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5th Floor, The Glass House
11 Coke Lane, Smithfield,
Dublin 7.
D07 WNP2

LIMERICK

11 The Crescent
Limerick,
V94 V2VW



South Dublin County Council
Land Use, Planning & Transportation Department
County Hall
Tallaght,
Dublin 24,
D24 A3XC

Date: 5th December 2022

RE: RESPONSE TO REQUEST FOR FURTHER INFORMATION IN RESPECT OF A PLANNING APPLICATION FOR DEMOLITION OF EXISTING FLAT ROOF EXTENSION TO THE REAR; CONSTRUCTION OF A PART SINGLE-STOREY FLAT ROOF, PART TWO STOREY PITCHED ROOF EXTENSION, WHICH IS PARTIALLY SUNKEN TO THE REAR, WITH TWO ASSOCIATED ROOFLIGHTS; REPLACEMENT OF THE FRONT EXISTING PVC WINDOWS WITH TIMBER FRAME WINDOWS; WIDEN EXISTING VEHICULAR ENTRANCE, CREATION OF A NEW PARKING AREA TO THE FRONT OF THE PROPERTY AND NEW FRONT STONE BOUNDARY WALL, TOGETHER WITH ALL ASSOCIATED SITE, LANDSCAPING AND ANCILLARY WORKS TO THE SITE LOCATION IN AN ACA, AT 636, WHITECHURCH ROAD, RATHFARNHAM, DUBLIN 16

SOUTH DUBLIN COUNTY COUNCIL REG. REF: SD22B/0357

Dear Sir/Madam,

1.0 INTRODUCTION

1.1 On behalf of the applicant's, Ciaran and Catherine McCabe, Virtus has been appointed to provide a response in planning terms to the above referenced request for further information, issued by South Dublin County Council on the 3rd October 2022.

2.0 BACKGROUND AND CONTEXT

2.1 The proposed extension to the existing dwelling is required to ensure the viable long term use of the property as a family home. The applicants recently purchased the property with a dedication to restore the character of the original cottage whilst also providing for the needs of their young family. This requires additional floorspace at the property by way of an extension.

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- 2.2 A number of significant amendments have been made to the proposed development, on foot of the RFI, compared to that originally submitted. These are summarised below and are included on the enclosed drawings.
- 2.3 We note in the first instance however that there are a number of guiding principles that have informed the enclosed proposals:
- The location of the watermain in the rear garden of the property at 636 Whitechurch Road and the requirement to maintain a 3m wayleave either side of this watermain. This constraint informs the footprint of the proposed extension.
 - The angled nature of the rear garden and particularly the northern boundary which is at an oblique angle. This creates some challenges in terms of providing useable and efficient floorspace on the proposed extension and informs the footprint and setting out of the proposal.
 - The location of the site within the Whitechurch Cottages Architectural Conservation Area (ACA). We note the comments of the SDCC Architectural Conservation Officers Report on the planning application. Having regard to the ACA, it is recognised that any extension to the property must not detract from the character and appearance of the area, and particularly the character and appearance of the row of cottages as viewed from Whitechurch Road.

3.0 RESPONSE TO REQUEST FOR FURTHER INFORMATION

- 3.1 The request for further information reads as follows:

"1. The applicant is requested to submit a complete revised design to provide a more suitable and sensitive development at this location within Whitechurch Cottages ACA.

(a). The height should be reduced and kept within the ridge line of the existing cottage.

(b). The layout of the proposed extension should also be set back within the side building line.

(c). A contemporary overall design with materials and finishes to reflect the existing building material of Whitechurch Cottages would be welcomed.

(d). Details of the correct historic replacement windows to match the original timber casement of the cottage should be provided, it is advised that the neighbouring cottages where windows are original or historical types reinstated should be used as examples.

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(e). Retention of original boundary (granite stone wall) treatment and entrance and only where the original stone boundary wall needs to be reinstated or repaired should be indicated. Any new wall shall be limited to a maximum height of 0.9m, and any boundary pillars shall be limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles.

(f). Revised landscape plan/site layout to the front of the cottage in keeping with a simple overall design and omission of balustrades to the front of the cottage as the same design element could be achieved with stepping planters and low stone retaining walls for planting”.

3.2 We address each of the subsections to Item 1 in term below:

Item 1(a)

- 3.3 The scheme as amended in this response to the request for further information incorporates a reduction in height of the proposed extension from 7.2 metres as originally submitted to a maximum of 5.6 metres as now proposed.
- 3.4 The finished floor level has been reduced to facilitate a lower building height relative to the existing dwelling and a flat roof has been introduced.
- 3.5 With the distance created to the rear of the existing dwelling by way of the single storey link element, this height is considered to be acceptable and will not detract from the existing dwelling or represent an overbearing element.
- 3.6 It is respectfully submitted that the reduction in height strikes an appropriate balance between the needs of the family for the extended home and the conservation requirements of the area, ensuring that the roof profile of the new extension will not be visible from the front elevation of the property. The dominance of the existing bungalow is therefore maintained.

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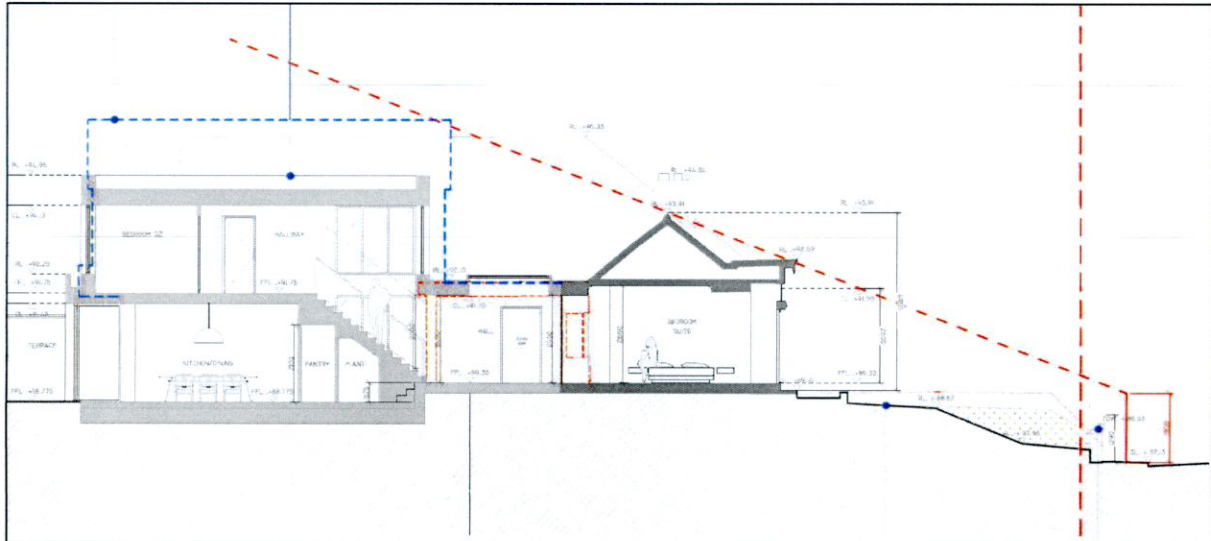


Figure 1: Extract from Adrian Hill Architects Dwg. No. P(400)

3.7 We refer to further detail on the reduction in height included in the Architectural Design Statement from Adrian Hill Architects.

Item 1(b)

3.8 The incorporation of a lightweight link or bridging element between the cottage and the new extension in the design is considered to be a key element of protecting the primacy of the existing bungalow. This takes the appearance of a single storey flat roof element with a predominance of glazing in elevation, ensuring that the new extension is both removed (in physical and distance terms) from the existing dwelling and also subservient to the existing dwelling.

3.9 Based on the request for further information, further steps have been taken to ensure that the proposed extension sits behind the southern gable line of the existing dwelling, meaning that the proposed extension will appear as a secondary or subsidiary element.

3.10 The building footprint to the south has been moved back (northwards) to be offset from, and subservient to, the existing bungalow (refer to image below, the dashed blue line being the originally proposed building line). This, coupled with the single storey transition

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element between old and new, provides an appropriate relationship to the existing dwelling.

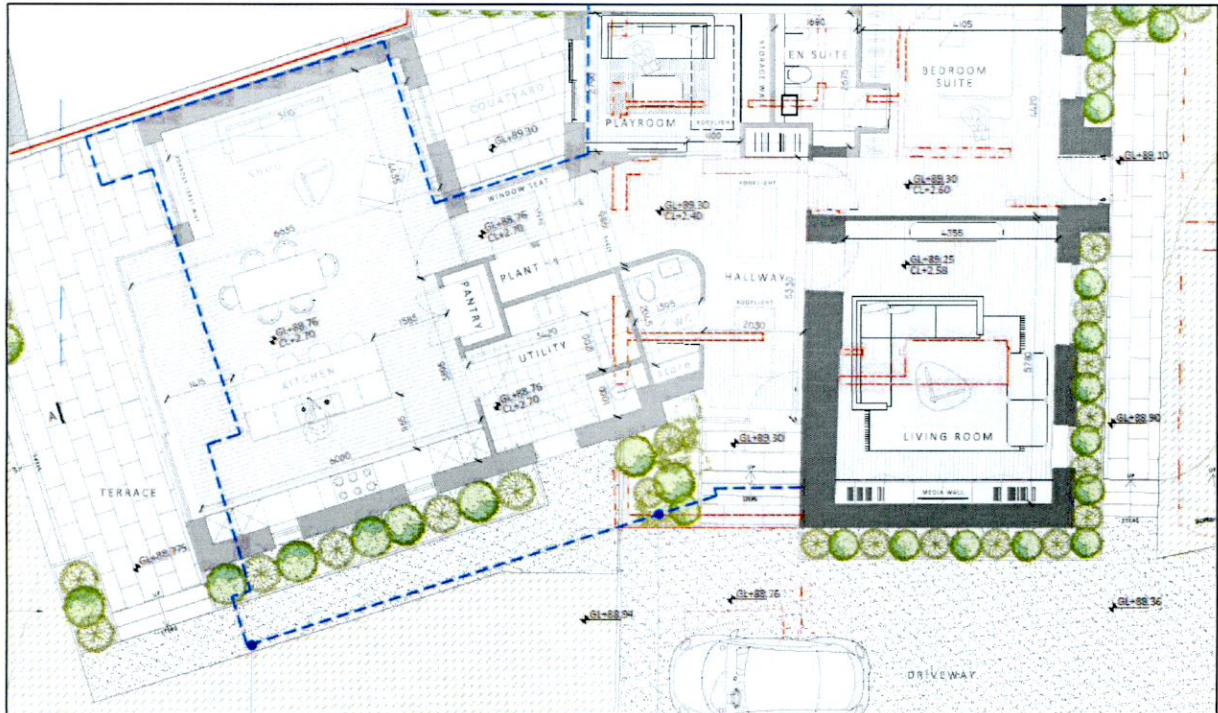


Figure 2: Extract from Adrian Hill Architects Dwg. No. PL(200)

- 3.11 The amended proposal provides for a reduction in overall gross floorspace from 222 sq.m (as originally submitted) to 210 sq.m as now proposed.
- 3.12 There is a significant reduction in the volume of the building, including in building height, as referred to below.

Item 1(c)

- 3.13 There has been a comprehensive revision to the proposed external materials for the new extension.

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3.14 Render is now proposed at ground floor and a metal cladding at first floor level of the proposed extension. This introduces a contemporary palette whilst also providing contrast to the existing dwelling, again adding to the subservience of the proposed extension. The lightweight nature of the cladding material at first floor level will allow the existing dwelling to maintain its dominance on the site.

Item 1(d)

3.15 The applicant is happy to install windows in the existing bungalow which match and/or reflect the existing historic windows in the locality.

3.16 The Whitechurch Road cottages have a mixture of historic type and modern PVC windows. In 2018 the adjoining property, No.637, replaced the cottage windows with white painted timber sash. To have consistency across our elevations, we propose matching timber sash window for the existing cottage at No. 636.

3.17 The enclosed drawings indicate timber sash windows. Should the planning authority consider that an alternative type of window is preferable, the applicant would be happy to accept a condition to a grant of permission requiring this.

Item 1(e)

3.18 For clarity, there is no existing boundary wall to the front of the property. However, the proposed development will propose to reinstate a similar stone boundary wall to neighbouring properties, together with gate piers. Refer to enclosed drawings for further details. We propose the construction of a matching granite wall and reinstatement of granite entrance pillars, to be limited to heights of 0.9m and 1.2m respectively, as requested in the Conservation Officer's report.

Item 1(f)

3.19 The proposed layout to the front of the property has been amended to retain the front garden. Parking is now proposed to the side (south) of the existing dwelling.

3.20 Of the twenty-two historical cottages along Whitechurch Road, ten have paved over their front garden to provide parking for two vehicles. The twelve other cottages maintain front lawns with some boundary planting to the side and front. No. 636 currently has an

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elevated front lawn, approximately 1.5m above the pavement and driveway levels. To minimise this difference, it is proposed to grade the lawn so it meets the driveway at a gentle slope. We also propose planting along the front boundary and directly in front of the house to further soften the landscaping.

4.0 SUMMARY AND CONCLUSION

- 4.1 It is respectfully submitted that the considered changes to the proposal as included with this response to the request for further information fully protect the conservation status of the area and the character of the existing bungalow, which also allowing for the additional functional floorspace required for modern family needs.

Yours faithfully,

Robert Keran

Robert Keran, BSc Spatial Planning, BA (Law), LLB, MIPI
Virtus