRAWN:		ADUNNE	
CHECKED:		JENGLISH	
FILE NAME Malgorzata Sobota compliance drawings			
STAGE			
RETENTION PLANNING			
DRAWING			
EXISTING GARAGE, CANOPY & OFFICE PLANS, ELEVATIONS, SITE LAYOUT MAP & SECTION A-A			
DRAWING NUMBER	STAGE	DRAWING	REVISION
2366	PLA	P	02
JEA		Park House, Ballisk Court, Donabate, Co. Dublin, P. 01-8958551 E. info@jearchitecture.ie Architecture www.jearchitecture.ie	