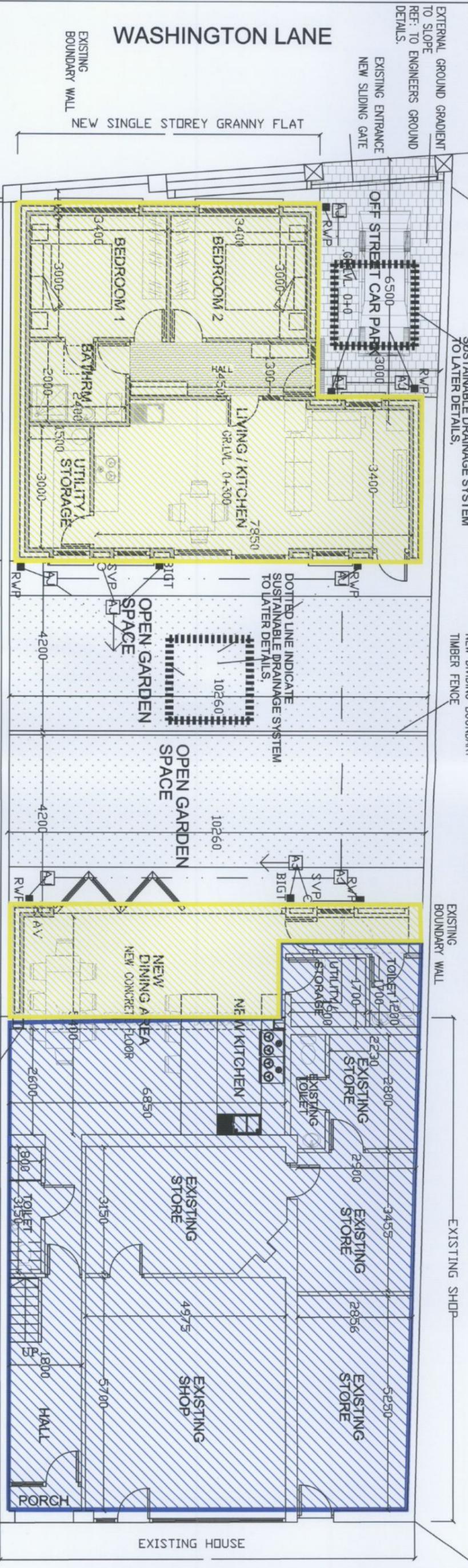


EXTERNAL WALL
 CAVITY WALL CONSTRUCTION WITH 100MM PLASTERED BLOCKWORK OUTER LEAF
 125MM CAVITY WITH FULL BONDED BEAD INSULATION
 100MM CONCRETE BLOCK WALL INNERLEAF WITH STAINLESS STEEL WALL TIES AT
 MIN 750MM CTS HORIZONTALLY AND MIN. 450MM CTS VERTICALLY,
 INNER WALL TO BE DRYLINED WITH 50MM INSULATED PLASTER BOARD MUSHROOMED
 FIXED TO WALL AND SKIMMED PLASTER FINISHED, ALL CAVITY WALLS TO BE FIRE
 STOPPED AS REQUIRED BY CURRENT BUILDING REGULATION.

NEW INTERNAL PARTITION WALL
 INTERNAL BLOCK WALL
 100MM SOLID BLOCKWORK WALL TO
 UNDERSIDE OF FLAT ROOF & FIRE SEALED
 WITH INTUMESCENT PASTE.

CEILING
 12.5MM PLASTERBOARD AND SKIM WITH FOIL BACKED PLASTER
 BOARD TO UNDERSIDE OF ROOF AND TO KITCHEN AND BATHROOM.
WINDOWS.
 SELECT ALU-CLAD WINDOW AND DOOR BY RATIONEL / CARLSON.
 FIXED IN ACCORDANCE WITH MANUFACTURERS DETAILS.
 ALL WINDOWS TO BE DRAFTPROOF.

**PROPOSED NEW SINGLE STOREY GRANNY
 ACCOMMODATION AND NEW KITCHEN EXTENSION**
 EXISTING HOUSE



PROPOSED GROUND FLOOR PLAN
 SCALE 1:100

FLOOR.
 GROUND FLOOR TO BE 75MM SCREEN ON
 150MM CONCRETE SLAB ON 100MM HIGH DENSITY KINGSPAN UNDER
 FLOOR INSULATION ON RADON BARRIER ON 50MM SAND BLINDING
 ON 200MM WELL COMPACTED CONSOLIDATED HARDCORE INFILL.

VENTILATION.
 MECHANICAL VENTILATION SYSTEM WITH HEAT
 RECOVERY INSTALLED BY SPECIALIST CONTRACTOR.

DRAINS
 REMOVE EXISTING SERVICE & RELOCATE
 WHERE AN EXISTING LINE OF DRAINS PASS UNDER WALLS OF A PROPOSED
 EXTENSION PROVIDE AND FIX 2 NO. 225 X 75X 1200MM LONG LINTELS
 OVER TO ENSURE ADEQUATE PROTECTION TO DRAINS.
 WHERE AN EXISTING LINE OF DRAINS PASS UNDER WALLS OF A PROPOSED
 EXTENSION DRAIN TO BE FULLY ENCASED IN CONCRETE 150MM. MIN. THK.
 ALL AROUND TO ENSURE ADEQUATE PROTECTION TO DRAINS.
 ALL NEW DRAINS TO BE 100MM DIAMETER WAWN OR OTHER APPROVED DRAIN PIPES
 LAID TO FALL 1:40 MIN. LAID ON 150MM CONCRETE BED AT LEAST 300MM WIDE
 AND PROPERLY HANNUCHED.

DAMP PROOF COURSES
 IN ALL GROUND FLOOR WALLS TO FULL WIDTH OF WALL AND LAPPED
 AS NECESSARY WITH D.P.M. AND TO BE MINIMUM 150MM ABOVE GROUND
 LEVEL. VERTICAL D.P.C.'S TO BE INSERTED AT ALL JAMBS TO OPES WITH
 STEPPED D.P.C TO BE CARRIED OVER ALL HEADS TO OPES AND CARRIED
 UNDER AND FOLDED UP AT BACK AND SIDES OF ALL CILLS. D.P.C FITTED
 UNDER ALL WALL PLATES.

CONNECT TO EXISTING FOUL & SURFACE WATER DRAINS
 EXACT POSITION OF EXISTING LINE FOR CONNECTION TO
 DETERMINED ON SITE FOLLOWING INSPECTION

NEW COL. AND STEEL BEAM TO ENG. DETAILS.
 DOTTED LINE INDICATE EXISTING WALL, DOOR AND WINDOWS TO
 BE REMOVED AND MAKE GOOD TO SURROUNDING

SMOKE AND CARBON MONOXIDE ALARMS WHERE APPLICABLE TO BE
 FITTED AS REQUIRED BY CURRENT BUILDING REGULATIONS.
 EXTRACT DUCTING TO BE PROVIDED TO KITCHEN RM, COOKER HOB,
 GAS BOILER, LOCATION TO BE MARK ON SITE AT LATER STAGE.
 TANKING TO ALL BATHROOM AREAS

NOTE:
 PLANNING DRAWING SHALL NOT BE USED
 AS CONSTRUCTION DRAWINGS,
 ALL UNDERGROUND SERVICES & RELOCATION,
 LEVELS, AND DIMENSIONS, TO BE VERIFIED ON
 SITE BY CONTRACTOR BEFORE COMMENCING
 THE WORKS ON SITE.

ALL RELEVANT NOTICES UNDER THE BUILDING CONTROL ACT ETC. TO BE SERVED
 AND ALL WORKS CARRIED OUT SHALL COMPLY WITH ALL STATUTORY AND
 OTHER PROVISIONS IN FORCE, THE CONTRACTOR SHALL INDEMNIFY THE EMPLOYER
 AND THE ARCHITECT AGAINST CLAIMS OR PROCEEDINGS AND SHALL BE RESPONSIBLE
 FOR THE SAFETY OF THE BUILDING AND ANY INJURIES TO WORKMEN OR PERSONS
 CAUSED AS A RESULT OF THE WORKS AND BE FULLY INSURED UNDER THE
 EMPLOYERS LIABILITY V.C.A.

SYCAMORE LODGE BARRENHILL SUTTON D.13 TEL. 8925603.

PMK ARCHITECTS

PROJECT: WE RAJENDRA AND KUMUD NAIK INTEND TO APPLY PLANNING PERMISSION FOR A DEVELOPMENT ON
 THIS SITE AT 1 ORCHARDSTOWN PARK, RATHFARNHAM, DUBLIN 14. D14VV44
 THE DEVELOPMENT WILL CONSIST OF PLANNING PERMISSION OF A SINGLE STOREY KITCHEN EXTENSION TO
 EXISTING KITCHEN AT REAR, AND FOR A NEW SINGLE STOREY SEPARATE FLAT TO REAR CONSISTING OF
 TWO BEDROOMS, BATHROOM, LUNGE, KITCHEN, AND OFF STREET CAR PARKING ALL TO REAR OF EXISTING
 SHOP/HOUSE.

TITLE: PROPOSED GROUND FLOOR PLAN
 CLIENT: RAJENDRA AND KUMUD NAIK

SCALE: 1 - 100	DWG. NO: 005	CHECK: PK	REV. ADDITIONAL INFORMATION
DATE: OCT. 2022	DRAWN: RD	JOB NO.	REF: SD22B/0402

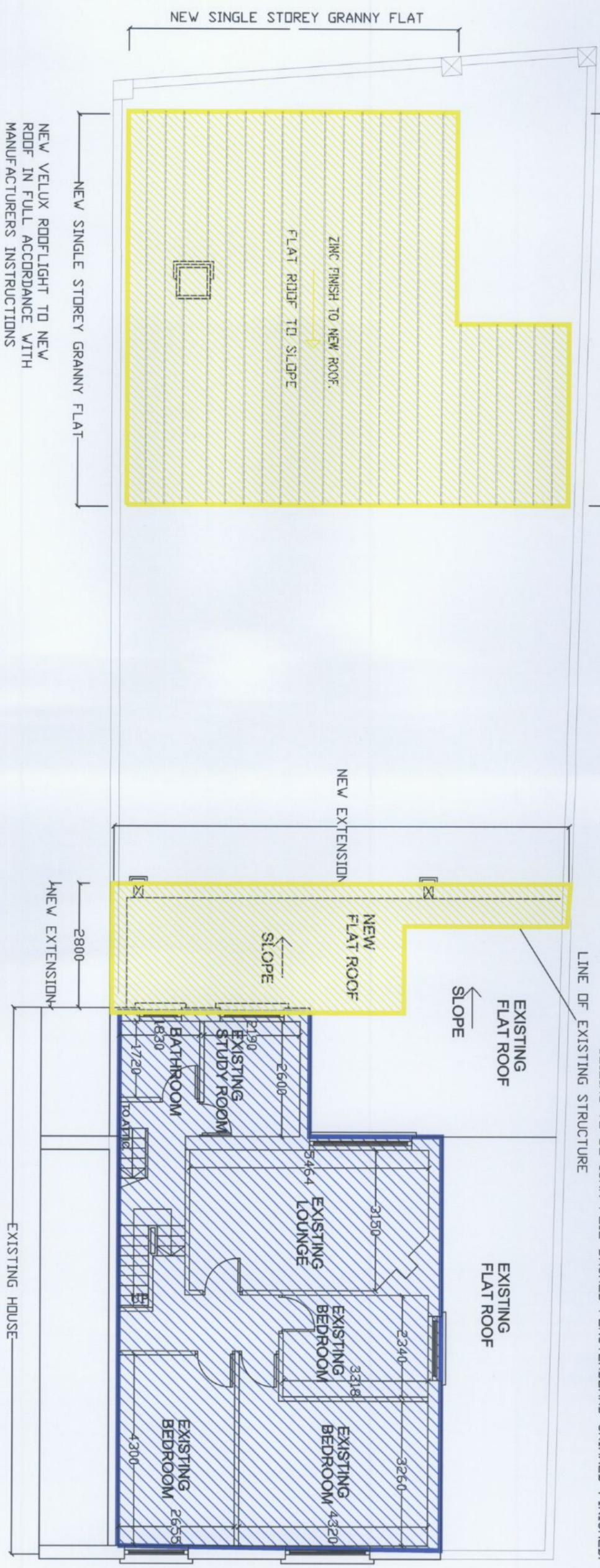
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 & DISCREPANCIES TO BE NOTED TO THE ARCHITECT / ENGINEER.

PROPOSED NEW SINGLE STOREY GRANNY ACCOMMODATION AND NEW KITCHEN EXTENTION EXISTING HOUSE

ZINC FINISH TO ROOF AND PARAPET WALL ON TWEK SUPRO BREATHABLE FELT SEALED WITH WINDTIGHTNESS TAPE ON 25MM WATER-PROOF PLY SHEETS ON FIRING BATTENS ON 225x50 TIMBER ROOF JOISTS AT 400 CTRS INSULATION TO BE 200MM ROCKWOOL INSULATION BETWEEN CEILING JOISTS,
NEW SINGLE STOREY GRANNY FLAT

ALL STRUCTURAL TIMBERS TO BE PRESSURE IMPREGNATED PRESERVATIVE TREATED ALL STRAPPING TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND TO ENGINEERS DETAIL AND SPECIFICATION.
P.V.C SEAMLESS GUTTERS AND RAINWATER PIPES.
NEW P.V.C. FASCIAS AND SOFFITS PROVIDE 12mm CONTINUOUS STRIP SOFFIT VENTILATION OR EQUIVALENT

CORC. / METAL CAPPING ON WATER PROOF MEMBRANCE ON PARAPET WALL
NEW FLAT ROOF WITH REFLECTIVE PAINT FINISH LAID TO JOINTS ON PROPRIETARY SEPARATING MEMBRANE ON 25MM WATER PROOF PLY SHEETS ON FIRING BATTENS TO FALL ON 50MM X 25MM TREATED TIMBER BATTENS ON ROOFING FELT ON 200 MM X 50 MM TIMBER RAFTERS AT 350 MM CTRS ON 200 MM X 50 MM CEILING JOISTS, INSULATION TO BE 200MM ROCKWOOL INSULATION BETWEEN CEILING JOISTS, CEILING TO BE 15MM FOIL BACKED PLASTERBOARD SKIMMED FINISHED.



PROPOSED FIRST FLOOR PLAN

SCALE 1:100



NOTE:
PLANNING DRAWING SHALL NOT BE USED AS CONSTRUCTION DRAWINGS.
ALL UNDERGROUND SERVICES & RELOCATION, LEVELS, AND DIMENSIONS, TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE COMMENCING THE WORKS ON SITE.

ALL RELEVANT NOTICES UNDER THE BUILDING CONTROL ACT ETC. TO BE SERVED AND ALL WORKS CARRIED OUT SHALL COMPLY WITH ALL STATUTORY AND OTHER PROVISIONS IN FORCE, THE CONTRACTOR SHALL INDEMNIFY THE EMPLOYER AND THE ARCHITECT AGAINST CLAIMS OR PROCEEDINGS AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING AND ANY INJURIES TO WORKMEN OR PERSONS CAUSED AS A RESULT OF THE WORKS AND BE FULLY INSURED UNDER THE EMPLOYERS LIABILITY V.C.A.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH TENDER SPEC. AND ALONG WITH ENGINEERS DETAILS AND SPEC. AND MECH. & ELEC. ALL SIZES TO BE CHECKED ON SITE BY CONTRACTOR, ALL BUILDING TO BE CARRIED OUT TO CURRENT BUILDING REGULATIONS.

PMK ARCHITECTS
SYCAMORE LODGE BARREHILL SUTTON D13 TEL. 9325603.

PROJECT: WE RAJENDRA AND KUMUD NAIK INTEND TO APPLY PLANNING PERMISSION FOR A DEVELOPMENT ON THIS SITE AT 1 DRCHARDSTOWN PARK, RATHFARNHAM, DUBLIN 14, D14VW44
THE DEVELOPMENT WILL CONSIST OF PLANNING PERMISSION OF A SINGLE STOREY KITCHEN EXTENSION TO EXISTING KITCHEN AT REAR, AND FOR A NEW SINGLE STOREY SEPARATE FLAT TO REAR CONSISTING OF TWO BEDROOMS, BATHROOM, LOUNGE, KITCHEN, AND OFF STREET CAR PARKING ALL TO REAR OF EXISTING SHOP/HOUSE.

TITLE:	PROPOSED FIRST FLOOR PLAN		
CLIENT:	RAJENDRA AND KUMUD NAIK		
SCALE:	1 - 100	DRGND 006	CHECK PK
DATE:	AUG.2022	DRAWN. RD	JOB NO.
			REV. PLANNING DRAWINGS. AUGUST.2022

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