



OUR REF: gbd-21022

Ms. George Boyle, BSc (ArchSc), MArch(Hon), MRIAI, RIBA, ARB, FIDI, ARIAM

GEORGEBOYLEDESIGNS,

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FAO: Executive Planning Officer

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County Hall, Belgard Square North,

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BY HAND

Tel: (01) 4149000

Email: planning.dept@sdublincoco.ie

Date this letter: 09th January 2023

Planning Ref: SD22A/0320/Order: 1207

Pre-planning: 23rd May 2022

Registration: 02nd August 2022

cc.. Eoin & Nora Hickey, Client

RE: FURTHER INFORMATION REQUEST ON PLANNING APPLICATION NO. SD22A/0320

on behalf of

Eoin and Nora Hickey

at

"Rathinree", Esker Lane, Lucan, Co. Dublin K78 X2C4

The development will consist of:

- 2 storey, 3 bed Ancillary Dwelling Unit (ADU) with mezzanine loft, solar panels, porch, veranda deck, terrace and associated site works, utilities, landscaping, facilities and services, on site of and adjacent to existing single-storey family bungalow (retained). The ADU will share existing entrance gateway and is accessed via a private new avenue to private courtyard with parking for two cars.

A Chara Uasail,

On behalf of applicants Eoin & Nora Hickey we set out herein modifications/ clarifications in response to conditions of SDCC Decision Order no. 1207 of 28th September 2022, seeking further information with regard to planning application no. SD22A/0320, for a two-storey ancillary dwelling in the verdant gardens of the Hickey family home on Esker Lane, Lucan. Alterations reflect steps agreed in principle prior to making this submission in conversation with Conor Doyle, Assistant Planner at SDCC (see appendix for record of this conversation). We enclose six copies of drawings, documents and reports to assist the planning office in making their decision.



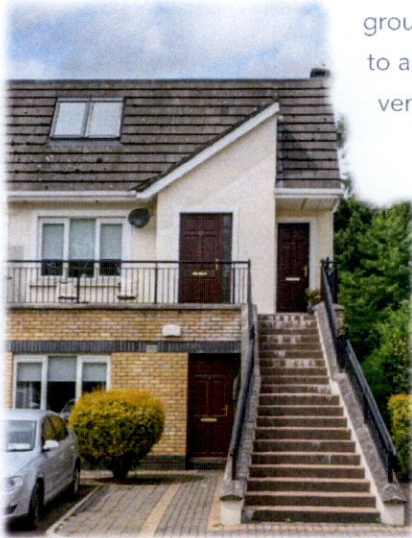
1. The Applicant is requested to increase the setback distance from the adjacent western boundary, providing appropriate separation distances to adjacent properties (having regard to concern about overbearing effects) and the existing dwelling on the subject site. The Applicant is requested to provide a complete set of revised site layout, floor plan, sectional, elevational and contiguous elevational drawings demonstrating the revised location and design of the proposed dwelling.

Condition no. 1: Setback Distances:

This condition requires the applicant to increase the setback distance to West, with regard for overbearing effects. The response in this regard is two-fold: in terms of clarifications, and of modifications:

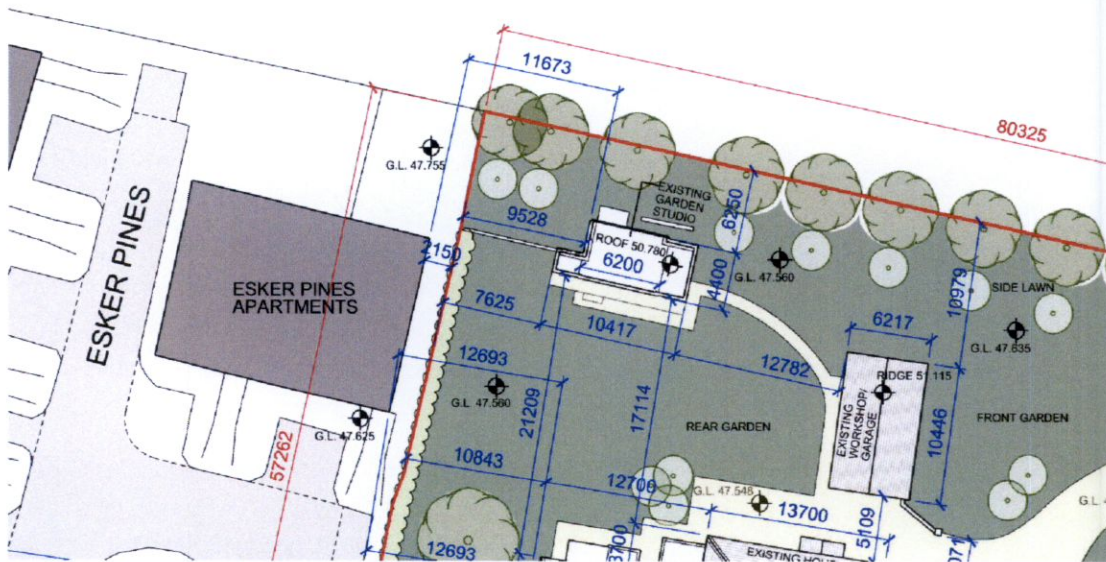
1A: Clarifications: The adjacent property 26 & 27 Esker Pines, is in ownership of the applicant.

- The unit is part of a mixed-residential development, duplex-over-ground level apartments distributed over three storey blocks that come to an abrupt gable end 2.15m off the applicant's boundary wall. The very close proximity is slightly mitigated by hedgerow on Esker Pines side (see left), and additional hedgerow on the applicant's site.



No. 26 & 27 Esker Pines: photograph (above left) and extract from 2001 planning site plan (above)

- The original planning application SD22A/0320 showed the distance from Esker Pines' gable to boundary as 1.7m. It is now recorded more precisely. With the complication of stairs to the upper unit (see left) the block edge on the OSI map does not reflect reality accurately (i.e. map shows edge of stair not edge of gable). The distance is corrected on the F.I. site plan, increasing setback distance to 2.15m (see plan below). The stairs is a further 1.2m in width, so landing gable is a full 3.35m away from the wall.



Further Information Revised Site Plan (Existing)



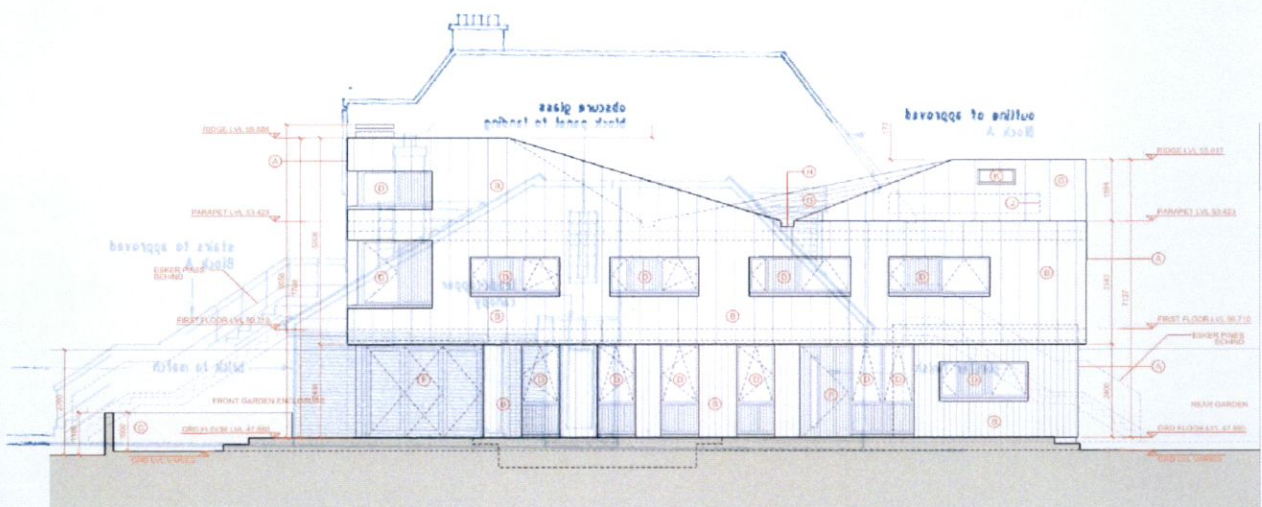


- Note 26/27 Esker Pines presents a formidable and unattractive blank block of completely different scale to the applicant's site. While this is a blank gable wall and therefore does not overlook the applicant's property, it currently has a massively overbearing impact on the sylvan nature of the decorative and kitchen gardens as seen in the below image. The approximate roofline of the proposed dwelling is dotted in yellow below.



26 & 27 Esker Pines: massive 3-storey brutal concrete blank gable looming over applicant's site

- The new dwelling transitions this architectural anomaly deftly between brutalist cement gable blank façade of 2001's very urban design, mediating scale to abundantly sprawling single-storey 19th C rural cottage and grounds. The delicate, refined contemporary roofs glide from a level no higher than Esker Pines' landing rail, down to a long eaves not much higher than the timber studio, itself on par with eaves of the old Victorian residence.
- This is a consciously applied, sophisticated design device making a composite tapestry of massing that softens considerably the negative impacts of the earlier apartment scheme.
- Note that to mitigate negative volumetric impacts, 26/27 Esker Pines is owned by the applicants, who purchased these units to control these effects on their home.
- the new residence has no transparent windows on the boundary elevation so does not overlook Esker Pines. There is no overlooking and no overbearing effect.



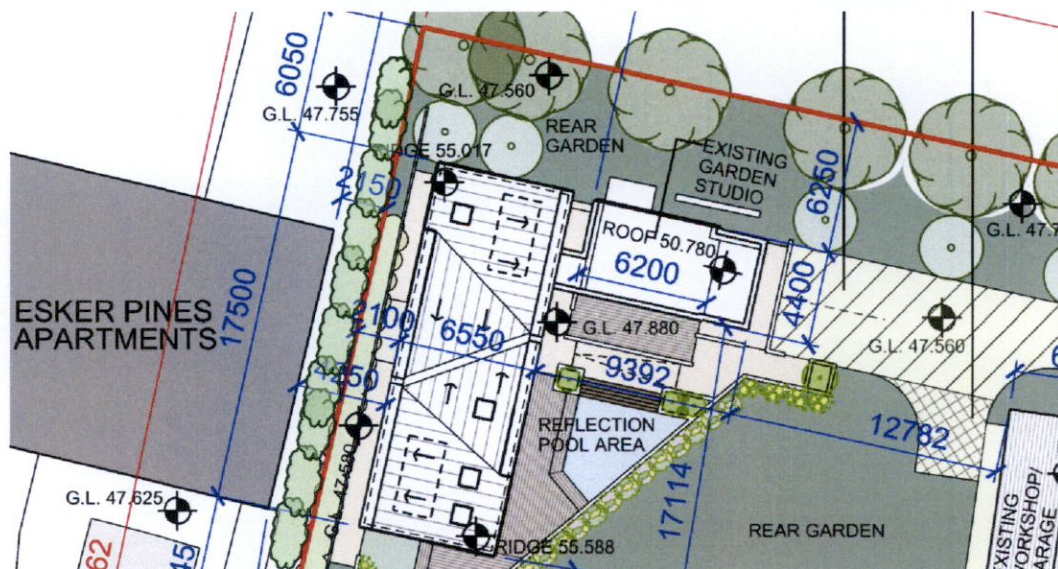
New development overlaid on outline of Esker Pines Gable behind in blue



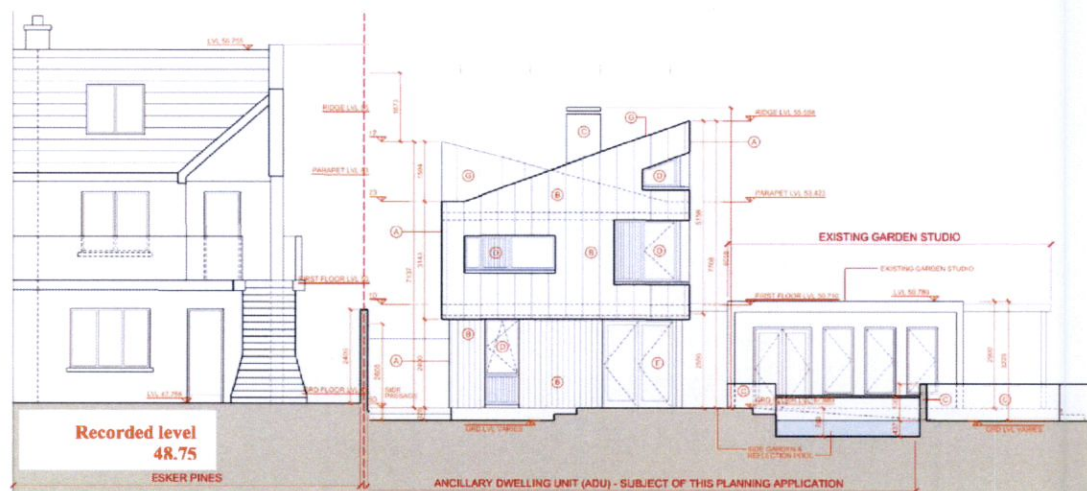


1B: Modifications:

- The proposal is modified, as discussed with Conor Doyle of SDCC, to move the dwelling away from west boundary on applicant's side, increasing distance from 1.7m to 2.1m. Distance façade-to-façade is increased, therefore, from 3.4m (original application) to 5.45m. Any further increase was agreed to have no benefit, eliminating a wheelchair accessible passage between the dwelling and garden studio (see above) a desirable feature of the new home: permitting a GF suite of accessible rooms, with its own private space (Rear Garden, below) and the studio itself.
- This modification permits retention and cultivation of existing hedgerow on the applicant's side, providing two layers of dynamic ecological buffering between the two properties.



- Further modifications that mitigate any sense of "overbearing" on contiguous residences include:
 - dropping in level of ground floor ceiling (by one staircase step)
 - dropping in level of first floor ceiling (also by one staircase step)
 - reduction in pitch of dwelling butterfly roof, and
 - drop in level by a further two external steps of the whole unit.
- This brings the whole unit down in scale by ~ 750mm relatively to its previous height.

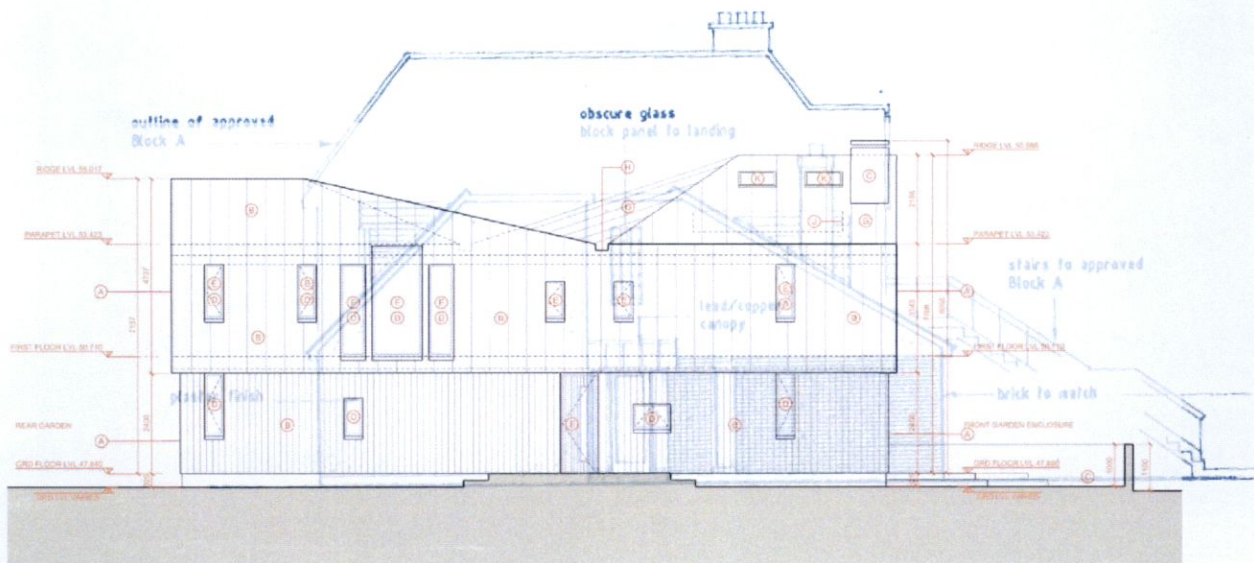




- Note ground in applicant's drawings shows Esker Pines at a "drop tape" level of 47.75: this is recorded as 48.77, a metre higher, on design drawings for that development. If this is true, it increases the overbearing impacts of that property. (not drawn at this level as unverified).
- The existing Victorian cottage – the family home – was constructed at a time when, relative to today, spatial generosity to inner spaces and, in particular, roof spaces was typical of the time. This makes the humble cottage imposing enough in terms of human scale in contrast to today's standards. Once again the proposal seeks to mitigate the transition between Rathinree and Esker Pines, using a modest volume with scissors butterflyed roofs in an innovative way, but also applied traditional materials to step down the contrast between the as-built expressions.



- While modifications above reduce impact of the new dwelling on the family home: it is important to note the considerable distance between the two dwellings - not clear from elevations. Of course perspective distorts the visual relativity of the two volumes. The new dwelling must hold its own against the old, and there is a fine balance struck here between the languages of 21st century contemporary design and that of more than 150 years ago: while the new dwelling stands bravely against the 21stC construction, nevertheless it is still at a considerable distance from the cottage. The photograph illustrates this point showing contrasts between the kitchen/ utility gardens of older times and the new dwelling outline, with the 2001 apartment block behind.





3. The Applicant is requested to provide revised drawings demonstrating compliance with the internal storage space standards outlined in Section 12.6.7 of the South Dublin County Development Plan 2022-2028.

Condition no. 3: Storage:

South Dublin County Council's S.12.6.7 of the Development Plan 2022 – 2028 sets out that:

Internal Storage Standards

- Storage should be additional to kitchen presses and bedroom furniture.
- Hot press / boiler space will not count as general storage.
- In providing the storage in accordance with Table 3.21, no individual storage room should exceed 3.5 sq m and storage shall be provided within the apartment unit.

Table 3.21: Minimum Standards for Apartments

Type of Unit	Apartment	Private Open Space	Communal Open Space	Storage
Studio	37 sq m	4 sq m	4 sq m	3 sq m
One bedroom	45 sq m	5 sq m	5 sq m	3 sq m



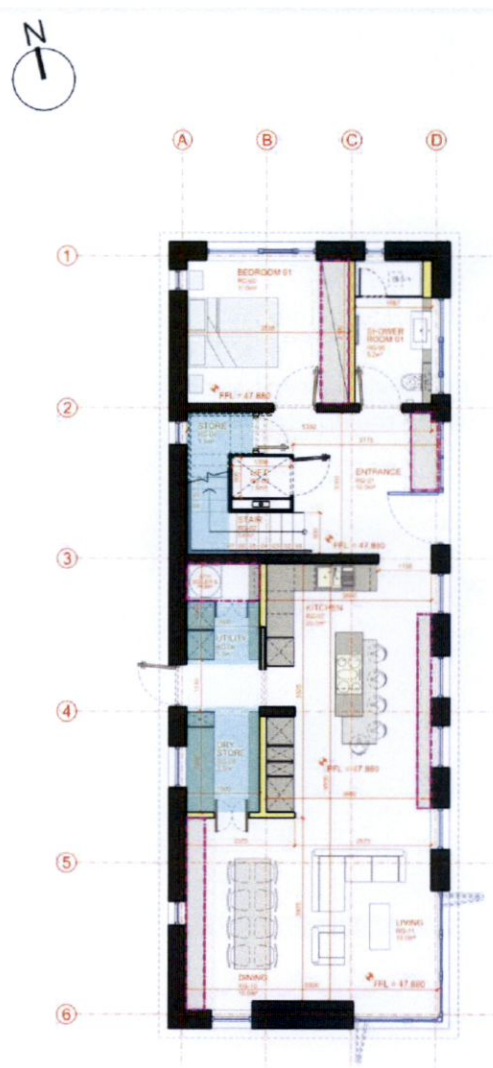
Two bedrooms (3 person)	63 sq m	6 sq m	6 sq m	5 sq m
Two Bedrooms (4 person)	73 sq m	7 sq m	7 sq m	6 sq m
Three bedrooms (5 person)	90 sq m	9 sq m	9 sq m	9 sq m

Although quoted as apartment guidelines, we have sought to meet the minimum standard for a three-bedroom (5 person) unit in terms of storage provisions, although the unit is envisaged to ever only be a two-bedroom (2/4 person) house (with the third bedroom acting as office/ library/ entertainment suite).

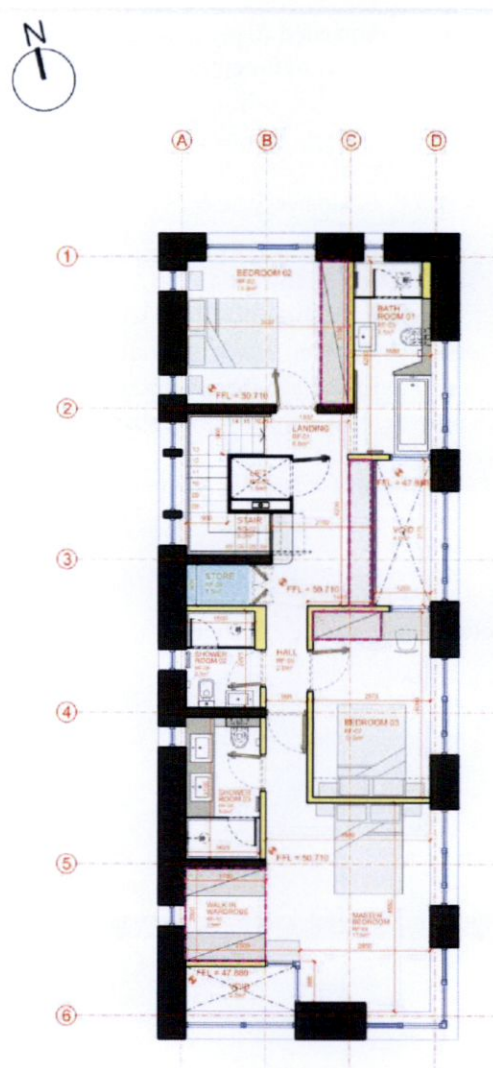
The floor plan overleaf shows the area breakdown and that the achievement will be substantially greater than those storage requirements set out in the guidance documents.

The assigned storage excludes extensive but thoughtfully considered fitted/ loose fittings e.g. wardrobes, cloaks/ coat/ boot rooms/stores, library, shelving and joinery/ cabinetry items. These will be substantial extensions to the storage figures achieved in the drawings as dedicated spaces for planning purposes.





PROPOSED GROUND FLOOR PLAN
Scale 1:100



PROPOSED FIRST FLOOR PLAN
Scale 1:100

LIGHT BLUE FILL - 12sqm (9.5sqm GF + 2.5sqm 1F). (Note: Utility Room measures 5sqm – only 2.5sqm counts as storage - the rest is circulation to back door and also Boiler and ATW system)

- Under Stair Store = 3.5sqm
- Utility = 2.5sqm
- Dry Store = 3.5sqm
- Store @ First Floor = 1.5sqm

MAGENTA OUTLINE - 15sqm (7sqm GF + 8sqm 1F) This is intended designated areas for items of storage such as Wardrobes, Hot-press, shelving, bookcases, cabinetry and ancillary fitted furniture items that will provide exceptional storage capacity but are not included in calculated storage capacity of the house for planning permission purposes.



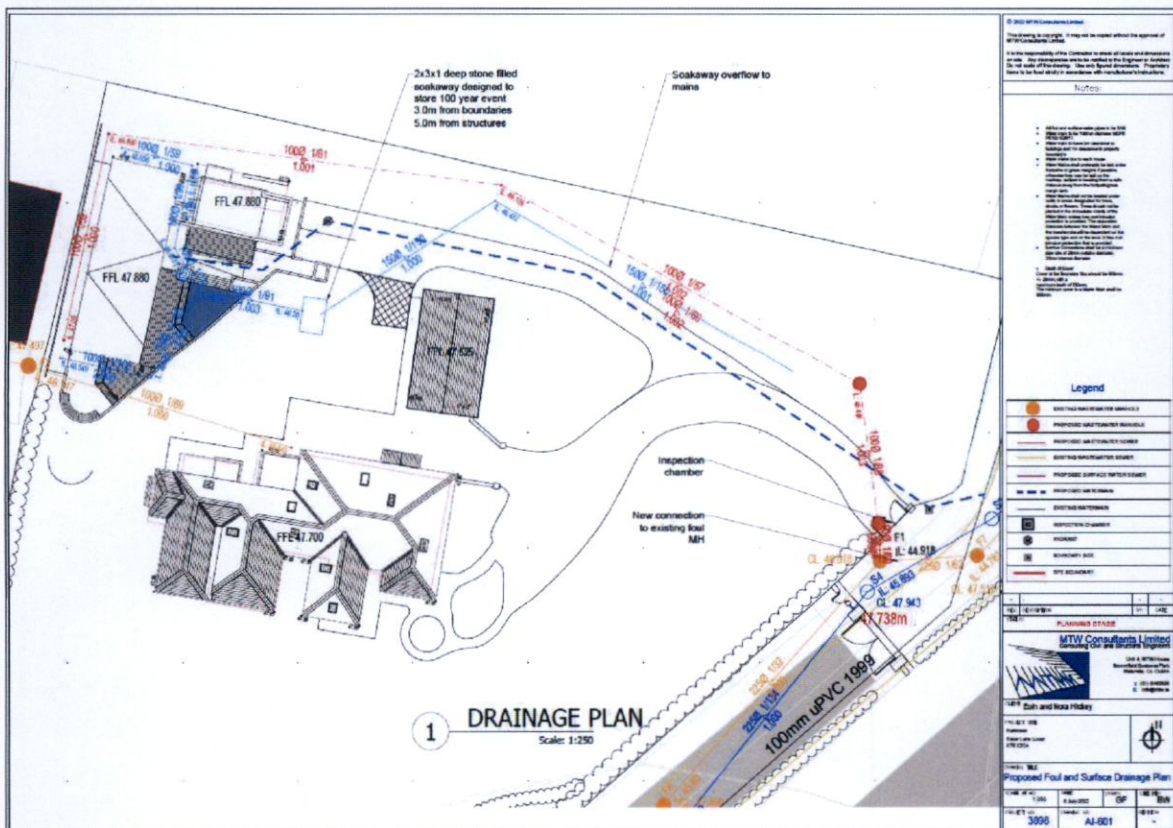


4. (a) The Applicant is requested to submit a report showing site specific soil percolation test results and design calculations for the proposed soakaway in accordance with BRE Digest 365 – Soakaway Design. Subject to percolation test results, all additional Surface Water is to be directed to proposed soakaway. Where feasible connect an overflow surface pipe and/or swale from proposed soakaway to existing surface water sewer east of site.
- (b) The applicant is requested to submit a revised drawing showing plan and cross-sectional views, dimensions, and location of proposed soakaway. Any proposed soakaway shall be located fully within the curtilage of the property and shall be:
- At least 5m from any building, public sewer, road boundary or structure.
 - Generally, not within 3m of the boundary of the adjoining property.
 - Not in such a position that the ground below foundations is likely to be adversely affected.
 - 10m from any sewage treatment percolation area and from any watercourse / floodplain.
 - Soakaways must include an overflow connection to the surface water drainage network

Condition no. 4: Drainage:

Please refer to the attached drawings 600, revised drawings 601 – 604, new drawing 605 and documents submitted by project engineers MTW for a complete response to this condition. The site was subject to percolation tests and subsequent calculations of soil infiltration rate in line with test requirements of BRE Digest 365. The work was completed by Stingray Environmental over three days between 24th and 26th of November, and the test results were analysed and reports compiled in December 2022.

The project engineer used the percolation test results and design calculations for the proposed soakaway and his findings and drawings are attached to demonstrate compliance in full with this condition.





- The Applicant is requested to provide a detailed Landscape Design Plan and Green Infrastructure Plan for the subject site having regard to the Green Infrastructure Policy Objectives within the County Development Plan, including but not limited to, GI1 Objective 4, GI14 Objective 1, GI12 Objective 4 and Section 12.4.2 of the South Dublin County Development Plan 2022 – 2028 and the Sustainable Urban Drainage Systems Explanatory Design Guide, a copy of which is available on the South Dublin County Council website.

Condition no. 5: Landscape Plan:

South Dublin County Council's Green Infrastructure Policy Objectives have been assessed and the attached drawing no. 21022_207 Proposed Landscaping Plan was prepared in accordance with the overarching policy directive in Chapter 4: Green Infrastructure and in Chapter 12: Implementation and Monitoring, which gives more specific guidance.

Policy GI1: Overarching

Protect, enhance and further develop a multifunctional GI network, using an ecosystem services approach, protecting, enhancing and further developing the identified interconnected network of parks, open spaces, natural features, protected areas, and rivers and streams that provide a shared space for amenity and recreation, biodiversity protection, water quality, flood management and adaptation to climate change.

GI1 Objective 1:

To establish a coherent, integrated and evolving GI Network across South Dublin County with parks, open spaces, hedgerows, trees including public street trees and native mini woodlands (Miyawaki-Style), grasslands, protected areas and rivers and streams and other green and blue assets forming strategic links and to integrate and incorporate the objectives of the GI Strategy throughout all relevant land use plans and development in the County.



The below map illustrates the SDCC Development Plan Green Infrastructure Network and categorises the subject site as "urban fringe/ periurban". It is noted that there are no major core areas, GI corridors or "Stepping Stones" of a public nature within or directly contiguous to the site. However the map belies the reality that this site and its adjacent sports grounds of the local school do in fact represent a rather lush and rich green space to the locality, full of habitats and environmental features both existing and proposed that are teeming with wildlife and biodiversity opportunities.





GI4 Objective 1 is specifically mentioned in the condition above: this is dealt with in the MTW project engineers' response to Condition no. 4 in the attached report. Note that all new surfaces proposed within the landscape will be porous and permeable, providing nature-based solutions to ensure that surface runoff is properly and sustainably integrated into the SuDS scheme.

Policy GI4: Sustainable Drainage Systems

Require the provision of Sustainable Drainage Systems (SuDS) in the County and maximise the amenity and biodiversity value of these systems.

GI4 Objective 1:

To limit surface water run-off from new developments through the use of Sustainable Drainage Systems (SuDS) using surface water and nature-based solutions and ensure that SuDS is integrated into all new development in the County and designed in accordance with South Dublin County Council's *Sustainable Drainage Explanatory Design and Evaluation Guide, 2022*.



GI12 Objective 4 is also mentioned in the Condition above and the Landscaping Plan (dwg 21022_207) clearly integrates biodiversity zones and areas as an essential component of the new development.

GI2 Objective 4:

Integrate GI, and include areas to be managed for biodiversity, as an essential component of all new developments in accordance with the requirements set out in Chapter 13 *Implementation* and the policies and objectives of this chapter.





The property falls under the below category in Chapter 12, being transitional lands that were once rural in character and that have transformed in the last 20 – 30 years to suburban derived landuse. The site also is on an established rail and motoway link and therefore qualifies as "urban fringe". The Landscape Plan accompanying this document shows how a "Plan Approach" is taken that seeks to retain and conserve the landscape and ecological features of the site as much as possible. The site is well endowed with a wide range of shrubs, lawns, greenhouses, topiary and beds with a veritable arboretum of specimen and extraordinary broadleaf and more exotic tree specimens and arrays. There is little prescribed in terms of soft landscaping as this will become the busy focus of the occupants but there is so much diversity within the site the most important approach is to ensure the survival and thriving future of species existing on the site. Further interventions includes the provision of timber decking to allow greater interaction and engagement with the garden and the introduction of feature gardens and water features.

Built Landscape Character Types	
LCT	Summary
Urban Fringe	<ul style="list-style-type: none">→ Transitional lands that were largely rural, transforming into suburban or urban derived landuse.→ Radiate from established settlements and close to transport links.→ Landuse is built land comprising transport, retail / business parks, quarries and urban derived housing.
Principles for Development	
<ul style="list-style-type: none">→ Screening through appropriate native broadleaf planting to provide a stronger visual boundary and definition as well as enhancing ecological connectivity.→ Coherent approach to boundary treatments and design.→ Prepare plans to integrate transitional lands into landscape through appropriate planting and boundary treatments.	

The further information landscaping strategy demonstrates how the applicant intends to contribute to the protection or enhancement of Green Infrastructure through retention and conservation of green elements, including objectives to protect or restore existing on site GI assets. The characteristics and assets of the private but abundant green spaces of this garden are reflected in the proposed development, using the continuation of planted hedgerows, trees, shrubs, flower beds, herbaria, elevated vantage decks, feature themed small kitchen, zen and decorative gardens and water features to enrich an already verdant and naturally diverse site, consolidating and opening pathways for wildlife and adding valuable amenity character

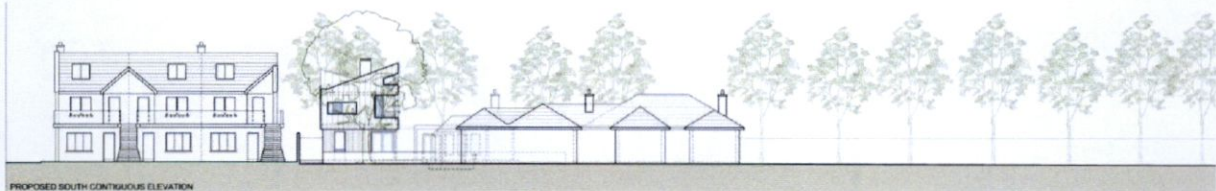
The proposed landscape plan clearly incorporate GI elements existing and illustrates and details any tree and hedgerow removal; tree and hedgerow retention and new tree and hedgerow planting. The use of natural features such as copses & avenues, hedgerows, trees, water features, ponds, pea gravel gardens and pathways, manicured lawns and wild meadow strengthen GI assets on the site and provide connections to the wider GI network. Other nature-based solutions include the SuDS scheme, permeable paving, green and blue roofs, green walls, rain gardens and a decorative oxygenated pond



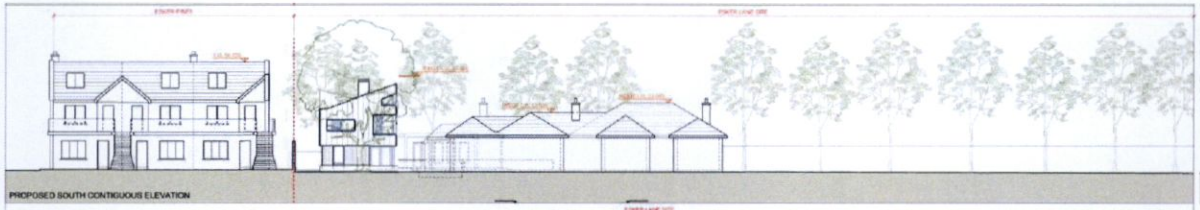


The proposal in summary

The modified dwelling in this instance is envisaged as a humbler and more modest two-storey house designed from scratch to be fully accessible for mobility-impaired users and sensitively designed to support any candidate resident with compromised abilities. The house is harmoniously balanced against the large bungalow, furnished with a domestic scale lift capable of carrying a wheelchair user plus care assistant. The importance of location remains threefold. The dwelling is tucked to the northeast corner of the site adjacent to the blank bulky, three-storey gable of 2001 development Esker Pines. This new dwelling firstly mitigates the considerable difference in scale between properties.



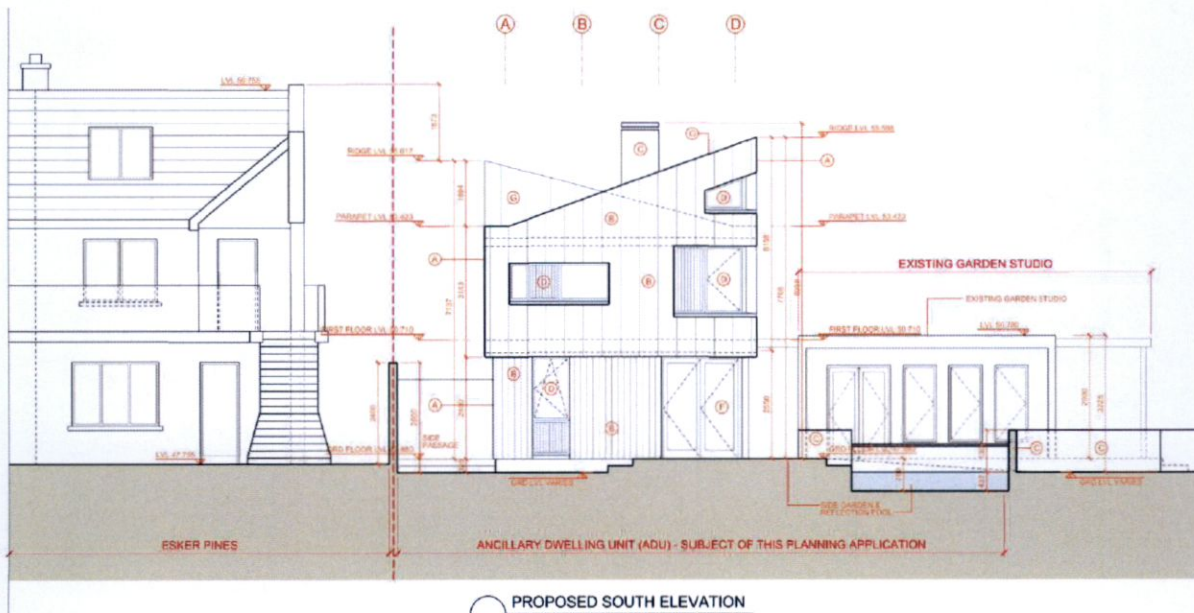
BEFORE – higher, closer to boundary, more significant in scale.



AFTER – this proposal reduces the volume of the ADU, without sacrificing its distinctive features.

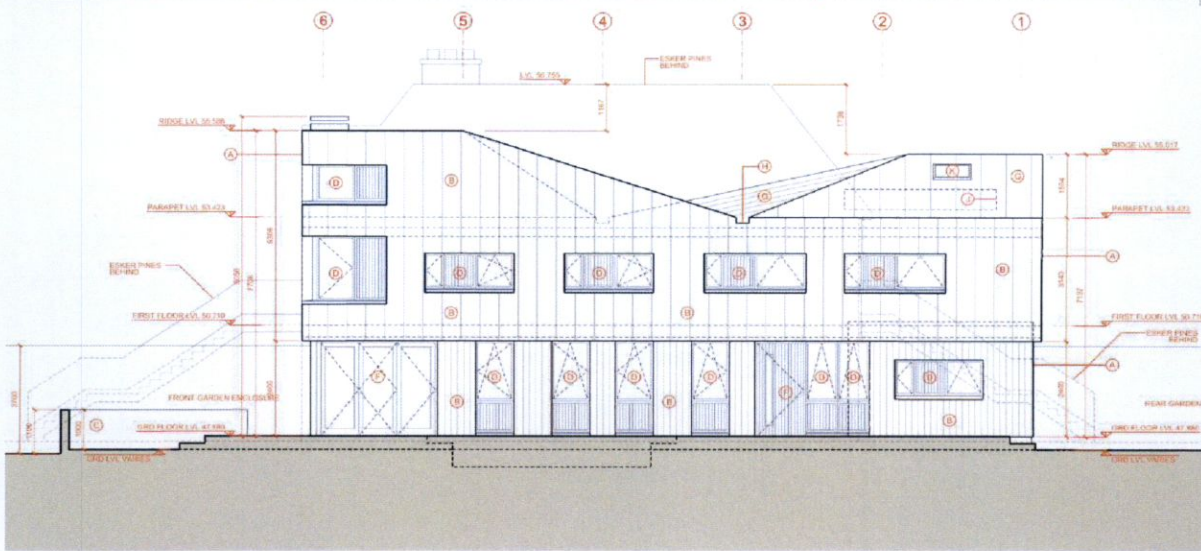
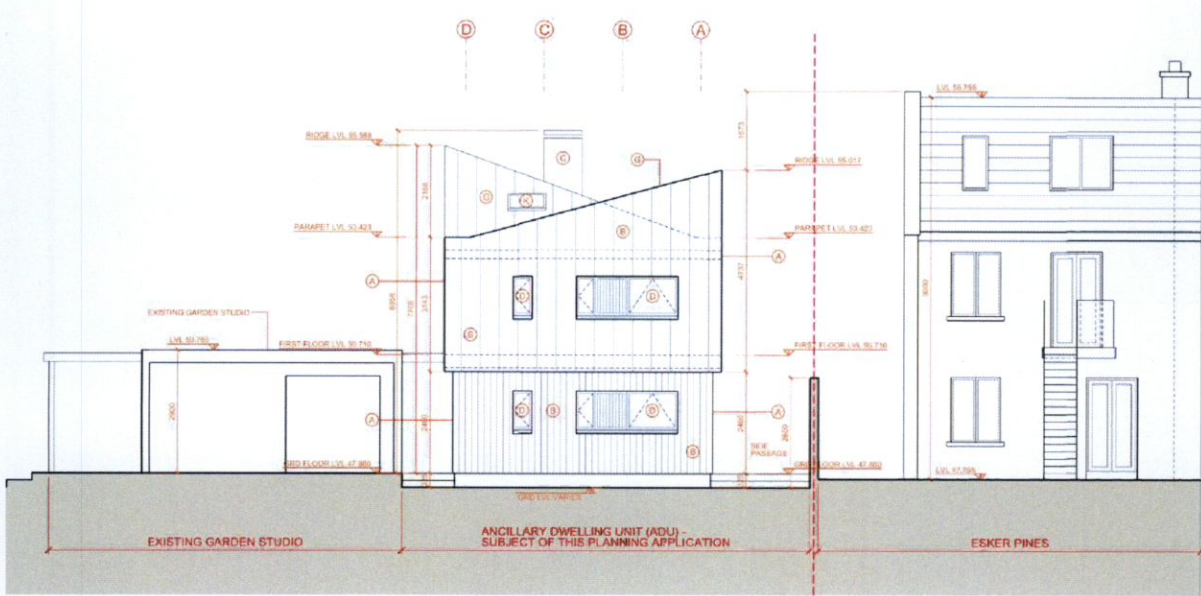
Secondly, it addresses the visually unappealing blank wall that looms over Rathinree at the edge of the Esker Pines development.

Thirdly, as the site is so well planted and lush with vegetation the location screens the new building from any third party, and creates a synergy and dynamic relationship of style and scale with the existing family home. Volumetrically the ADU manages the transition of scales very well, but in its position, orientation, architectural expression and choice of sustainable, renewable and natural materials, the dwelling adds a further empathetic response to the surrounding context.

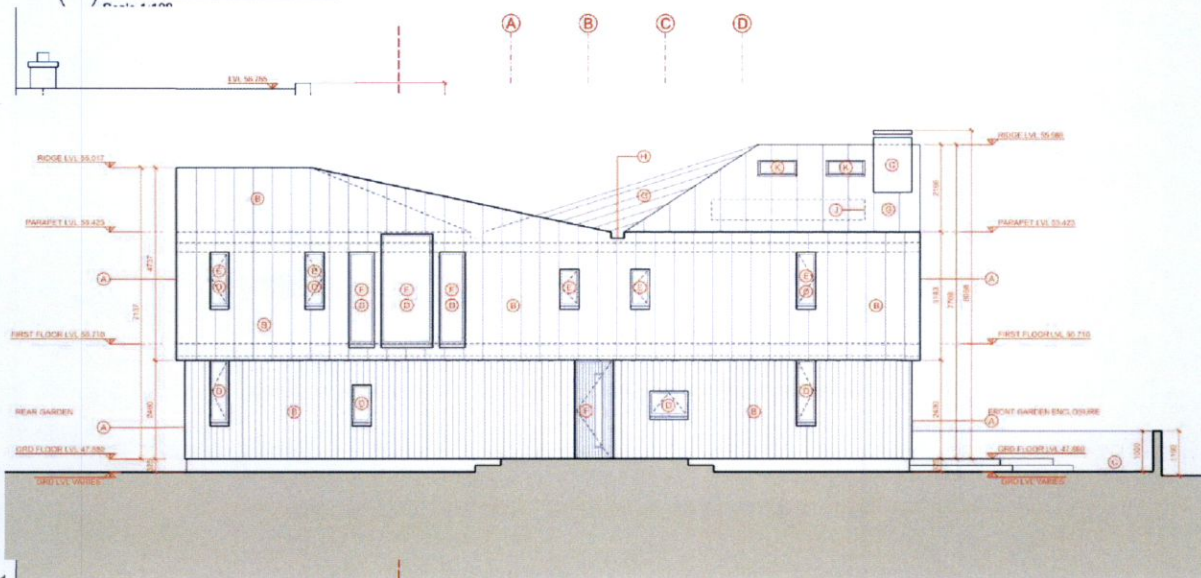


PROPOSED SOUTH ELEVATION



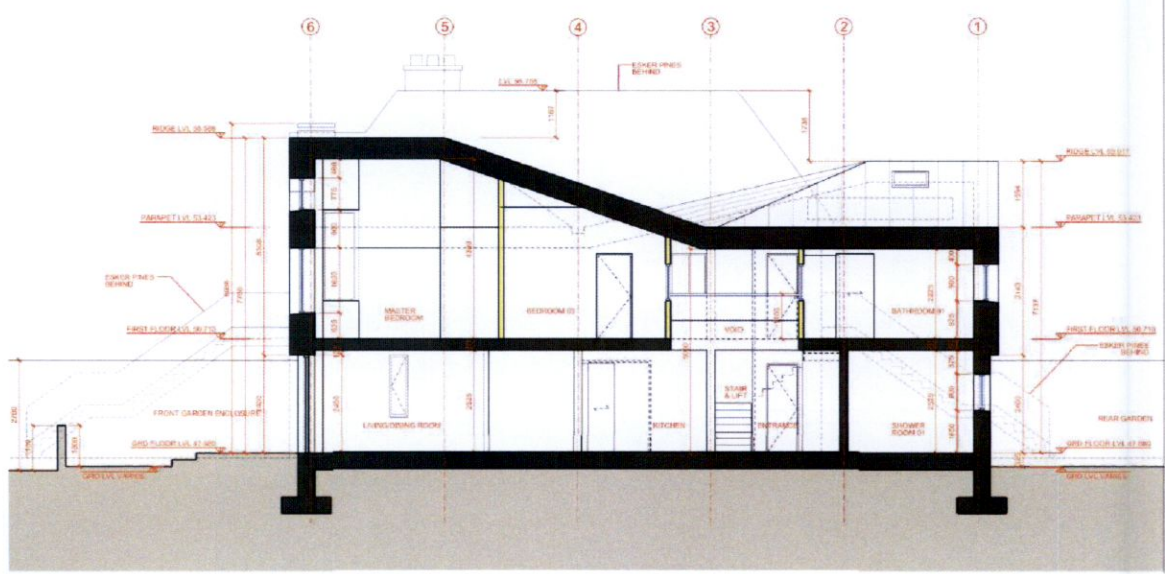
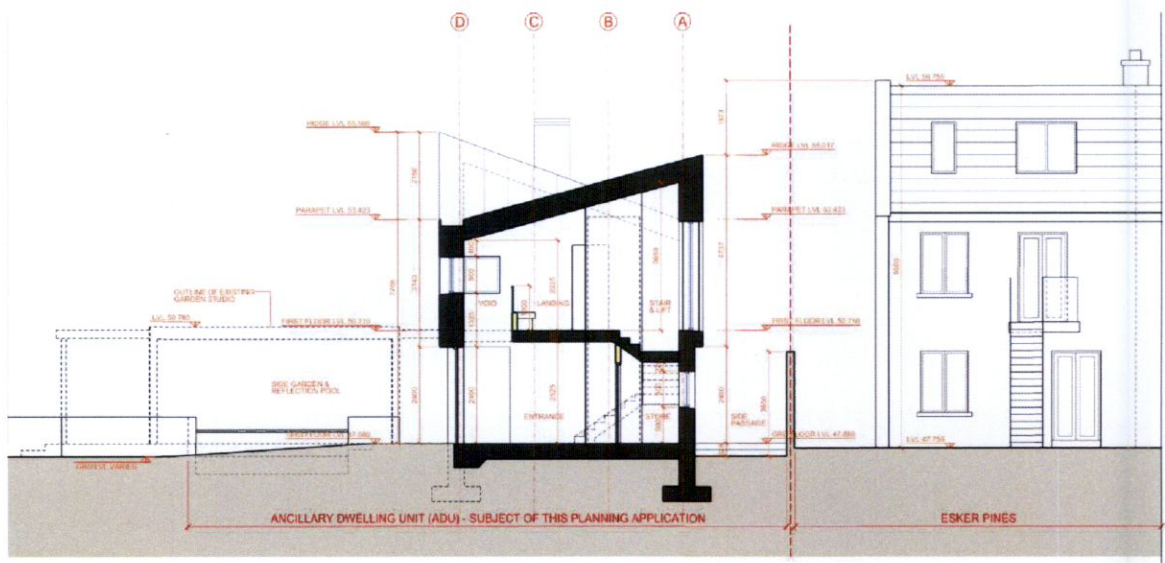
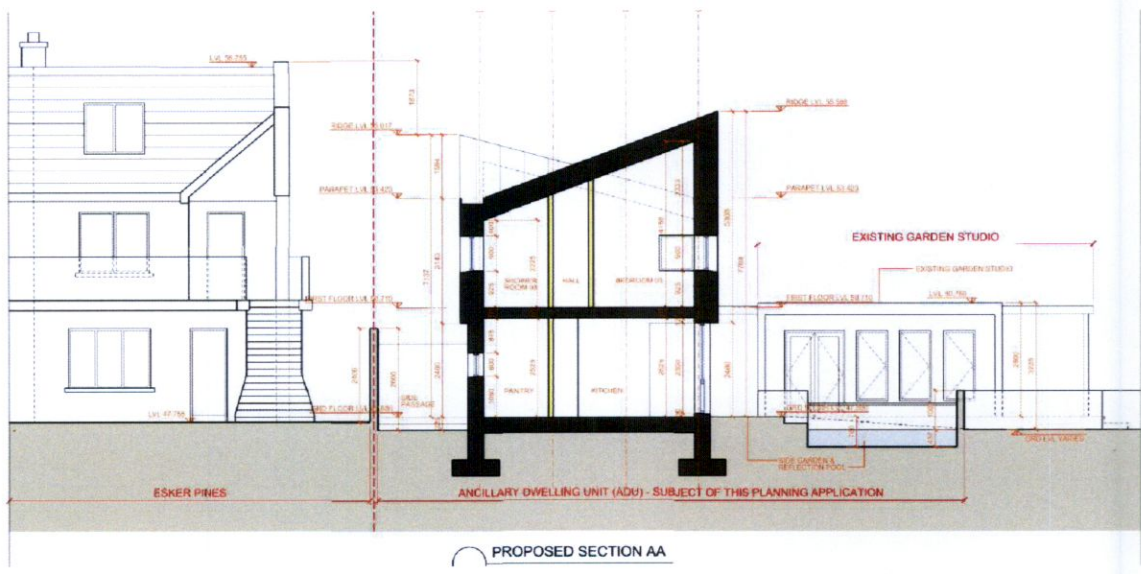


PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION







We respectfully consider this dwelling to be a modest, beneficial urban and socially appropriate design intervention that is sensitively sited, scaled and presented for this property, subsidiary to the main residence. We believe it will not only enhance the site's functional yield, but will ensure the preservation of the sylvan ecology and charming stylistic features of the existing house and grounds. We believe, furthermore, that the design is unique and has an architectural significance of its own that will contribute to the neighbourhood dynamic and the local area's demographic matrix.

In support of this application, and in accordance with the requirements of Article 22 (4)(b) of the Planning & Development Regulations 2001, as amended we submit the following documentation:

- 1 No. copy of drawing register
- 6 No. copies of architectural cover letter/ design statement
- 6 No. copies of Engineer's report
- 6 No. copies of Engineer's drawings
- 6 No. copies of Architectural Drawings:

We hope the accompanying information is helpful in making a decision on this application and we hope to hear positive news in due course. Please do not hesitate to contact the undersigned directly should there be any requirement for clarification or additional information, detail or queries.

le meas,

george boyle, BSc(Arch), MArch, MRIA, RIBA, ARB, ARIAM, FIDI

Principal, Conservation Architect Reg. Ref. RIAI 98058 for

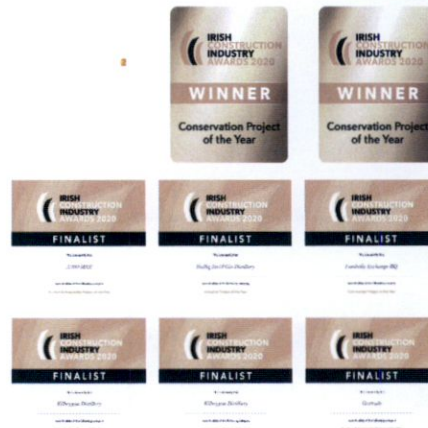


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 President Institute of Designers in Ireland 2016 |
 Founder Fumbally Exchange Ltd | FE Academy
 Peace Commissioner | Department of Justice & Equality



APPENDIX A: Further Information Request

GARDEN LIVING – CONTENTS

Part I Introduction – Client, the Site, the Ask & the Task, GBD practice profile

Part II Location – Overview, Photographic Survey, Discovery

Part III Site Analysis – Historical, Social & Geographical Context

Part IV Statutory Context – Planning History, Governance, Directive

Part V "Orientation" – SWOT, Identity threats/ risks, Diagnostics

Part VI Inspiration – International & local case studies, Differentiate

Part VII Principles – five principles of design discipline, Direction

Part VIII Concept Designs –

- garden box (minimal, sleek, contemporary, economical)
- split-pitch asymmetric wedge house
- reference to "dower house" – portal, simplified & modernised
- Reference traditional outhouse – ostler/ coachman cottage
- Adventurous & expressive - the treehouse / the cabana
- sustainable, vernacular garden sanctuary – green house – recommended

Part IX Brief – Schedule of Accommodation, Consultant requirements, Grants

available Projected Timeline, Planning Strategy, high level order of cost

Part X – Next steps, Schedule of information Required for Planning, planning strategy & timeline.

As I look out to my garden
I feel a sense of pride
It really is a lovely room
Except it is outside.

PART I:
INTRODUCTION

PART I Introduction - The Site – "Rathinree"

- This proposal is a small supplementary family residence that sits in the Northwest corner of the Hickey homestead "Rathinree", within about an acre of garden lands.
- Rath an Ri*, the Irish translation, means "Fort of the King" or "Triumph of the King" (depending on the fada). It may have been named after a townland in Co. Meath.
- The site is identified as "St Anne's" on 20th C maps and appears to date from c. 1930s.
- Rathinree is located Southeast of Lucan village, in the hinterland of a peculiar 19th C, highly granular allotment of residential plots along the south side of the Lucan Road.
- The site is located at the end of Esker Lane. In the 1990s, grounds were sub-divided isolating a parcel of lands for development as a residential estate of townhouses/ duplexes, now "Esker Pines", wrapping south & west of the retained Hickey lands.
- The N4 motorway curves along the southern boundary edge running north-east.
- To the north of the site are the sports grounds of Coláiste Phadraig, a secondary school for boys run by the Christian Brothers Order.



PART I Introduction - The Client

- EIOIN & NORA HICKEY are a retired couple living in Lucan, Co. Dublin. They share a creative, busy life with an active, rich agenda full of adventure, hobbies & multiple interests. They enjoy spending time with their four adult children & a growing cohort of grandchildren. The tight-knit, celebrated and well-recorded Hickey family ethos is an essential inspiration for this project's core concept.
- Eoin & Nora, among many lifetime pursuits, were from 1986 – 2007 popular host owners of nearby Finnstown Country House Hotel.
- The Hickey family are no strangers to castle living, residing for more than 50 years at the 12th C iconic landmark Skryne Castle, where Eoin and his siblings grew up.
- Eoin & Nora live on an acre of sylvan landscaped gardens just south of Lucan village in a quaint rambling cottage with charming details & features, called "Rathinree".
- The gardens surrounding the house are tightly manicured and carefully tended with a selection of impressive tree specimens and a scattering of greenhouses, outhouses, potting sheds, a workshop and eclectic collections of historic miscellanea.





An Rannóg Talamhúsáide, Pleanála agus Iompair
Land Use, Planning & Transportation Department



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PLANNING & DEVELOPMENT ACT, 2000 (as amended) AND PLANNING REGULATIONS THEREUNDER

Decision Order Number: 1207	Date of Decision: 26-Sep-2022
Register Reference: SD22A/0320	Registration Date: 02-Aug-2022

Applicant: Eoin & Nora Hickey
Development: Two storey three bed Ancillary Dwelling Unit (ADU) with mezzanine loft, solar panels, porch, veranda deck, terrace and associated site works, utilities, landscaping, facilities and services, on site of and adjacent to existing single storey family bungalow (retained); The ADU will share existing entrance gateway and is accessed via a private new avenue to private courtyard with parking for two cars.
Location: Rathinree, Esker Lane, Lucan, Co. Dublin, K78 X2C4
Application Type: Permission

Dear Sir /Madam,

With reference to your planning application, received on 02-Aug-2022 in connection with the above, I wish to inform you that before the application can be considered under Section 33 of the Planning & Development Act 2000, six copies of the following **ADDITIONAL INFORMATION** must be submitted.

1. The Applicant is requested to increase the setback distance from the adjacent western boundary, providing appropriate separation distances to adjacent properties (having regard to concern about overbearing effects) and the existing dwelling on the subject site. The Applicant is requested to provide a complete set of revised site layout, floor plan, sectional, elevational and contiguous elevational drawings demonstrating the revised location and design of the proposed dwelling.
2. The Applicant is requested to provide plan, sectional and elevational drawings demonstrating the existing and proposed boundary treatments to facilitate a complete assessment and understanding of the extent of hedgerow removal and the proposed boundary treatment at the subject site. It is

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multum in parvo | menos es más | déan beagán ach déan go maith é | e pluribus, unum





considered that, in re-locating the proposed dwelling within the subject site the Applicant should make every effort eliminate or minimise the need for removal of the existing trees, hedgerow and boundary treatments within the subject site. The re-location of the dwelling offers an opportunity to retain and enhance the existing boundary treatment, including the hedgerow.

3. The Applicant is requested to provide revised drawings demonstrating compliance with the internal storage space standards outlined in Section 12.6.7 of the South Dublin County Development Plan 2022-2028.
4. (a) The Applicant is requested to submit a report showing site specific soil percolation test results and design calculations for the proposed soakaway in accordance with BRE Digest 365 – Soakaway Design. Subject to percolation test results, all additional Surface Water is to be directed to proposed soakaway. Where feasible connect an overflow surface pipe and/or swale from proposed soakaway to existing surface water sewer east of site.
(b) The applicant is requested to submit a revised drawing showing plan and cross-sectional views, dimensions, and location of proposed soakaway. Any proposed soakaway shall be located fully within the curtilage of the property and shall be:
 - i) At least 5m from any building, public sewer, road boundary or structure.
 - ii) Generally, not within 3m of the boundary of the adjoining property.
 - iii) Not in such a position that the ground below foundations is likely to be adversely affected.
 - iv) 10m from any sewage treatment percolation area and from any watercourse / floodplain.
 - v) Soakaways must include an overflow connection to the surface water drainage network
5. The Applicant is requested to provide a detailed Landscape Design Plan and Green Infrastructure Plan for the subject site having regard to the Green Infrastructure Policy Objectives within the County Development Plan, including but not limited to, GI1 Objective 4, GI14 Objective 1, GI12 Objective 4 and Section 12.4.2 of the South Dublin County Development Plan 2022 – 2028 and the Sustainable Urban Drainage Systems Explanatory Design Guide, a copy of which is available on the South Dublin County Council website.

NOTE: The applicant should note that any submission made in response to the above will be examined and MAY be deemed to be SIGNIFICANT ADDITIONAL INFORMATION by the Planning Authority. In this event the applicant(s) will be subsequently notified and requested to publish a notice in an approved newspaper and erect or fix a site notice on the land or structure to which the further information relates and to submit copies of the both the newspaper and site notices to the Planning Authority in accordance with Article 35 (1) (a) and (b) of the Planning and Development Regulations 2001 (as amended).

Note: The applicant must submit the Further Information within **6 months of the date of decision**. If the information is not received within this period, the planning authority shall declare the application to be withdrawn.

Please ensure that your reply to this Request for Additional Information is accompanied by a covering letter marked "ADDITIONAL INFORMATION" and that the Planning Register Reference Number given above is quoted on the covering letter.

Signed on behalf of South Dublin County Council

Register Reference: SD22A/0320

Date: 28-Sep-2022

Yours faithfully,

Pamela Hughes
for Senior Planner





APPENDIX B:

RECORD OF AGREEMENT BY TELEPHONE WITH CONOR DOYLE OF SOUTH DUBLIN CITY
COUNCIL ON STRATEGY FOR RESPONSE TO FURTHER INFORMATION REQUEST:
11 NOVEMBER 2022



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14/12/2022, 18:18

Gmail - Fwd: SD22A/0320 - Phone query



george boyle <grgboyle@gmail.com>

Fwd: SD22A/0320 - Phone query

1 message

11 November 2022 at 15:39

----- Forwarded message -----

From: george boyle <grgboyle@gmail.com>
Date: Fri, 11 Nov 2022 at 15:36
Subject: Re: SD22A/0320 - Phone query
To: Conor Doyle <conordoyle@sdublincoco.ie>
Cc: <colmharte@sdublincoco.ie>

Thank you so much Conor for your attentive and professional hearing of our issues with the first item on the Request for Further Information on our client's project in Rathree, Lucan, no. 22/0320.

Really appreciate your time there and fully understand/understood the rationale behind the observation which we will deal with as follows:

1. we will move the new dwelling unit around a foot to east to move it away from the wall
2. we will modify the roof plan of the neighbouring apartments to show the actual gable wall position as it currently shows the edge of a stairway
3. we note that the dwelling adjacent to the applicant - that is, the Esker Pines flat that overlooks their garden presently, is also in the ownership of the applicant.
4. we note that the percolation test results will allow us to lower ground level in the new building which will further mitigate any volume and massing concern
5. we note that with the existing dwelling, the rootballs of the specimen tree at south, the root balls of the line of avenue trees at north, the existing verdant garden and the various other considerations, this location within the site has least impact on third parties, environment, habitats and landscaping and relates most winsomely to the existing homestead, given that it is intended to be occupied by family who will share the abundant grounds together
6. we note that the ground floor accessible guest bedroom with wheelchair accessible wc is sited to be proximate to the existing artist's studio unit and that we have a passage between these elements under cover to allow access into a meditation garden (north facing, so more of a "zen" type garden) to the north. This will be maintained with the small relocation of the unit, so we can keep that feature for the future resident to allow their suite to have space for a compromised mobility user.
7. we note that the impact on the westerly site will be minimal - there is a relatively high boundary wall, which we will be planting (there is no hedgerow here at this point, we hope to establish hedgerow along the full length of the new dwelling) - there is a fully blank gable wall and there is no overlooking from any part of the north-west-facing wall of the new unit, which is all utility areas, bathrooms and opaque/opal glazing to ensure no overlooking of the adjacent spaces.

thanks again so much for your time, I appreciate this time of the year with the end of the adopted development plan and the incoming rush for Xmas you guys are up to your ears.

all the other items on the list are very fair and we will comply with those fully. Percolation tests are under report right now. Will hopefully have a response into you next week.

copying colm harte, also - Colm, I tried several times to get to you by phone but some of my frustration was about an email I sent, which I received no response to - but MEA CULPE I had a "do!" in colm.harte so it bounced back and I hadn't notice.

Thanks all.

fan go maith | fan sláinte | fan ciall | fan sabháilte | fan abhaile

le meas,

george boyle B.Sc (Arch), M.Arch., MRIBA, RIBA, ARE, FID, ARIAS
 phone: +353 (0)86 8098205 | email: grgboyle@gmail.com
 principal architect accredited in conservation, georgeboyledesigns
 founder & director of strategy, Fumbally Exchange CLG
 adjunct professor, Trinity School of Business
 external examiner, UCD School of Architecture
 president emeritus, Institute of Designers in Ireland
 peace commissioner for Dublin & Surrounding Counties, Department of Justice & Equality
 address: Fumbally Exchange HQ, Argus House, Malpas St, Blackpits, Dublin 8, D08 Y273 Ireland
 registered architect no. 95048 | registered in Ireland: 411306 | registered encode: D08Y273

On Thu, 10 Nov 2022 at 13:01, Conor Doyle <conordoyle@sdublincoco.ie> wrote:

Hi George,

My colleagues in Planning Registry informed me you have a query in relation to Additional Information Item No. 1 for SD22A/0320. Apologies for the delay in getting back to you, busy week.

Can you let me know a time that suits you best tomorrow and I'll give you a call to discuss. I've a meeting from 12 - 1, but other than that I'm available anytime.

Kind regards,

Conor Doyle | Assistant Planner | Land Use Planning and Transportation

South Dublin County Council, County Hall, Tallaght, Dublin 24

T +353 1 414 9000 | conordoyle@sdublincoco.ie



ENGINEERS IRELAND cpd ACCREDITED EMPLOYER



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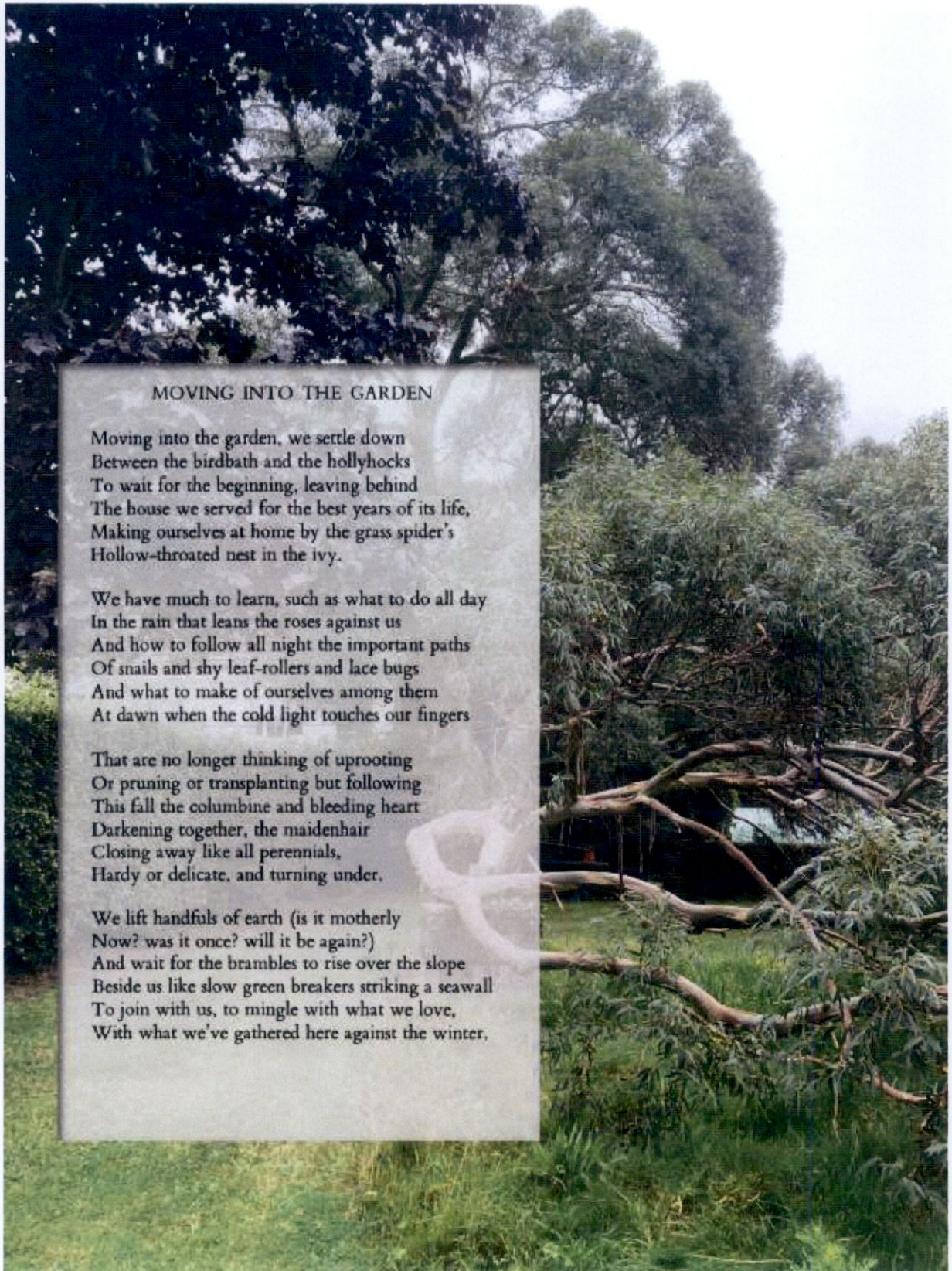
Is eolas faoi rún an t-eolas atá sa ríomhphost seo agus d'fhéadfadh go mbeadh sé faoi phribháil nó faoi chúiteamh. Ní ceadmhach do dhuine ar bith eile rochtain a bheith aige/aici ar an ríomhphost seo. Murar duit an ríomhphost seo tá nochtadh, cóipeáil, dáileadh ná aon ghníomh eile a dhéanamh nó aon ghníomh eile a fhágáil gan déanamh ar iontaobh an ríomhphost seo toirmiscthe ort agus d'fhéadfadh siad sin a bheith neamhchleathach. Má fuair tú an teachtaireacht leictreonach seo trí earráid téigh i dteagmháil. le do thoil, leis an té a sheol í nó le info@sdublincoco.ie. Ganadh an teachtaireacht seo le bogearraí Fithivreas.



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APPENDIX B: – Extracts from Design Journey



MOVING INTO THE GARDEN

Moving into the garden, we settle down
Between the birdbath and the hollyhocks
To wait for the beginning, leaving behind
The house we served for the best years of its life,
Making ourselves at home by the grass spider's
Hollow-throated nest in the ivy.

We have much to learn, such as what to do all day
In the rain that leans the roses against us
And how to follow all night the important paths
Of snails and shy leaf-rollers and lace bugs
And what to make of ourselves among them
At dawn when the cold light touches our fingers

That are no longer thinking of uprooting
Or pruning or transplanting but following
This fall the columbine and bleeding heart
Darkening together, the maidenhair
Closing away like all perennials,
Hardy or delicate, and turning under.

We lift handfuls of earth (is it motherly
Now? was it once? will it be again?)
And wait for the brambles to rise over the slope
Beside us like slow green breakers striking a seawall
To join with us, to mingle with what we love,
With what we've gathered here against the winter,





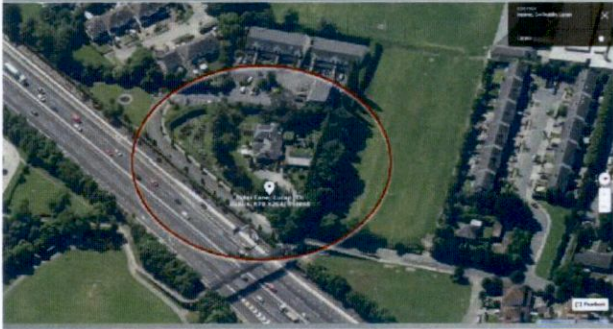
BIRD'S EYE LOOKING NORTH



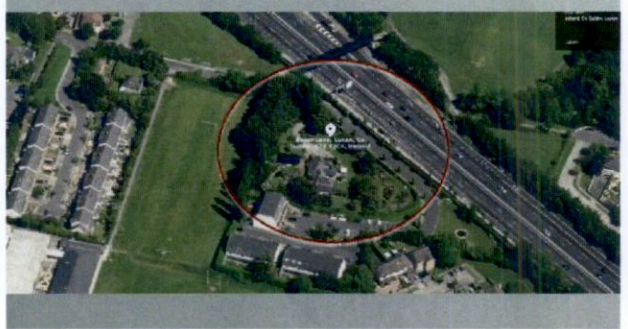
BIRD'S EYE LOOKING SOUTH



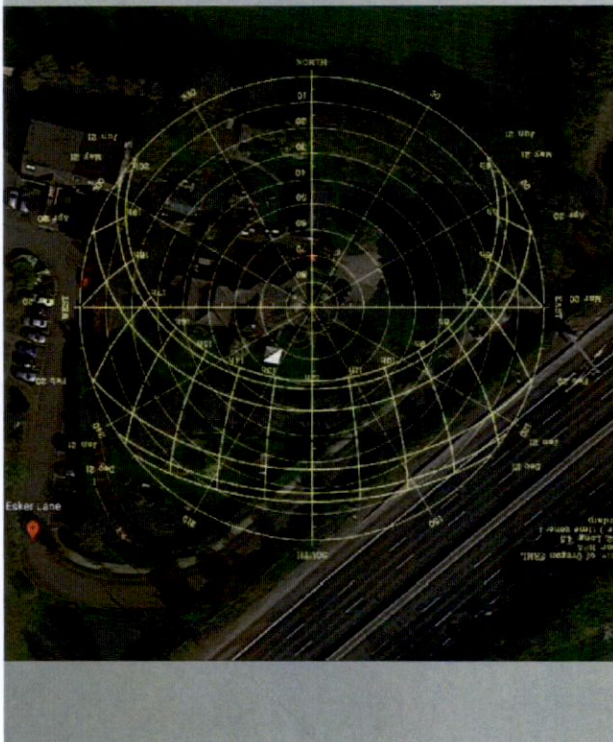
BIRD'S EYE LOOKING WEST



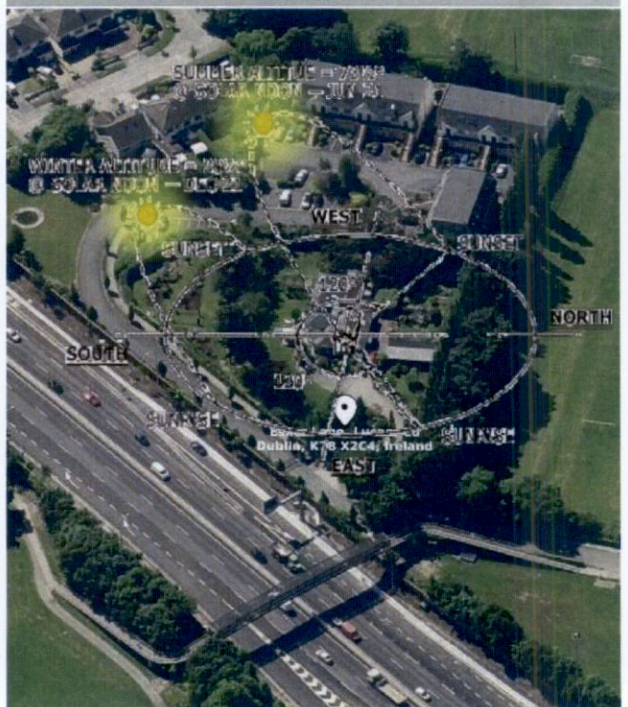
BIRD'S EYE LOOKING EAST



SUNPATH



SUNPATH



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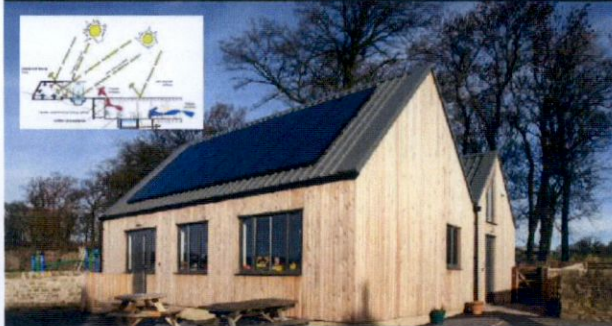


THINGS TO CONSIDER: ENERGY

SUSTAINABILITY & ENERGY CONSERVATION: PART L AMENDMENT 2017 REQUIRES ALL NEW DWELLINGS TO BE NEAR ZERO ENERGY DWELLINGS (NZE) BY 31 DEC 2020.

ZERO ENERGY: NEW DWELLINGS CONSIDERATIONS:

- 1) PRIMARY ENERGY CONSUMPTION & RELATED CO₂ EMISSIONS
- 2) RENEWABLE ENERGY SOURCES, SOLAR, WIND, GROUNDWATER, AIR TO WATER
- 3) FABRIC INSULATION THROUGHOUT WALLS, FLOORS, ROOFS
- 4) AIR TIGHTNESS & PASSIVE VENTILATION
- 5) BOILER HEAT GENERATOR EFFICIENCY
- 6) INSULATION OF PIPES, DUCTS AND VESSELS
- 7) RADON PROTECTION, DELETERIOUS MATERIALS PROTECTION
- 8) MECHANICAL VENTILATION SYSTEMS
- 9) ENSURING BUILDING IS APPROPRIATELY DESIGNED TO LIMIT NEED FOR COOLING
- 10) SMART TECHNOLOGY & CONTROLS
- 11) PERFORMANCE OF COMPLETED / EXISTING DWELLINGS (C, D, E, F AS ABOVE)



THINGS TO CONSIDER: ECOLOGY

ENVIRONMENT: CONSIDERATIONS INCLUDE:

- 1) **DESIGN:** DESIGN HOUSE THAT FULLY INTEGRATES WITH UNIQUE FEATURES OF THE AREA, ENHANCE RATHER THAN DESTROY ANY SPECIAL CHARACTER
- 2) **SITE WORKS:** PRESERVE ALL ENVIRONMENTAL FEATURES ON SITE AS MUCH AS POSSIBLE: TREES, HEDGEROWS, WATER COURSES, EVEN DITCHES
- 3) MAKE THE MOST OF **SITE TOPOGRAPHY, ECOLOGY & LANDSCAPING FEATURES:** WEAVE TO BECOME PRIMARY PART OF DESIGN, PROTECT FLORA & FAUNA
- 4) ENSURE ANY **SERVICES** PROVIDED TO SITE ARE SENSITIVELY LOCATED AND ALL IMPACTS CAREFULLY STUDIED, REVIEWED - AND WHERE NECESSARY MITIGATED
- 5) USE EXISTING INFRASTRUCTURE WHERE POSSIBLE - E.G. WATER, ELECTRICITY, DATA, PROVIDED THAT SUFFICIENT CAPACITY IS AVAILABLE
- 6) ENSURE RUN OFF OR WASTE DISPOSAL FROM SITE IS DEALT WITH IN A SYSTEMIC AND SELF-CONTAINED WAY WHETHER WASTEWATER, FOUL DRAINAGE, ETC.



Home / General / Storing Water In the Landscape: A Swales and Ponds Primer

THE TREE



The TREES



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ATMOSPHERE:
ALL WEATHER WARMTH

THINGS TO CONSIDER:
MATERIALITY

ATMOSPHERE:
SHOU SUGI BAN - IKIGAI

INSPIRATION:
WARMTH. WILDNESS - AND WATER?



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