

DESIGN RATIONALE

No. 636 Whitechurch Road, Rathfarnham, Dublin 16.

**In Response to Request for Further Information
relating to Reg Ref. sd22b/0357**

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INTRODUCTION

We have been instructed by our clients, Ciaran & Catherina McCabe to prepare and lodge an application for planning permission, and subsequent Request for Further Information, for works to an existing dwelling comprising the demolition of the existing extension to the rear and construction of a partially sunken part one storey, part two storey extension. Proposals include internal alterations to the existing house, front garden, widening of existing vehicular entrance, a new front stone boundary wall and all associated site, landscaping and ancillary works, at No. 636 Whitechurch Road, Rathfarnham, Dublin 16.

The owners, who have recently bought the house, are committed to protecting the historic character of the existing house and through sensitive refurbishment look to extend the accommodation to house their young family. The proposed works seek to preserve and enhance the special value and visual setting of Whitechurch Road, of which No. 636 is a contributing component.

In response to the Request for Further Information by South County Dublin Council, issued on the 3rd of October 2022, this document has been updated to reflect the revised proposals.




HISTORICAL CONTEXT

Per the South Dublin County Development Plan 2022-2028, the site is currently classified as *RES: Existing Residential*, which seeks to protect and/or improve residential amenity and, is located within an Architectural Conservation Area (ACA). The house itself is not listed in either Schedule 2 Record of Protected Structures for 2016-2022 or Appendix 3A Record of Protected Structures for 2022-2028 Development Plan. However, is included in the National Inventory of Architectural Heritage as a building of special interest (Reg No. 11216098). Per these designations, this design statement looks to supplement the application and summarise the key considerations for the proposed scheme.



-Extract Map 10, 2022-2028 Development Plan

USE ZONING OBJECTIVES

-  objective res To protect and/or improve residential amenity
-  Record of Protected Structures (See Written Statement)
-  Architectural Conservation Areas

Extract from National Inventory of Architectural Heritage:

Reg No		11216098
Rating		Regional
Categories of Special Interest		Architectural, Social
Original Use		House
In Use As		House
Date		1900 - 1910
Coordinates		314490, 226729
Date Recorded		20/05/2002

SITE CONTEXT

The Architectural Conservation Area (ACA) comprises twenty-two early 20th Century semi-detached local authority cottages lining one side of Whitechurch Road. The roads distinct character and streetscape of special significance is achieved by the common palette of materials and repeating architectural elements.



-Street Elevation, Whitechurch Road

The single storey cottage has a projecting gabled granite porch and replacement door with a semi-circular fanlight. The front and side facades are finished in coursed squared rough granite with replacement white pvc windows.



-Front Elevation, No.626 Whitechurch Road



-Rear Elevation, No.626 Whitechurch Road

The brick chimney stacks, and natural slate roof are intact along with timber facias to the side and porch. To the rear is a flat roof, white painted, pebbledash extension currently housing the kitchen, bathroom and additional living space.



-Front / Side Elevation, No.626 Whitechurch Road



-Rear Elevation, No.626 Whitechurch Road

Eighteen of the twenty-two properties lining Whitechurch Road have been extended, whilst maintaining the overall streetscape. Nine of them have built significant two-storey rear extensions, including the adjacent No. 637.



-Extended No.637 Whitechurch Road

PLANNING HISTORY

REF: SD12A/0183; Refused

This was for the development of a new build detached three bed dwelling in the rear garden of No. 636 Whitechurch Road which was refused.

DESIGN RATIONALE

The proposed extension looks to retain the existing character of the cottage and use it as the basis to create a four-bed family home. It seeks to preserve and protect its historic character by making it the feature element of the house with this further enhanced in the revised proposal.

In developing this proposal, careful consideration was given to achieving a high standard of design that positively contributes to the character and sense of place. Within this the materials and roof forms of the extensions have been amended to create a visually separate element from the original house with an overall reduction in mass to insure it appears as subsidiary to the original house.

The design retains the idea of the three volumes: the existing single-storey pitched roof cottage, a new flat roofed two-storey element at the rear and a flat roof, glazed, entrance hall which is designed to act as linking piece. The linking piece is key to the design as it allows the two elements to read independently and create a separation between the two larger forms. With this separation it also has the effect of pushing the extension back, away from the road.

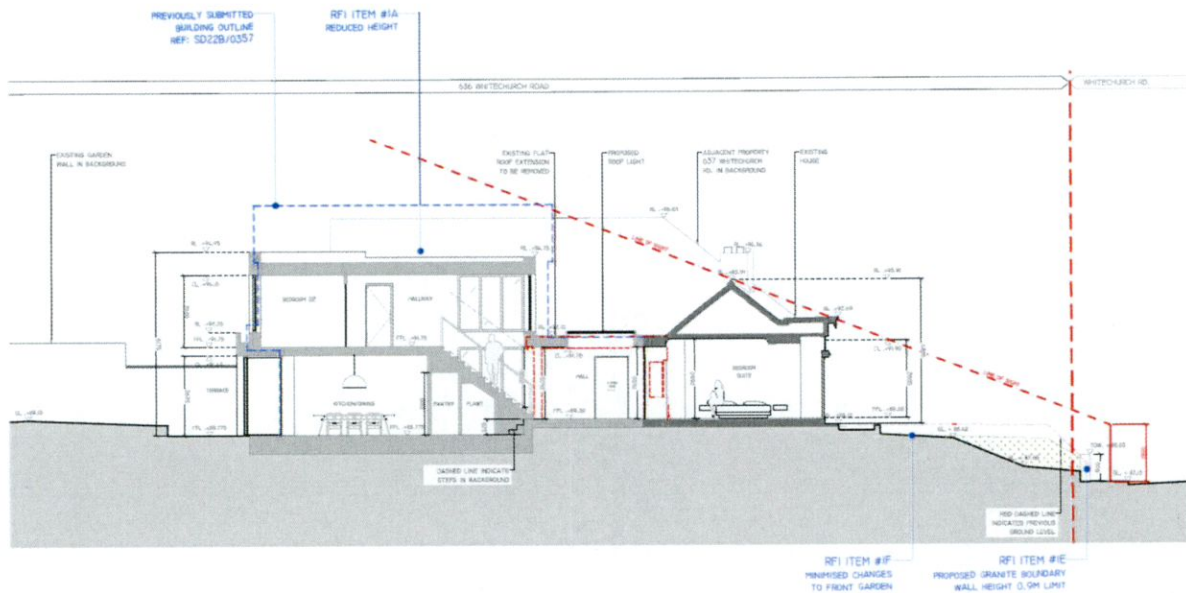
In terms of the original house, the intention is to enhance it by bringing out its original external features and replacing / removing out of character amendments. A key part of this will be the replacing the current white PVC windows with white painted timber sash to have consistency with the attached and recently renovated No.673 whilst also aligning more closely with what would have originally been installed. However, should the planning authority wish to pursue an alternative then the applicant would be to accept this.

Through the removal of the existing rear extension (see image overleaf), we intend to expose the characteristic granite wall finish on the rear façade which we believe to be in place and use it as a feature wall within the newly created entrance hall to the side of the property.

The proposals will see the later extension (finished in white render) removed and replaced with a lighter glazed entrance element, with the exposed granite, again a key part of it.



The two-storey element, containing a new open plan living area and three bedrooms, is positioned at an angle to the cottage to align with the boundary. Increased efforts have been made to reduce the impact of the extension by further recessing the lower ground floor level into the ground and dropping the height of the roof via the replacement of the pitched roof with a flat roof. This serves to make sure that the overall height of the extension does not overpower the original house and given that the road level to the front is considerably lower than that of the house the roof will not be visible from the front elevation of the property. This is demonstrated in the extract below.



The position and form of the proposals also balance the required 3m wayleave to the watermain located in the garden to the rear of the property which is indicated in the drawings provided with the application.

The materiality of this proposal has been further developed to introduce a metal to cladding to the first floor in lieu of a fully rendered façade to create a more contemporary palette and fully emphasise the separation in both form and finish between the old and the new.

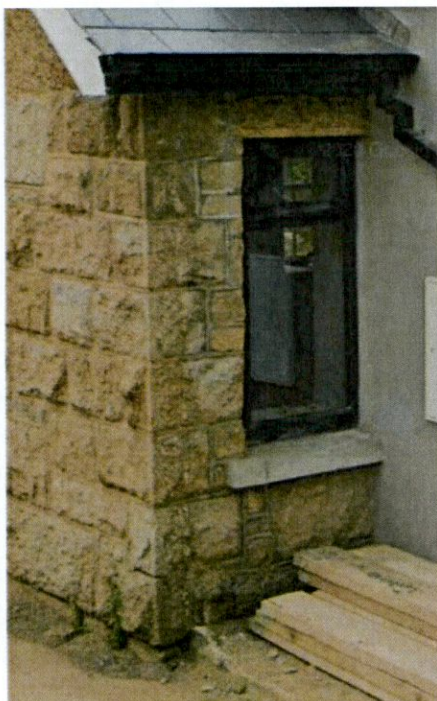
At the front of the house, the existing front garden is now proposed to be landscaped to create a slope that connects the level of the house to that of the site entrance and remove the steep embankment presently in place. A new granite wall, to match that of No.637, will then form the boundary with the width of the site entrance increased at the same time to allow for safer entry and exit to and from the house by improving visibility.

CONSERVATION

As previously noted, the owners are committed to repairing and enhancing the original building and maintaining it as a key part of the proposals. Included in this is the proposed window replacement and intended exposure of the rear granite wall.

Further to this however the proposed works will look to generally upgrade the building's fabric to improve its overall performance and undertake any required maintenance, such as to the roof, facias, stonework and pointing to ensure the longevity of the house.

In the carrying out of these works' materials will be enhanced and in keeping where possible.



-Rear granite wall visible at No.637 Whitechurch Road



-Example of UPVC window to be replaced



existing cottage and existing rear extension



-Example of

maintenance required to facias

-Junction of

CONCLUSION

The overriding concept for the design of the extension is to use the original house as the centrepiece of the proposals, with the intent being to protect the fabric of the original existing house.

Having bought the property, the owners are both aware and committed to maintaining the house with the intention being to make it large enough to house their young family. As a result, alterations that are required to upgrade the house will be done using recognised conservation guidelines and carried out by skilled personnel, with a proven track record of working with old buildings such as this one.

The modifications are intended to sympathetic, with the proposed extension designed to allow the existing house to read independently whilst also ensuring its longevity for years to come.