



Additional Information

SD22A/0372

15th February 2023

Urban Design Analysis Report

For Development at

Saint Claires Villa, Lucan Road,

Lucan, Co. Dublin.

K78 X0N1

For

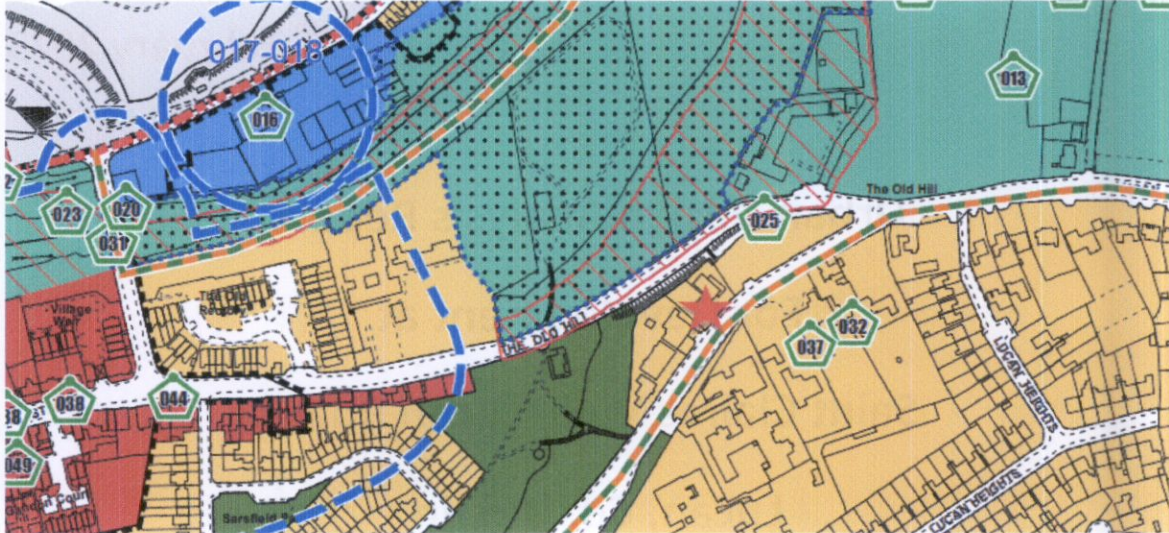
John Shenton & Margaret Hanlon



- Project Feasibility
- Planning Applications
- Full Design Service
- Fire Safety Certificates
- Site Supervision
- Opinions of Compliance
- Property Surveys

ZONING & DEVELOPMENT PLAN POLICY

We note that the site is located within an area zoned Existing Residential with RES zoning – *To protect and/or improve residential amenity.*



Health Centre is a use that is open for consideration under this zoning class.

11.3.13 HEALTHCARE FACILITIES *Large medical centres and group practices will be favorably considered in town, district, village and local centers. Small scale medical surgeries/practices (doctor/dentist/physiotherapist, etc) are open for consideration in established areas, subject to appropriate safeguards to protect the residential amenity of the area.*

COMMUNITY INFRASTRUCTURE (C) Policy 11 Healthcare Facilities

Policy C11b *It is the policy of the Council to support and encourage the integration of healthcare facilities within new and existing communities that are appropriate to the size and scale of each settlement.*

C11 Objective 4: *To direct healthcare facilities into town, village, district and local centres and to locations that are accessible by public transport, walking and cycling, in the first instance.*

This site has unique location on the Lucan Road, it is noted that the area is not predominantly residential – there is a funeral home to the north and schools to the east and only the land immediately south is residential. Therefore as per the extracts above from the CDP, the principle of the proposed physiotherapy clinic would be meet the requirements of the SDCC County Development Plan at this location as it will not have any adverse affect on the residential amenity of the area but will in fact add to the amenities available in the area. Furthermore we note that the site is located in Lucan Village, an area which is well serviced by public transport, has ample pedestrian and cycling routes to the adjoining residential areas and we have included in our documentation, drawing P-02, a “Public Transport and Parking Location Map” highlighting the location of public transport and the frequency of service, plus the location of car parking that is currently available to the general public within 300m of the site.

We note that the proposal will result in the loss of the existing dwelling on the site, so it is proposed to include a new own door one bedroom apartment at second floor level of the new building. This apartment has been designed to meet all the requirements of SDCC's CDP and the Sustainable Urban Housing: Design Standards for New Apartments (2020). See areas comparison sheet for further information.

CONTEXT

The subject site is well served by public transport links as outlined in on GAP Architects Drawing P-02 "Public Transport and Parking Location Map" there are numerous bus services which run past the site and the site has easy access to the wider city and region via these bus services and the new bus interconnection located at the nearby Liffey Valley Shopping Centre.

Furthermore the proposed development has only a modest increase in height and scale and as shown on the accompanying design drawings the development sits effortlessly into the streetscape.

The proposed design has been sympathetic to the adjoining properties and the existing streetscape, as can be seen on the contextual elevations, 3D visualizations and the Photomontage originally submitted in the application, the height and scale of the proposed new building will be in keeping with the existing buildings in the vicinity. The heights of the apartments to the south and the school opposite are all of a similar height to that of the proposed building, as can be seen on the contextual elevations (extracts below).



Figure 1. Elevation to Lucan Road

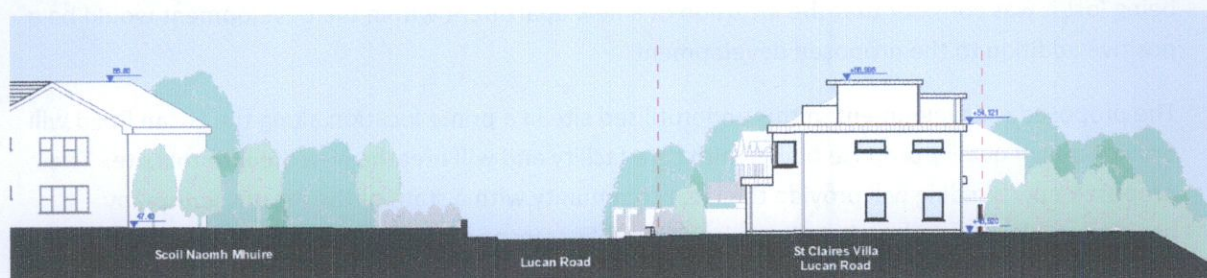


Figure 2. Sectional-elevation Across Lucan Road

The two storey element of the building which forms the main portion of the street elevation has been kept to a similar height to that of the funeral home to the north of the site, with the second floor apartment set back c.4m from the main two storey front facade, thus reducing the visual impact of the third storey from street level and ensuring that the proposed building fits into the existing streetscape seamlessly. The height of the third storey has been kept in line with that of the

apartments to the south and Scoil Naomh Mhuire on the opposite side of the street. A single storey projection to the front elevation further helps to reduce the overall scale of the building by allowing for further breaking up of the front elevation onto Lucan Road.

The use of the stepped building facade and the set back of the apartment unit at the second floor have ensured a sensitive urban infill development has been achieved which is in keeping with the scale of the surrounding buildings. We are of the opinion that the proposed development as designed offers an appropriate and proportionate intensification of the use for the site and this is in keeping with its setting and surroundings. Figure 3 below shows how the building will sit into the existing streetscape.



Figure 3. Photomontage from Lucan Road

SETTING

The proposed premises will create a new purpose built Physiotherapy Practice in an existing urban area to serve the general public. To facilitate the proposed development it has been deemed necessary to demolish the existing house which is on the site, as an existing residential property is being lost it was considered that the inclusion of a new apartment within the development would be a positive addition to the proposed development.

The proposed redevelopment of this underutilised site in a prime location along the Lucan Road will provide a high quality purpose built health care facility and will breathe new life into this site. The proposed new building will provide the local community with a state of the art physiotherapy practice at a location which is well serviced by public transport and is within easy walking and cycling distance of the numerous housing developments in the area.

CONNECTIONS

As noted above, this proposal is to develop an underutilised site in a prime location along the Lucan Road. The new development will be an infill scheme and as such great care has been taken in ensuring that the proposed building takes its reference from the existing building lines of the adjoining properties and reference to the height and scale of the other building along the

streetscape are reflected in the proposed design. Figures 1 & 2 above highlight how the proposed development references the height of existing buildings in the area and the plan in Figure 4 below shows how the existing building lines have been referenced.

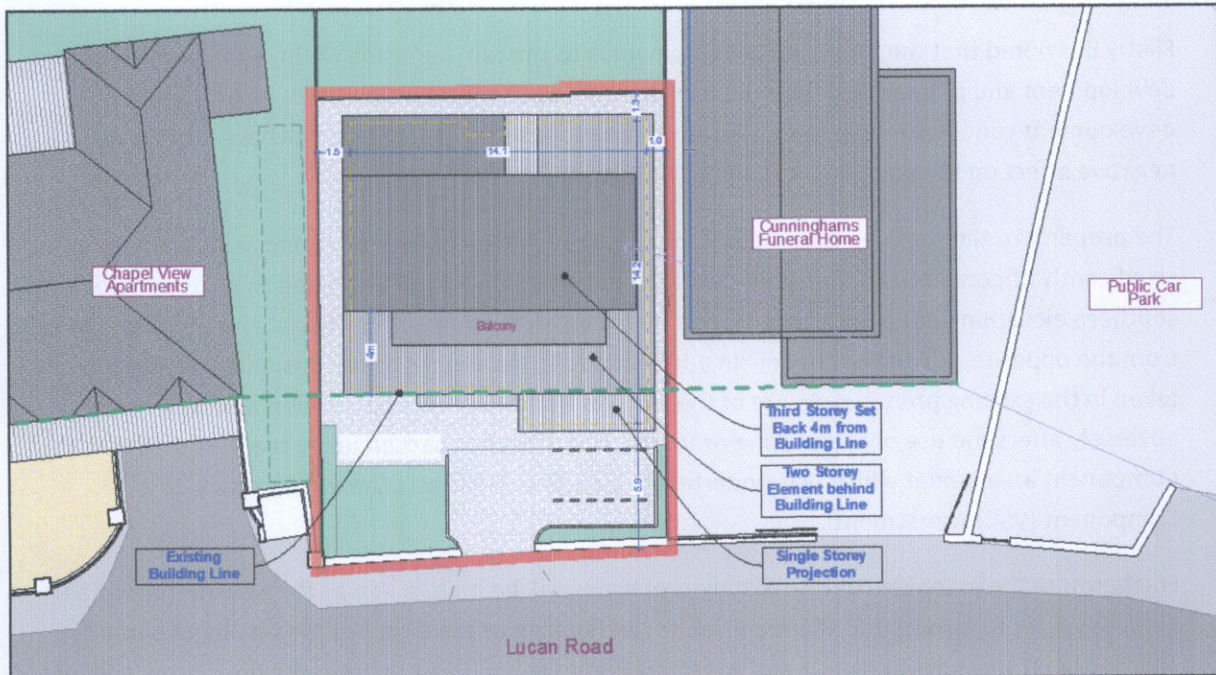


Figure 4.

INCLUSIVITY / VARIETY / EFFICIENCY / DISTINCTIVENESS

The proposed development while small in scale continues to provide a people-friendly street / space for the users of the new premises and the general public who will pass the new development on the public street.

The increase in the height of the development has allowed for the inclusion of the new apartment to the second floor to be incorporated into the development. This apartment will replace the existing residential unit which is to be demolished. As noted above the increase in height and scale of the building on site has been sensitively completed using breaks to the facade and set back in the elevations to break the mass of the building and keep the scale relevant to the existing streetscape and the adjoining buildings.

We are of the opinion that the proposed new development is making optimal use of this underutilised site and the design of the new infill scheme will sit seamlessly into the existing area. The new building will provide additional visual interest along the existing streetscape thus providing a positive visual setting to the area.

ADAPTABILITY

As the proposed development is a mixed use of a Physiotherapy Practice and an apartment over, the building design would accommodate future change should this ever be required subject to the necessary planning permission.

PRIVACY AND AMENITY

The proposed development has addressed the potential impact on the adjoining properties. We have undertaken analysis of how the proposed development will affect the privacy and the amenities of the adjoining properties.

Firstly it is noted that the proposed development is to the northern side of the adjoining apartment development and this coupled with the fact that the northern elevation of the apartment development contains no windows, therefore the proposed development will have little or no negative effect on the adjoining apartment development.

The property to the north eastern side of the site, Cunningham's Funeral Home, will also not be significantly affected by the proposed development as there are minimal windows present along its southern elevation and these are located at high level within one of the chapel areas, which is also lit from the opposite side of the chapel. In addition due to the nature of the business that is undertaken in the existing premises we are of the opinion that the proposed development will not adversely affect the use of the existing property. This is further backed up by the Vertical Sky Component assessment which was undertaken. (See GAP Architects Drawing (Vertical Sky Component (VSC) Assessment).

Furthermore the amenities of the existing properties will be maintained as the new premises has been designed to ensure that there will be no overlooking of the either of the adjoining properties. This has been achieved by the careful consideration to room layouts within the floor plans and by the use of high level windows and obscure glazing where necessary, thus ensuring that no overlooking of the either of the adjoining properties will occur.

It is noted that the a shadow assessment was undertaken as part of the original submission and as can be seen on GAP Architects Drawing P-16 (Existing & Proposed Shadow Assessment) there will be no significant negative impact on either of the adjoining properties due to the proposed development.

PARKING

Due to the location of the site in the Lucan Village area it is now proposed to only provide a single car parking space on site. This is due to the restricted nature of the access to the site and the fact that there is ample car parking in the immediate vicinity. (See GAP Architects Drawing P-02 "Public Transport and Parking Location Map")

This adjustment to the originally proposed car parking layout allows for a more people friendly access to the site and the transition from the street to the proposed building including the retention of c.80% of the original stone wall to the front of the site.