



9<sup>th</sup> December 2022.

Land Use, Planning & Transportation Department,  
South Dublin County Council,  
County Hall,  
Tallaght,  
Dublin 24,  
D24 A3XC



Re: **Planning Permission for an Extension and Renovation of  
The Cuckoos Nest Public House, Greenhills Road, Tallaght, Dublin 24.**

**ADDITIONAL INFORMATION**

**REG. REF. SD22A/0285**

Dear Sir/Madam,

On behalf of our client, Brian Mulvaney, we wish to respond to your letter dated 18<sup>th</sup> August 2022, requesting Additional Information in respect of the above proposed development, under Planning Reg. Ref. SD22A/0285 regarding a development proposal at the The Cuckoo's Nest public house, on Greenhills Road, Dublin 24. Our response to same is set out below as follows:

**Item 1:**

***Plan Approach: Eight Key Design Principles.***

*The applicant is requested to provide a Statement from a suitable qualified person detailing how 'the Plan Approach' eight key design principles have been incorporated into the design of the development, as per QDP2 Objective 1 of the South Dublin County Development Plan 2022 - 2028. This can be resolved by way of additional information.*

**Response:**

The proposed development consists of the redevelopment and extension of an existing structure, which was a long established public house, and local landmark to the area. The applicant wishes to reopen the public house, and to build the proposed apartments and shop local unit adjacent to the pub. Cognisance should also be paid to the fact that there is an extant permission in place on the subject site for 16 no. apartments and café use, accommodated within the existing pub and a new build 3 and 4 storey building to the side and rear of the existing building.





The proposed development complies with the “Plan Approach: Eight Key Design Principles” as follows:

In accordance with QDP2 Objective 1: “To ensure that applications for new development are accompanied by a statement from a suitably qualified person detailing how ‘The Plan Approach’ has been taken into consideration and incorporated into the design of the development including the materials and finishes proposed and demonstrating how the overarching principles for the achievement of successful and sustainable neighbourhoods have been integrated as part of the design” – the following is a statement detailing how ‘the Plan Approach’ eight key design principles have been incorporated into the design of the development, as per QDP2 Objective 1 of the CDP.



Fig. 1 – Extract from Figure 1 of the CDP “Eight Design Principles”.

**Context** – “Consider existing natural, cultural and built heritage features and green infrastructure elements as well as social, economic and environmental factors that impact on an area.”

**Response:** The subject site has an existing public house structure and grounds called “The Cuckoo’s Nest” which, while not a Protected Structure, does have a local cultural interest and historical context. The design of the proposed development seeks to preserve this old building that occupies a prominent position along Greenhills Road, and it is considered that its retention, as well as the sympathetic design applied to the proposed renovation and extension contributes to the historic character, local character, visual setting, and has a certain streetscape value. The proposed development provides for the retention of the original structure as it is acknowledged that it has become a local landmark feature, particularly as it is located in a prominent position in an area that lacks architectural and visual character and the retention of same will add to the historical interest of the place, and its visual and streetscape setting. The retention of the original structure allows the existing building to be reused in a sustainable manner and contributing to the conservation of the historic built environment.

In a historical and local context, The Cuckoo’s Nest is a valued historical and cultural interest to the locals. The retention of the public house will allow the building to be reused in a sustainable manner while conserving the historic building and contributing to the visual enhancement and streetscape setting on Greenhills Road, Tallaght. The subject site is located in an area surrounded by residential housing estates such as Temple Woods to the rear (east), Park View to the southwest and Elmcastle housing estate to the west of the proposed development. These housing estates have a wide variety of housing typologies that bring a distinctive character to the area. The scale and massing of the proposed development, as well as the layout of the development on the subject site has been judiciously considered in terms of its assimilation into this site and the receiving





environs. The proposed development will add to the housing typologies through introduction of 1, 2 and 3 bed apartments.

**Healthy Placemaking** – *Promote good urban design, which seeks to create public spaces that are vibrant, distinctive, safe and accessible and which promote and facilitate social interaction.*

Response: The subject site occupies an area of just 0.204Ha. The proposed development provides communal and private open spaces for its residents. The subject site is in close proximity to Tymon Park (less than 5-minute walk) with public open space delivered already as part of the Temple Woods scheme that abuts Tymon Park, which integrates with its surroundings. The proposed development will provide passive surveillance and active street frontage / animation from its proposed shop local unit and public house on the ground floor, along with passive surveillance from the apartments overlooking the existing streetscape and open spaces. The development will contribute to providing a safe and welcoming space for both locals and future residents.

**Connected Neighbourhoods** - *Promote public transport and other transport facilities that mitigate dependence on cars, promote safe walking and cycling, while assisting with internal movements within neighbourhoods.*

Response: The subject site has direct access, including pedestrian paths, and fronts onto the Greenhills Road, R819 directly west of the proposed development. Greenhills Road is served by Dublin Bus with a number of local routes and stops within reasonable walking distance of the subject site, i.e. one directly opposite the site and another just a very short walking distance away, approx. 4 minute walk. These include the 27, 77A and 77X routes which provide transport to the following areas:

- No. 27 – serving from Jobstown to Clare Hall on the Malahide Road, via the City centre
- No. 77A – serving from Citywest to Ringsend, via the City Centre and
- No. 77A – serving from Citywest Road to UCD, via the City Centre.

The proposed BusConnects is intended to serve the proposed development via Greenhills Road R819. The area will be served by “D Spine” route which is made up of frequent timetables bus services that will provide services from Greenhills Road to the City Centre.

The proposed development will assimilate easily into the overall development of the original Cuckoo's Nest property which has been redeveloped as Temple Woods and the Tallaght Theatre. The overall existing and proposed development is permeable and will be interconnected.

**Thriving Economy** - *Ease of access to and availability of good jobs and a good quality of life for the community at large.*

Response: To the north of the site is Ballymount industrial estate, which provides a wide range of services and employment opportunities to the locals and future residents to the area. The subject site is approx. 1.5km from the Kingswood Luas stop which gives people the opportunity to travel into Dublin City Centre via LUAS Red Line. The subject site is directly opposite bus stop. No 2371 which frequently services bus no. 27, 77a and 77x, all of which travel into Dublin city centre. The proposed development includes the construction of a retail/shop local unit and a gastropub which would further increase employment opportunities for locals and future residents of the area.

**Inclusive and Accessible** - *High quality services, community infrastructure and open spaces accessible to all*





Response: The site is currently occupied with the original "The Cuckoo's Nest" structure which is not in use. The redevelopment of the site, by way of the proposed mixed uses, opens up the site to new employment opportunities, entertainment, increase in population and local services that will be accessible to all.

**Public Realm** - *A real sense of place, positive purpose and local distinctiveness, where buildings are not only attractive but also safe and useful with lots of green and open spaces for people to spend time, relax and play.*

Response: The subject site is a brownfield/infill site occupied by a public house that is not in use, offers nothing by way of an efficient use or utilisation of services, and is not aesthetically pleasing in its current format, thus offering nothing to the public realm. The proposal to redevelop the site to restore and re-establish "The Cuckoo's Nest" public house, develop an additional retail/shop local use on the ground floor and construct a 3 and 4 storey residential building for 1, 2 & 3 bed apartments, is an efficient use of this urban infill site. The small brownfield infill site will breathe new life into the area as it will provide 10 no. new apartments that will invite modern housing typologies to the area. As mentioned above, the proposed development is approx. 5-minute walk from Tymon Park which is Dublin's second biggest open space for locals to relax, wind-down and play. The proposed apartment building has two no. communal open space located on the third floor. (Please refer to drawing no. 2110-PLA-04-FI prepared by Davey + Smith Architects) and will have direct access to the open space already delivered in Temple Wood.

**Built Form and Mix** - *Promotes a mix of uses with appropriate increases in density and building heights in the right locations maximising the existing transport network and existing infrastructure.*

Response: The subject site occupies an area of 0.24 hectares. Its locational context in terms of prominent position on Greenhills Road, existing housing in the immediate environs and the existing vacant building on site, as well as its size and configuration, lends itself to a form of development such as that currently proposed. Furthermore, cognisance has been paid to the 2009 Sustainable Residential Development in Urban Areas Guidelines (section 5.7) which refers to "Brownfield sites (within city or town centres)" and states that "*the opportunity for their re-development to higher densities, subject to the safeguards expressed above or in accordance with local area plans, should be promoted, as should the potential for car-free developments at these locations*". The subject site is a brownfield site but could also be considered to be an infill site, and accordingly, the aforementioned Guidelines state the following with respect to infill residential development: "*Potential sites may range from small gap infill, unused or derelict land and back land areas, up to larger residual sites or sites assembled from a multiplicity of ownerships. In residential areas whose character is established by their density or architectural form, a balance has to be struck between the reasonable protection of the amenities and privacy of adjoining dwellings, the protection of established character and the need to provide residential infill*". It goes on to say that "*the design approach should be based on a recognition of the need to protect the amenities of directly adjoining neighbours and the general character of the area and its amenities, i.e. views, architectural quality, civic design etc.*". It is put forward that the design response for the subject site, given its existing, historical and locational context, is based upon all of the foregoing and as such, the proposed development is put for permission.





**Design and Materials** - High quality design, materials and finishes and good quality landscaping with robust maintenance protocols for all large residential, commercial and employment developments.

*Response:* Davey + Smith Architects and Ronan Mac Diarmada and Associates, Landscape Architects have prepared the submitted architectural and landscaping proposals, which are based upon the principles of good urban design and sustainability. The proposed materials to be applied to the apartments are of traditional and durable nature (brick finish) but create modern home that will be sustainable in the long term. The landscape proposals have been designed and prepared by RMDA + Associates Landscape Architects to complement the setting and proposed uses, thus creating an amenable development that will successfully assimilate into its setting.

### **Item 2: Local Street**

*One aspect of the design which is a concern is the treatment of the street to the north of the development – both the public house and theatre are oriented west towards the main road, with relatively uninteractive facades to the local street between them. The NTA and the SDCC Roads Department have queried how the development can support the provision of cycle infrastructure on Old Greenhills Road.*

*The street is labelled as a pedestrian priority shared surface, but no cross sections have been provided of the street, and the material treatments appear to show a clear delineation between a 2m pedestrian path and a 5.5m carriageway. A rationale for a 5.5m carriageway has not been provided, when compared against the DMURS standard of 4.8m - there is potential to extend the pedestrian path by 700mm.*

*The following aspects could be reconsidered by the applicant, and the applicant should show by way of additional information, how they have considered the following points:*

- (a) the overall treatment of the street, in terms of architectural elevational treatment and surface layout and materials -*
- (b) How to establish the space as a pedestrian priority space.*
- (c) If the terrace to the front cannot be delivered due to provision of planned cycling infrastructure, outdoor seating and a side entrance can be considered around the side, on the local street.*
- (d) Compliance with DMURS.*

### **Response:**

In response to the above, we submit drawing no. 2110-RFI-06, prepared by Davey + Smith Architects illustrating a cross section of the street facing north.

**(a)** Please refer to drawing no. 2110-PLA-03-FI prepared by Davey + Smith Architects illustrating the proposed site layout and contiguous elevations. The submitted drawing shows a proposed “3D view from Tallaght Theatre car park” illustrating the north facing view of the proposed development. Additional windows have been added to the north facing ground floor gastropub, as well as enlarged windows, to create a more animated façade that directly addresses the street/public realm.

**(b)** To establish pedestrian priority spaces in the proposed development, Davey + Smith Architects submit a no raised kerb and use of materials that are pedestrian friendly and accessible for all users.

**(c)** The proposed terrace located at the front of the proposed development has been omitted in response to the provision of planned cycling infrastructure on the Greenhills Road.

**(d)** The proposed development now complies with DMURS through materials and finishes, the introduction of a flush kerb and the carriage width has been minimised.





### **Item 3: Privacy**

*Further consideration of this interaction is required, as are more detailed drawings showing, in plan and cross section, the relationship between the proposed apartment building and the permitted Temple Court Apartments, to establish that the occupants of the new development will not suffer a lack of privacy given the location of kitchen windows in the existing building.*

**Response:** In response to the above, Davey + Smith Architects have prepared drawing no. 2110-PLA-05-FI which illustrates the relationship between the proposed apartment building and the permitted Temple Court Apartments. As seen in the drawing, the existing Temple Court Apartments have high level north facing windows which will not impact the proposed apartments and its privacy given its location.

### **Item 4: Unit Mix**

*Under SPPR1 of the 'Sustainable Urban Housing: Design Standards for New Apartments' (2020) guidelines, the South Dublin County Development Plan 2022 – 2028 specifies a required mix as per the county's interim Housing Needs Demand Assessment. Under policy H1 Objective 12 of the Plan, all new developments should provide at least 30% 3-bedroom units, except where it can be shown that this is not necessary by way of the following criteria: there are unique site constraints that would prevent such provision; or*

*- that the proposed housing mix meets the specific demand required in an area, having regard to the prevailing housing type within a 10-minute walk of the site and to the socioeconomic, population and housing data set out in the Housing Strategy and Interim HNDA; or*

*- the scheme is a social and / or affordable housing scheme. The applicant has not provided a rationale for the provision of 1- and 2-bedroom units only in this 11- unit scheme. The applicant should provide a rationale by way of additional information.*

### **Response:**

In response to the above, please refer to drawing no. 2110-PLA-04-FI prepared by Davey + Smith Architects which illustrates the proposed plans, elevations, and sections. The proposed unit mix include:

3 no. 1 bed units = 30%

6 no. 2 bed units = 60%

1 no. 3 bed units = 10%

### **Item 5: Single Aspect**

*There is 1 single aspect unit proposed. This unit could be provided with east-facing window to make it dual aspect – there may be a design rationale for this, which the applicant might wish to comment on in their additional information submission.*

### **Response:**

In response to the above, please refer to drawing no. 2110-RFI-04 prepared by Davey + Smith Architects which illustrates the proposed third floor, where 2 no. windows added are added to apartment no. 9 and therefore proposing a triple aspect apartment.





## **Item 6: Public Realm – Landscape Plan and Details**

1. *The applicant is requested to submit comprehensive and detailed landscape proposals for the development, prepared by a qualified Landscape Architect. Such proposals should include a scaled landscape plan(s) with cross - sections, showing the layout and hard and soft treatment of all boundaries, features, external areas and green spaces. The proposals shall be accompanied by specifications for materials, workmanship and maintenance, together with proposed design details.*

*Hard landscape details are to include, where applicable, those for any proposed lighting, seating, kerbing, boundaries, edging, surfacing and water features. Soft landscape details are to include detailed planting plans and planting schedules, stating species/varieties, quantities, sizes, rootball presentation and spacings. The landscape plan shall be accompanied by a timescale for its implementation, including a minimum 18-month landscape maintenance period and defects liability clause. In addition, the applicant shall provide the following:*

*a) details in relation to the interface of site services and trees to be retained;*

*b) details in relation to public furniture/benches;*

*c) proposed locations of trees at appropriate intervals and other landscape planting in the development, including details of the size, species and location of all vegetation, including biodiversity enhancement measures;*

*d) A full set of plans and details of Hard Landscape Design for boundary treatments, seating, kerbs, edges, surfaces, lighting, and showing how the proposal will be coordinated with services & civil engineering elements;*

*e) details of Soft Landscape Design to include a detailed Planting Plan and Planting Schedule – as appropriate - stating species/varieties, indicative quantities, sizes, rootball presentation and spacings.*

*Planting mixes should specify a diverse range of species/varieties/cultivars and a diversity of forms and plant sizes (multi-stems, feathered, semi-matures, etc.); using both native and exotic species and pollinator-friendly native species (in accordance with the All-Ireland Pollinator Plan 2015-2020), all designed to provide vegetation that is visually appealing, bio-diverse, and easily managed.*

*f) details of a Landscape Management and Maintenance Plan of both communal residential and publicly accessible areas to be implemented during operation of the development. All planting shall be adequately protected from damage until established and maintained thereafter. The Planning Authority will require in the event of a grant of permission that any plants which die, are removed or become seriously damaged or diseased in the first 5 years of planting, shall be replaced within the next planting season with others of similar size and species, unless otherwise agreed in writing with the planning authority.*

### **Response:**

Ronan Mac Diarmada + Associates Landscape Architects have prepared the submitted landscaping proposals, please refer to same, however the following is a synopsis of their response to the above:

**(a)** The subject site does not have any existing trees. The proposed development introduces 6 no. types of new trees to the subject site. Please refer to Drawing no. 01 prepared RMDA.

**(b)** RMDA submits a "Landscape Rational" document which show further details of public furniture/benches for the proposed development. Please refer to same.

**(c)** Please refer to drawing no. 04 prepared by RMDA for details of the Landscape Planting Plan for the proposed development.

**(d)** The Combined Landscape and Drainage Plan (drawing no. 05) submitted by RMDA shows the overall details of the proposed landscaping coordinated with services & civil engineering elements.

**(e)** Please refer to the submitted RMDA drawing no. 01 "Landscape Plan- Ground Floor" and drawing no. 03 "Landscape Roof & Terrace Plan", which should be read with "Schedule for specifications of landscape works" report for more information on Soft Landscape Design.





(f) Please refer to the enclosed "Schedule for Specifications of Landscape Works" prepared by RMDA for details of landscape management and maintenance for the proposed development.

**Item 7: Public Realm – Open Space Provision**

*It is not clear from the information submitted if the proposal would meet the relevant open space requirements for this development. The applicant is requested to submit in table form the percentage (%) and area in sq.m of the proposed private, semi-private and public open space (where applicable) provision within the site. The applicant should demonstrate compliance with the South Dublin County Development Plan 2022 - 2028 in relation to all of these forms of open space.*

**Response:**

The proposed development has a total area of 0.204 hectares. The table below calculates the private and communal spaces for the proposed development. We conclude that the proposed development will provide 15.8% of private and communal open space. Please refer to Item 12 further on for more information on public open space.

Type of Open Space	Area (m <sup>2</sup> )	Percentage
Private	161.88	7.9%
Semi-Private (Communal)	161.67	7.9%
Public Open Space	Refer to F.I No. 12	-
<b>Total</b>	-	<b>15.8%</b>

Table 1: Open Spaces percentage for proposed development

**Item 8: Sustainable Drainage Systems.**

(A) *The applicant should demonstrate compliance with the SDCC SUDS Design Guide 2022, and Policies GI3, GI4, GI5, IE3, SM2, SM7, and sections 4.3.1, 12.7.6, 12.11.1, and 12.11.3. of the South Dublin County Development Plan 2022 - 2028 in relation to sustainable drainage systems.*

(B) *In relation to SUDs, the applicant is requested to submit plans showing how surface water shall be attenuated to greenfield run off rates and showing what SuDS (Sustainable Drainage Systems) are proposed.*

(C) *SUDs Management - The applicant is requested to submit a comprehensive SUDS Management Plan to demonstrate that the proposed SUDS features have reduced the rate of run off into the existing surface water drainage network. A maintenance plan should also be included as a demonstration of how the system will function following implementation.*

(D) *Additional natural SUDS features should be incorporated into the proposed drainage system for the development such as bio-retention/constructed tree pits, permeable paving, green roofs, filtration planting, filter strip etc. In addition, the applicant should provide the following:*

- *Demonstrate how the proposed natural SUDS features will be incorporated and work within the drainage design for the proposed development.*

- *SuDS bioretention Tree pits to be installed in trees within /draining areas of hard standing. Tree Pits to incorporate SuDS bioretention features and sufficient growing medium. SuDS details need to show how the water drains from the road/pavement hard surface into the SUDS tree pit, clearly outlining how SuDS features within the tree pits will function. The applicant is requested to refer to the recently published 'SDCC Sustainable Drainage Explanatory, Design and Evaluation Guide 2022' for acceptable SUDS tree pit details.*

(E) *The applicant is requested to submit a report to show surface water attenuation calculations for proposed development. Show on a report and drawing what surface water attenuation capacity each SuDS (Sustainable Drainage System) system has in m3. Show in report what surface water attenuation capacity is required for proposed development. Show what different surface types, areas in m2 are proposed such as, green roofs,*





permeable paving, buildings, roads and their respective run off coefficients. Submit a drawing showing the treatment train of SuDS and proposed natural flow controls for each SuDS system.

(F) Examine what capacity in m<sup>3</sup> the proposed SuDS system can attenuate and check if proposed attenuation infiltration tank can be reduced in size by way of having SuDS provide respective surface water attenuation.

**Response:**

CORA Consulting Engineers have prepared the submitted drawings and details in relation to SUDS – please refer to same.

**Item 9: Sustainable Movement.**

(A) The applicant has not indicated how right-turning movements into and out of the site will be accommodated safely. The applicant is requested to submit a revised layout of not less than 1:200 scale showing the location of a yellow box arrangement in relation to the proposed development.

(B) (i) In terms of access for larger vehicles, the applicant should show how they are compliant with the relevant regulations, to the extent that they would receive a fire safety certificate for the proposed layout. Plans should show, using swept path analysis, how fire tenders can access the site if required.

This is an item for additional information. The applicant should have cognisance of DMURS section 4.3.3. and the occasional access requirements for larger vehicles.

(ii) The applicant should also show by way of additional information how it is expected that refuse will be collected from the site and if bin lorry access is required on the site, provide swept path analysis showing that this is possible. The applicant should have cognisance of DMURS section 4.3.3 and the occasional access requirements for larger vehicles.

(C) The applicant is requested to submit accurate plans demonstrating the provision of a visibility splay of 2.4m x 49m in both directions from the entrance. Sightlines should be shown to the near side edge of the road to the right-hand side of entrance and to the centreline of the road to the left-hand side of the entrance (when exiting).

(D) The applicant should submit revised plans which show how the proposed development facilitates the BusConnects project. The National Transport Authority states that it is available to consult on this matter (see their submission).

(E) The applicant should submit a revised layout of not less than 1:200 scale, showing carriageway and footpath widths throughout the development. The applicant should demonstrate compliance with DMURS section 4.4.1 with regard to a shared surface street.

(F) The applicant is requested to submit a breakdown of the car parking designation for the apartments, the pub and the shop. The applicant should consider and state whether any of the proposed uses are complementary and can share parking.

**Response:**

9 (A) CORA Consulting Engineers prepared the enclosed drawing no. 200A "Proposed Site Entrance Sight Lines Existing Road Layout" which illustrates the location of the Yellow Box arrangement in relation to the proposed development – please refer to same.

(B) (i) Please refer to the submitted drawing no. 202A prepared by CORA Consulting Engineers that illustrates the "proposed fire truck vehicle tracking existing layout" in response access for larger vehicles.

(ii) The proposed development will require bin lorry services. CORA Consulting Engineers have prepared drawing no. 201B which illustrates the refuse truck tracking for the proposed development.

(C) Please refer to drawing no. 200A "Proposed site entrance sight lines existing road layout" for details relating to a visibility splay of 2.4m x 49m in both directions from the entrance and sightlines illustrated to the right hand side of the entrance and to the centreline of the road to the left-hand side of the entrance (when exiting).





(D) Please refer to the enclosed drawing no. 2110-RFI-03 prepared by Davey + Smith Architects, which illustrates the proposed site layout facilitating the BusConnects project. The proposed BusConnects layout serves the proposed development via Greenhills Road R819. The area will be served by "D Spine" route which is made up of frequent timetables bus services that serves from Greenhills Road to City Centre.

(E) Davey + Smith Architects have prepared the submitted drawing no. 2110-RFI-06 which illustrates the street section of the proposed development showing kerb, road and pedestrian only zone widths compliant with DMURS.

(F) the proposed development will include 1 no. disabled parking, 2 no. EV parking and 16 no. car parking spaces, all of which are to be shared between the three proposed uses (gastropub, local shop, and apartments). As per the car parking standards in the South Dublin County Development Plan 2022-2028, maximum parking rates are displayed in tables 12.25 and 12.26. The proposed number of car parking for the apartments, the pub and the shop are within standards according to the county development plan.

#### **Item 10: Irish Water**

*(A) The applicant should engage directly with Irish Water and submit a Confirmation of Feasibility from Irish Water, as additional information, with respect to water supply and wastewater connections.*

*(B) The applicant should demonstrate the relationship between the proposed development and the 225mm public foul sewers in close proximity to the site, and show using plans and cross-sectional drawings, as necessary, that the proposed development would not lead to inappropriate loading on the public pipes.*

#### **Response:**

(A) In response to 10 (A), we submit the following Confirmation of Feasibility from Irish Water to CORA Engineers dated 29<sup>th</sup> September 2022 (Ref. CDS22006899). Please find same attached in the submitted report "Water Service and Flood Risk Assessment" prepared by CORA Consulting Engineers.

(B) CORA Consulting Engineers have prepared drawing no. 101 "Proposed Drainage Layout Plan" that illustrates the relationship between the proposed development and the 225mm public foul sewers. Please refer to the aforementioned enclosed drawings and report prepared by CORA Consulting Engineers.

#### **Item 11: Noise**

*The applicant is requested to provide:*

*(A) An assessment for the potential for noise nuisance from the operational use of the public house and retail unit.*

*(B) Proposals to negate noise nuisance from the operational use of the public house and retail unit must be submitted to ensure compliance with BS 8233 Guidelines for Sound Insulation and Noise Reduction for Buildings.*

*Additionally, the applicant should:*

*(C) demonstrate that the proposed development would support Policy IE8 of the South Dublin County Development Plan 2022 - 2028.*





## Response:

In response to 11 (A) & (B) of this Additional Information request, we enclose “An acoustic review of proposed Cuckoo’s Nest Pub & Apartments” report prepared by ICAN Acoustics Noise and Vibration Consultants to which concludes that the “*new development is considered to be within acceptable levels and predicted levels clearly show that the Gastropub and Retail space will not have an appreciable impact on the surrounding environment*”. Please refer to the enclosed report for more information in response to items 11 (A) & (B).

In response to 11 (C), the proposed development supports Policy IE8 “*Seek to take appropriate steps to reduce the effects of air, noise and light pollution on environmental quality and residential amenity in line with European, National and Regional policy and legislation.*” *In the development plan.* The proposed development is approx. 6km away from Casement Aerodrome (Baldonnel), as the crow flies. We submit the following Aviation safeguarding map prepared by South Dublin County Development Plan 2022-2028 (figure 1 below) which illustrates the site location in proximity to Casement Aerodrome. We can confirm that the proposed development does not impact aviation within the area as the proposed development will only reach 13.8m height above the ground, please refer to drawing no. 2110-RFI-04 for elevations of the proposed development.

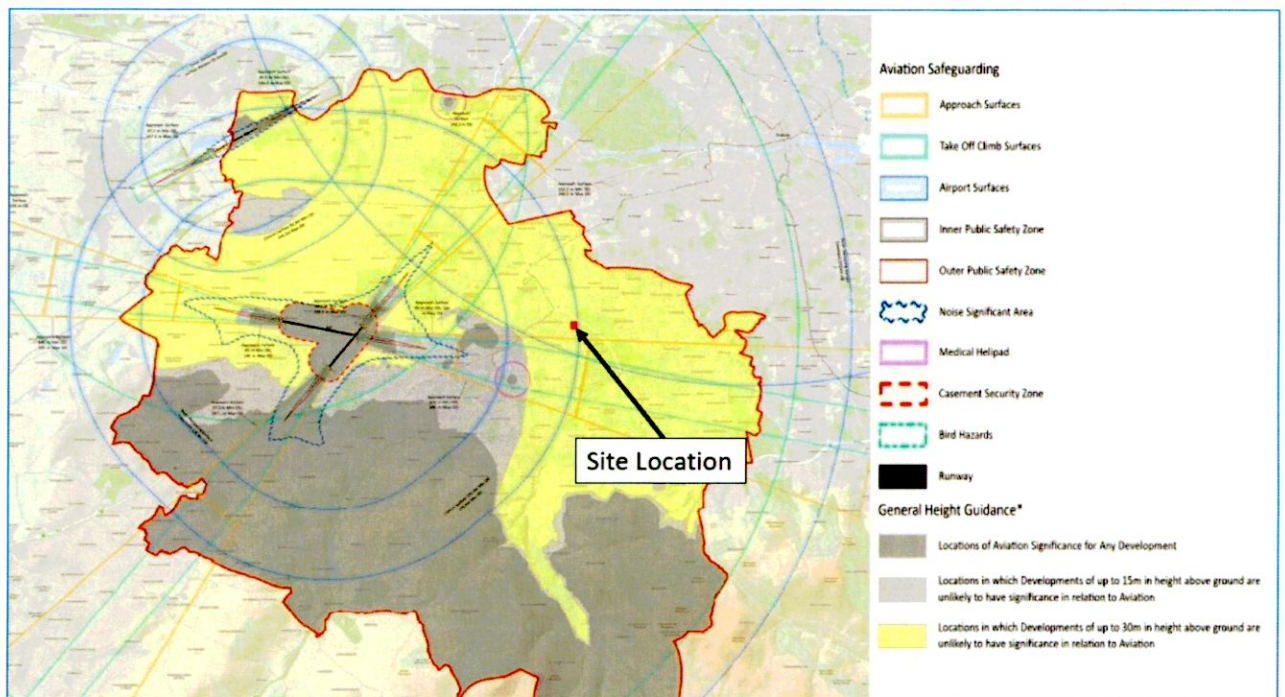


Figure 1: Aviation Safeguarding (Source: South Dublin County Development Plan 2022-2028, Edit: AFA)

## Item 12: Public Realm – Public Open Space

The applicant should provide as additional information, alternative proposals which provide for public open space as per the permitted development, or else guarantee improved local access to public open space (in accordance with permission SD16A/0157), and the provision of appropriate facilities through contributions in-lieu. In either case, the applicant is to demonstrate compliance with the following policies, objectives and guidance in the South Dublin County Development Plan 2022 -2028:

- Policy H8
- in particular, Policy H8 Objective 3
- Section 8.4.1 in particular as it relates to public open space
- Section 8.7.1 in particular as it relates to accessibility
- Policy COS5
- Table 8.2.





## Response:

As outlined in the initial planning application details, the subject site has a lengthy planning history attached to it, with the most notable/relevant permissions being:

- **Reg. Ref. SD16A/0157** – permission was granted on 13/02/2017 to Phyllis Lynch for a mixed-use residential development. The proposed development consisted of the demolition and redevelopment of both the Tallaght Theatre and the Cuckoo's Nest public house, as well as the construction of a residential development comprised of 45 no. dwellings to be accessed via two no. vehicular access points off Greenhills Road. The 45 no. dwellings and new Tallaght Theatre have been delivered to date.
- **Reg. Ref. SD19A/0287 & ABP-306030-19** – permission was granted for of the demolition of the rear and side extensions of the existing building but retaining the original front part of the building. It is proposed to accommodate a café (137sq.m) at ground floor level of the existing building & a 2 bed apartment overhead at first floor. The proposed development also provides for the construction of a 3 and 4 storey building to the side and rear of the existing building, accommodating 18 no. apartments. The proposed residential accommodation consists of 19 no. apartments in total, comprised of 12 no. 1 bed apartments and 7 no. 2 bed apartments. The proposed development will be a modification to an extant permission under Ref. SD16A/0157, with access to the development via an existing / permitted vehicular entrance off the Greenhills Road. The proposed development includes for all associated site development works, surface car parking, bicycle parking, open space & landscaping, pedestrian access to the adjoining Temple Woods development, bin storage and the retention of an existing cellar (84.1m<sup>2</sup>) underneath the public house which will be used as a plant room for the proposed apartment building, all on a site area of 0.24ha. The Planning Authority's decision was the subject of a third party appeal but permission, subject to conditions, was granted by An Bord Pleanála on 7<sup>th</sup> April 2020. The permission granted allows for 16 no. apartments as well as the café use. This permission has not been enacted.

Since the issuing of the extant grant of permission (Ref. SD19A0287), the subject site has changed ownership, and the applicant now wishes to re-establish The Cuckoo's Nest as a public house and to deliver a type of development that is similar to that already permitted. The Cuckoo's Nest public house has long been established as a local landmark. Since 2016, the overall lands have changed ownership with the original owners The Lynch family vacating the property, selling it to Legendstand Ltd who delivered the new Tallaght Theatre and the 45 no. dwellings that form Temple Wood. Subsequent to that, the current applicant, Mr. Mulvaney, purchased the application site, and has experience in the hospitality sector and given his local connections to the area. He is now seeking to re-establish the public house use at The Cuckoo's Nest, which will once again act as a local landmark. Mr. Mulvaney has no ownership or control over the adjoining lands at Temple Wood. However, we have contacted Legendstand Ltd who have confirmed to us that the "taking-in-charge" process of Temple Wood with South Dublin County Council (SDCC) has commenced. We understand that the Public Realm Section of SDCC has confirmed that the green areas to be taken in charge in Temple Woods Estate are acceptable to the Public Realm Section and meet relevant Public Realm TIC Standards, and have taken same in charge.

In addition, there is an existing pedestrian access route between the Tallaght Theatre to the immediate north of the application site and adjacent to the main vehicular access into the application site. This route/path is currently in use by residents of Temple Wood facilitating access out to the Greenhills Road. The existing path has a kerb that will abut the proposed shared surface and will provide direct access from the proposed development into Temple Woods and the open space within same. This path abuts the current red line of application and no boundary treatment along said path is proposed or permitted, therefore, upon completion of the proposed development, this area will be open and permeable. Existing open space within Temple Wood, which was originally designed to serve the entire site, including the subject application site, is located along the northern and southern boundaries of the site, with a larger area of open space in the eastern part of the site directly abutting Tymon Park, Dublin's second largest park. As outlined above, the existing open space in





Temple Wood has been delivered to taking in charge standard, with a total open space provision of approx. 1,400m<sup>2</sup>, with the Temple Wood development essentially surrounded on three sides by Tymon Park. The parent permission granted under Ref. SD16A/0157 provided for pedestrian and cyclist access into Tymon Park which we consider addresses the request to guarantee improved local access to public open space.

The subject application site occupies a red line boundary area of 0.24Ha (2,400sq.m), with a 10% open space requirement, as per Table 8.2 of the Development Plan, which equates to 240sq.m. However, for the purposes of this application, the applicant is willing to pay a contribution in lieu, for the shortfall of open space required within the red line of application. Given the brownfield nature of the application site, and the development carried out to date under the parent permission Ref. SD16A/0157, including open space provision and delivery of a new Tallaght Theatre, the proposal to pay a contribution in lieu for the shortfall of open space required within the red line of application is considered compliant with Policy H8 Objective 3 of the South Dublin County Development Plan 2022 -2028. Public open space has been provided to a taking in charge standard in Temple Wood in accordance with the permission granted for same (Ref. SD16A/0157) as well as abutting Tymon Park, Dublin's second largest park that includes three distinct play areas, near the Templeogue entrance, close to the lakes, where there is a modern, spacious playground, with soft, multi-coloured, rubber surfaces, which is split into two sections:

Green Zone (ages 2 to 6) - which is suitable for toddlers and younger children and has activities such as a play panel, springers, roundabout, see-saw and four baby swings;

- a) Blue Zone (ages 6 to 12) – which is suitable for school-aged children and contains a multi-play unit, swings, slides, basket swing and roundabouts.
- b) The Wooded Adventure Trail is also within Tymon Park and caters for ages 10 and up - this specially-planted woodland is located just behind the playground and includes wooden climbing frames, spiral ropes, and outdoor trails for older children and teenagers.

The proximity of the subject site to Tymon Park is considered to comply with Policy COS5 of the Development Plan which seeks to *“Provide a well-connected, inclusive and integrated public open space network through a multi-functional high-quality open space hierarchy that is accessible to all who live, work and visit the County”*.

Notwithstanding the standards set out in Table 8.2 of the Development Plan, we note that section 8.7.4 of the Development Plan also states that while the *“Council’s general intent is to ensure a minimum provision of public open space on site, within the relevant zoning, as set out under Table 8.2 Public Open Space Standards”*, and that *“the Council may in certain circumstances and at its sole discretion, determine a financial contribution in lieu of all, or part of, the public open space requirement for a particular development. These circumstances may include (but are not limited to) situations where public open space requirements cannot be met on site in full or partially because:*

- *the provision of open space would be so small that it would not be viable due to the size, shape, configuration or context of the site;*
- *an element of off-site provision would better facilitate the proposed development and allow for the improvement of existing open space or improvements to the GI Network located in the vicinity of the site”*.

The application site is currently comprised of a half demolished public house that was a prominent local landmark, with the renovation and extension of same now the subject of this application for permission. The configuration of the site does not cater for the provision of a viable public open space. However, direct connections to the existing open space in Temple Wood and to Tymon Park from the proposed development have been catered for under previous permissions attached to the overall site which will not be impacted upon by way of the current proposal and therefore, the proposal to pay a contribution in lieu is considered appropriate and in accordance with the requirements of the Development Plan.





## Conclusion & Request that Permission be Granted:

We consider that all the items that required Additional Information have been fully addressed. The applicant seeks permission to provide a sustainable use on what is currently occupied by The Cuckoo's Nest public house which has been closed for a number of years. The parent permission attached to the site (Ref. SD16A/0157) provided for the development of 45 no. houses and apartments, a new Tallaght Theatre and the demolition of the majority of the existing Cuckoo's Nest public house, extension and alteration to same. To date, the Tallaght Theatre has been built and the houses/apartments built and occupied within what is now known as Temple Woods. Subsequent to granting of permission under Ref. SD16A/0157, there is an extant permission (Ref.s SD19A/0287 & ABP-306030-19) attached to the current application site which provides for café use in the original Cuckoo's Nest structure and a new 3-4 storey building to the side and rear of same accommodating 16 no. 1 and 2 bed apartments. The ownership of the site has changed since the latest/extant permission was granted and the applicant now seeks to restore the Cuckoo's Nest pub on site, by way of a new gastro pub, which will be accommodated in the original structure that will be retained and extended by way of a new 3-4 storey building that will wrap around the existing structure and accommodate shop local use next door at ground floor level and 10 no. 1, 2 and 3 bed apartments overhead.

The design, scale and height of the proposed development will be complementary to the new Tallaght Theatre to the north and all of the residential development delivered to date in Temple Wood. The proposed development provides for a landmark building on what is a prominent position fronting on Greenhills Road, creates a strong urban streetscape and will be an architectural improvement from its current condition.

We request that the Planning Authority takes a holistic view of the context and current condition of this site and appreciate that the applicant essentially wishes to modify part of the extant permission attached to the site (under Ref.s SD19A/0287 & ABP-306030-19) in order to complete a sustainable and properly planned development at the site of The Cuckoo's Nest public house.

We consider that the proposed development accords with the proper planning and sustainable development of the area and as such ought to be granted permission. We trust that the Planning Authority will give due consideration to the merits of the subject application, and we look forward to a favourable decision in due course. Please refer to the pages over for a full list of enclosures.

Yours faithfully,

Tracy Armstrong, BA, MRUP, MIPI, MRTPI  
Managing Director,  
**Armstrong Fenton & Associates.**





**Enclosures:**

We enclose six copies of the following in support of this submission of Additional Information:

**Prepared by Armstrong Fenton Associates, Planning & Development Consultants:**

Document / Drawing No.	Title	Scale
N/A	Further Information Response Letter	A4 Letter

**Prepared by Davey + Smith Architects:**

Drawing/Document No.	Description	Scale
2110- RFI-01	Site Location Map & Existing Building Survey	As Shown
2110- RFI-03	Proposed Site Layout & Contiguous Elevations	As Shown
2110- RFI-04	Plans, Elevations, Sections	As Shown
2110- RFI-05	Temple Court Apartments- Kitchen Windows	1:500, 1:10, 1:200 @ A3
2110- RFI-06	DMURS Shared Surface Cross Section	1:100, 1:500 @ A3

**Prepared by ICAN Acoustics Noise and Vibration Consultants**

Drawing/Document No.	Description	Scale
N/A	An acoustic review off proposed Cuckoo's Nest Pub & Apartments	A4 Report

**Prepared by RMDA Landscape Architecture + Consulting:**

Document / Drawing No.	Title	Scale
N/A	Schedule for Specification of Landscape Works	A4 Document
N/A	Landscape Rationale	A3 Document
01	Landscape Plan- Ground Floor	1:100 – Plan or As Shown
02	Boundary Plan	1:100 – Plan or As Shown
03	Landscape Roof & Terraces Plan	1:100 – Plan or As Shown
04	Landscape Planting Plan	1:100 – Plan or As Shown
05	Combined Landscape and Drainage Plan	1:200 – Plan or As Shown





Prepared by CORA Consulting Engineers:

Drawing/Document No.	Description	Scale
21816	Preliminary Construction & Environmental Management Plan	A4 Document
21816	Water Services and Flood Risk Assessment	A4 Document
101	Proposed Drainage Layout Plan	1:200 @ A1
102	Proposed Surface Water Management Schematic	N.T.S
103	Drainage Details Sheet 1	N.T.S
104	Drainage Details Sheet 2	N.T.S
105	Drainage Details Sheet 3	N.T.S
200A	Proposed Site Entrance Sight Lines Existing Road Layout	1:200 @ A1
201A	Proposed Refuse Truck Vehicle Tracking Existing Road Layout	1:150 @ A1
202A	Proposed Fire Truck Vehicle Existing Road Layout	1:150 @ A1
202A1	Proposed Fire Truck Vehicle Existing Road Layout	1:150 @ A1
203A	Proposed New Road Marking Existing Road Layout	1:150 @ A1
200B	Proposed Site Entrance Sight Lines Proposed New Road Layout	1:200 @ A1
201B	Proposed Refuse Truck Vehicle Tracking Proposed New Road Layout	1:150 @ A1
202B	Proposed Fire Truck Vehicle Tracking Proposed New Road Layout	1:150 @ A1
202B1	Proposed Fire Truck Vehicle Tracking Proposed New Road Layout	1:150 @ A1
203B	Proposed New Road Markings Proposed New Road Layout	1:150 @ A1







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