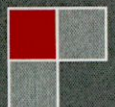


2022

# Proposed Ancillary Car Wash Facility at Units 2007 & 2008 Orchard Avenue, Citywest Business Campus, Dublin 24, D24 RW52.

## Planning Report

Planning Report to accompany Planning Application lodged with South Dublin County Council for proposed development of an ancillary car wash facility at Units 2007 & 2008 Orchard Avenue, Citywest Business Campus, Dublin 24, D24 RW52.



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# 1 Introduction

This planning report has been prepared to accompany a planning application by Gowan Distributors Ltd. seeking permission for a proposed car wash facility associated with the existing light industry/distribution building at Units 2007 & 2008 Orchard Avenue, Citywest Business Campus, Dublin 24, D24 RW52.

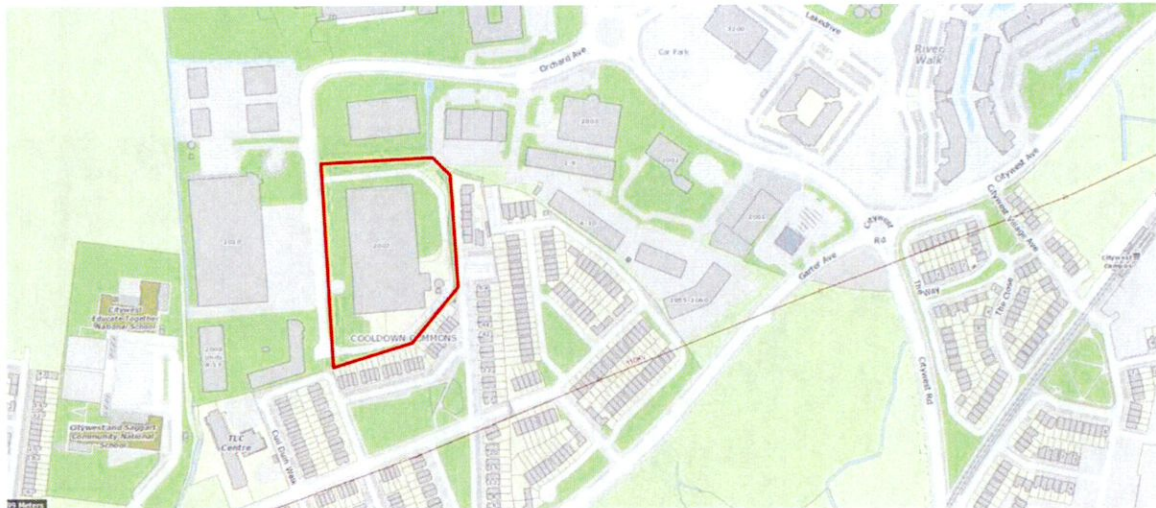


Figure 1: Site Location Plan

The applicants, Gowan Distributors Ltd who are the exclusive importer and distributor of Peugeot (since 1969), Honda (since 1984), Opel (since 2019), Citroen and DS (since 2021) in Ireland through a wide network of dealers throughout the country.

South Dublin County Council granted permission in January 2022, Reg. Ref. SD21A/0240, for a light industry/warehouse/distribution use at the subject site. The intended use of the building is for a central parts storage facility for the aforementioned car brands to operate a single depot to store and then distribute to all their motor locations nationwide.

This planning application seeks to add an ancillary car wash facility to the rear of the existing building at the south east corner.

## 2 Site Context

The site is c. 2.348 ha located at Orchard Avenue within the Citywest Business Campus. It is approximately 2.5 km from the outer ring road connecting the N7 with the Lucan by pass (N4) and the N81. The M50 motorway is approximately 6.4 km to the east.

As noted earlier, planning permission was granted for light industry / warehousing use on the site. The site comprises a circa 9,300 sq.m light industry / warehousing unit with ancillary office units at the western elevation and there are 118 no. car park spaces within the existing facility.



Figure 2: Aerial photo with indicative outline of the overall site in red and proposed carwash location outlined in orange.



Figure 3: front (west) elevation view of the site

### 3 Planning Policy Context

#### *South Dublin County Council Development Plan 2016-2022*



Figure 4: Zoning Plan from South Dublin County Development Plan 2016-2022 identifying the sites zoning objective. The subject site is zoned 'Objective EE' which seeks "to provide for enterprise and employment related uses".

Industry – Light and Warehousing are permitted in principle uses and such a use on this site was granted under Reg. Ref. SD21A/0240. The definitions are outlined below.

**Industry – Light** "The use of a building or part thereof or land for industry in which the processes carried on or the plant or machinery installed are such as could be carried on or installed in any residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust or grit etc".

**Warehousing** "A building or part thereof where goods are stored or bonded prior to distribution and sale elsewhere. It may include the storage of commercial vehicles where this is ancillary to the warehousing function."

It is considered that a car wash facility is an associated ancillary use to the permitted light industry / warehousing function of the site and should be acceptable. The car wash will be used to clean commercial vehicles and vehicles that arrive for storage and distribution.

## 4 Planning History

There are a number of previous planning applications submitted on the subject site.

### **S97A/0594; Permission Granted 7/01/98**

Alterations to previously approved unit consisting of the following: Revisions to external elevations; New Two storey internal office/toilet block at front; New two storey plant room at rear; New sprinkler tank & pump house at rear; New external chiller storage/screening at rear; Two new depressed loading bays with dock levellers, ramped access & retaining walls all at the rear; New smoking shelter at South side of unit; Three new flag poles at front; Revisions to Site Layout and miscellaneous works all at Unit 2008 at phase one.

### **S00A/0321; Permission Granted 25/08/00**

Addition of 7 no. new windows and 2 no. new glazed screens to the north elevation.

### **S00A/0268; Permission Granted 1/08/00**

For 2 facilities, to be constructed in 2 phases, consisting of a single storey production/warehouse building with 2 storey ancillary offices attached, and a terrace of 5 no. single storey production/warehouse units with 2 storey ancillary offices attached, with an overall floor area of 5,687 sq.m. The development which will include all associated site works, car parking, delivery yards and site services on a site of c.3 acres, with access from the main distributor road off the Naas Road via the new grade separated junction. The Site forms part of a previous overall permission, Reg. Ref. 90A/2340.

### **S01A/0001; Permission Granted 12/04/01**

Amendments to existing planning permission (Reg. Ref. S00A/0268) for alterations and extensions to previously approved industrial facility, unit 2007, consisting of a single storey production/warehouse building with two storey ancillary offices attached, with an overall gross floor area of 5,090 sq.m. The amended building shall be attached to, and interconnect with adjoining unit 2008 (Reg. Ref. S97A/0594). The development, which will include all associated site works, car parking, delivery yards and site services on a site of circa 3 acres. The site forms part of the previous overall permission, Reg. Ref. 90A/2340.

### **SD03A/0534; Permission Granted 31/10/03**

Construction of 2 no. car parks on grade, each of area 262 sq.m and with 14 car spaces and are to be located off existing private circulation road which serves the factory. *\*only one of these car parks was constructed\**

### **SD21A/0240; Permission Granted 28/01/22**

Changes of use within parts only of the existing building from storage and production to: (a) use of an area as a marketing suite/showroom (380sq.m ground floor together with an 80sq.m first floor mezzanine extension); (b) automotive academy and training area (925sq.m); (c) construction of additional ancillary office/welfare accommodation (467sq.m) at ground and first floor; (d) two storey briese soleil/sun shade structure to the south elevation; (e) additional windows and glazed screens on all elevations; (f) new single storey hand wash valet structure (146sq.m) on south elevation; (g) new wall mounted signage to

west and south elevation; (h) 14 new car parking spaces (previously approved) and 25 new electric car charging points; (i) revisions to existing hard and soft landscaping to accommodate the development; (j) new ramped and stepped access with external terrace to form new entrance area with canopy at existing exit on west elevation; (k) existing 8 metre high water sprinkler tank to be replaced with 11 metre high water sprinkler tank. It is intended that the majority of the premises (6926sq.m) will continue in use for storage and distribution with ancillary office use continuing also.

## 5 The Proposed Development

The Statutory Notices read as follows:

**South Dublin County Council** – We, Gowan Distributors Limited, seek planning permission for development at Units 2007 & 2008 Orchard Avenue, Citywest Business Campus, Dublin 24, D24 RW52. The development will consist of the erection of a new external car wash structure (64 sq.m.) at the south east corner of the existing building. The proposal includes for all associated site works, excavations, pumps, drainage, kerbing and landscaping.

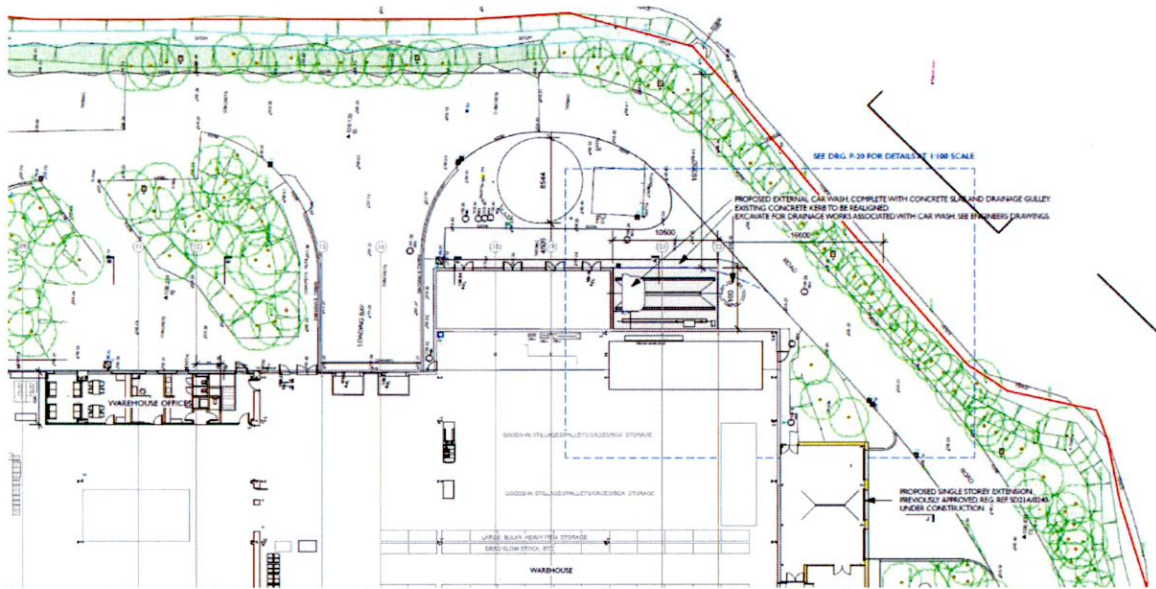


Figure 5: Proposed Site Plan showing location of proposed car wash structure. (Extracted from dwg. no. P-01C EMD Architects)

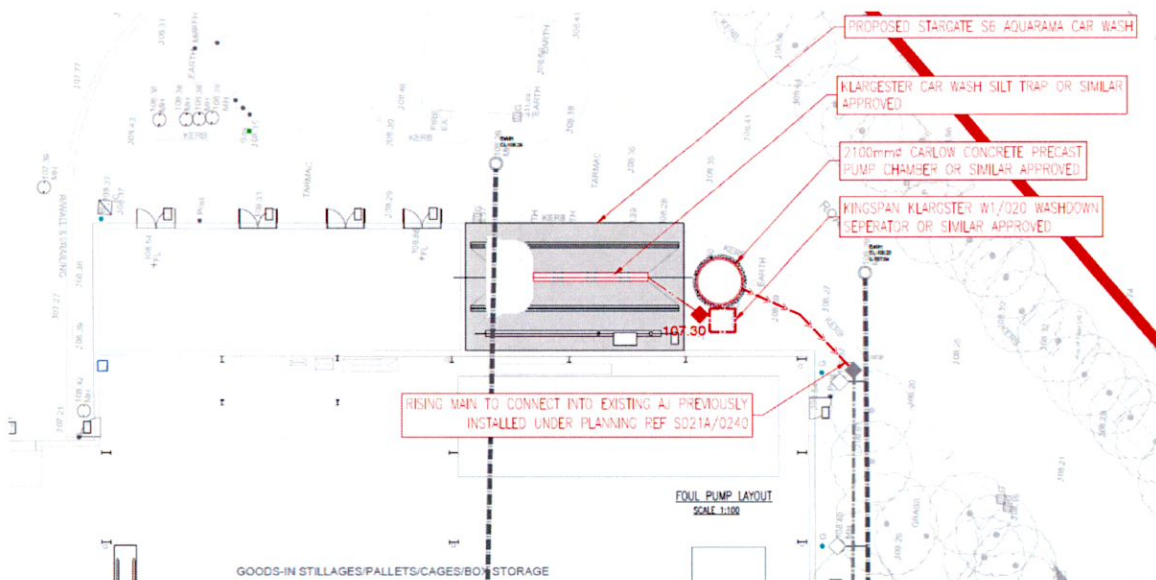


Figure 6: Proposed Site Plan showing internal uses and layout. (dwg. no. CS-SP-DR-C-5310, DBFL Engineers)



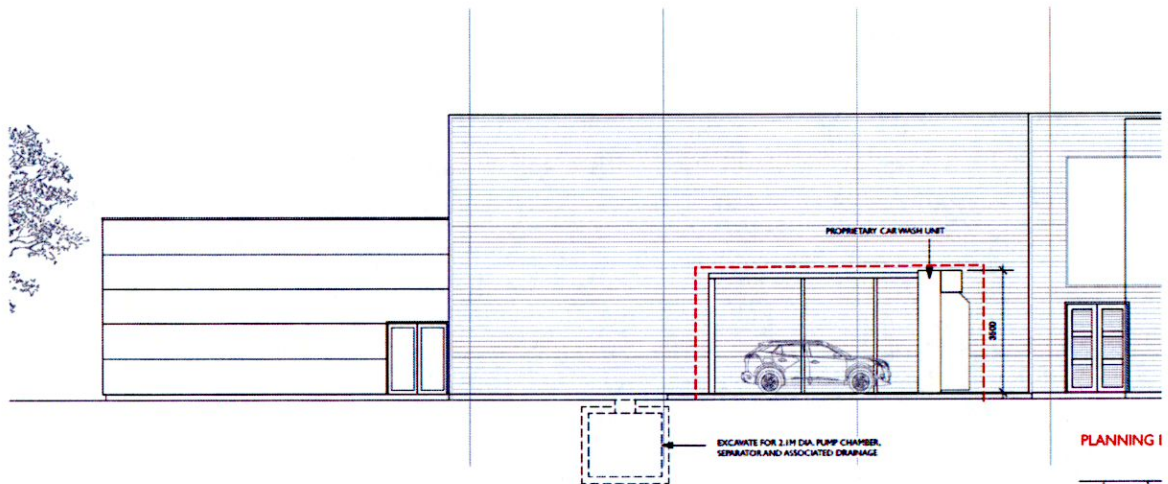


Figure 7: Proposed east elevation, extent of car wash outlined in red.

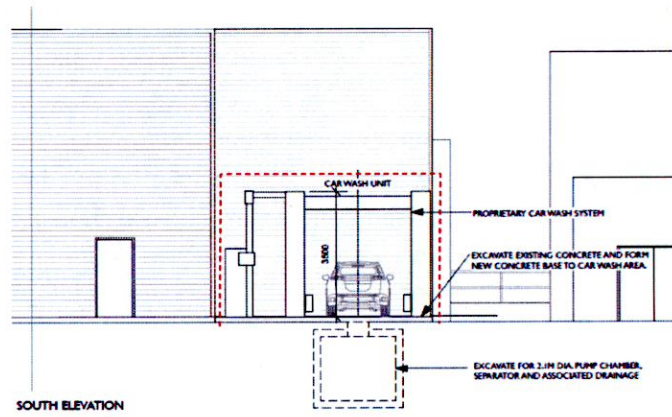


Figure 8: Proposed south elevation, extent of car wash outlined in red.

## **6 Planning Assessment**

The Application seeks permission for a new external 'stargate S6 Aquarama' car wash facility (64 sq.m) to the south east of the building which will provide an ancillary function with the light industry / warehousing associated with commercial vehicles. This will enable staff to carry out essential cleaning of cars prior to their inclusion in the marketing suite/press launches.

The structure is 3.5 metres high, 6.1 metres wide and 10.5 metres long.

The relevant letter of consent has been issued by the landlord in relation to the proposed development. EMD Architects have prepared site layout plans and elevation drawings of the proposed development. DBFL have prepared engineering service report and drawings which detail water connection and drainage details of the proposed development.

It is submitted that the proposal is ancillary to the overall function of the light industry / warehousing use and is consistent with the zoning objective of the South Dublin County Development Plan 2016-2022.

## **7 Appropriate Assessment Screening**


Having regard to the nature and scale of the proposed development, a single car wash structure ancillary to the light industry / warehouse building within an established business park and the distance from any Natura 2000 sites, it is considered that the proposed development will not have any impact on any Natura 2000 sites, either on its own or cumulatively with other developments and therefore it is not considered that a Stage 2 Appropriate Assessment is required.

## **8 Conclusion**

It is submitted that the proposed car wash structure is ancillary to the overall function of the light industry / warehousing use on site, associated with commercial vehicles, and it should be considered to be consistent with the proper planning and sustainable development of the area.

Having regard to the nature, size and siting of the proposed development, it is considered that there will be no impact on the neighbouring properties.

We trust this is to your satisfaction and we look forward to a Decision in due course.



**Manahan Planners**

**15<sup>th</sup> November 2022**