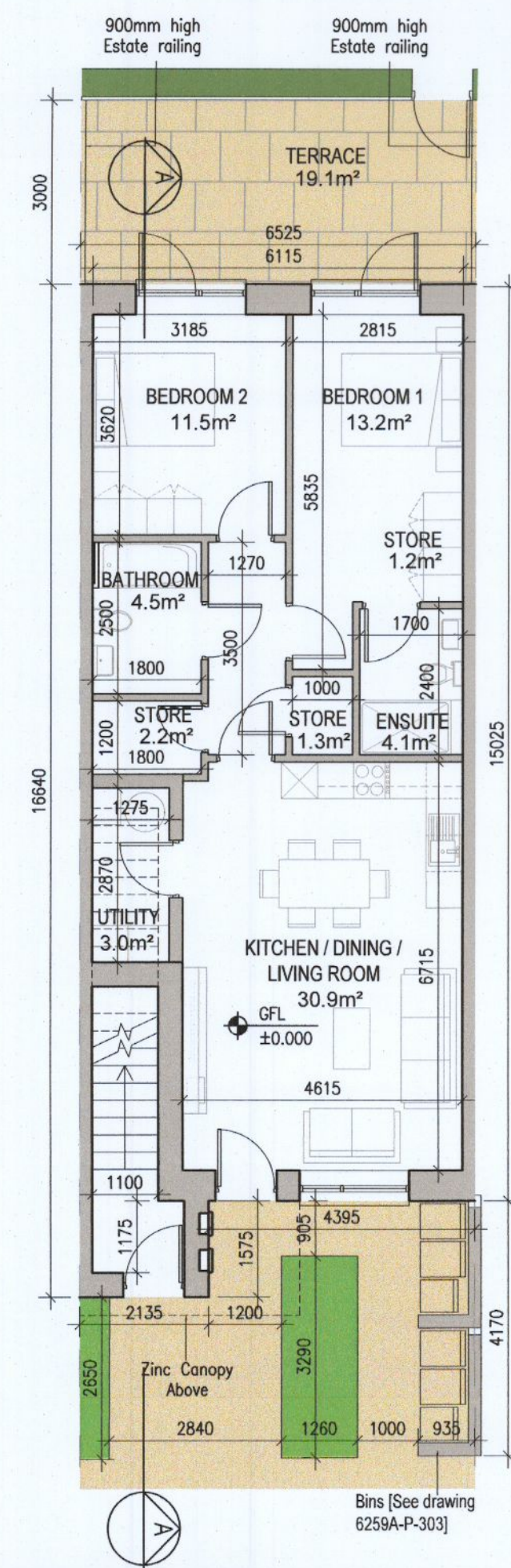
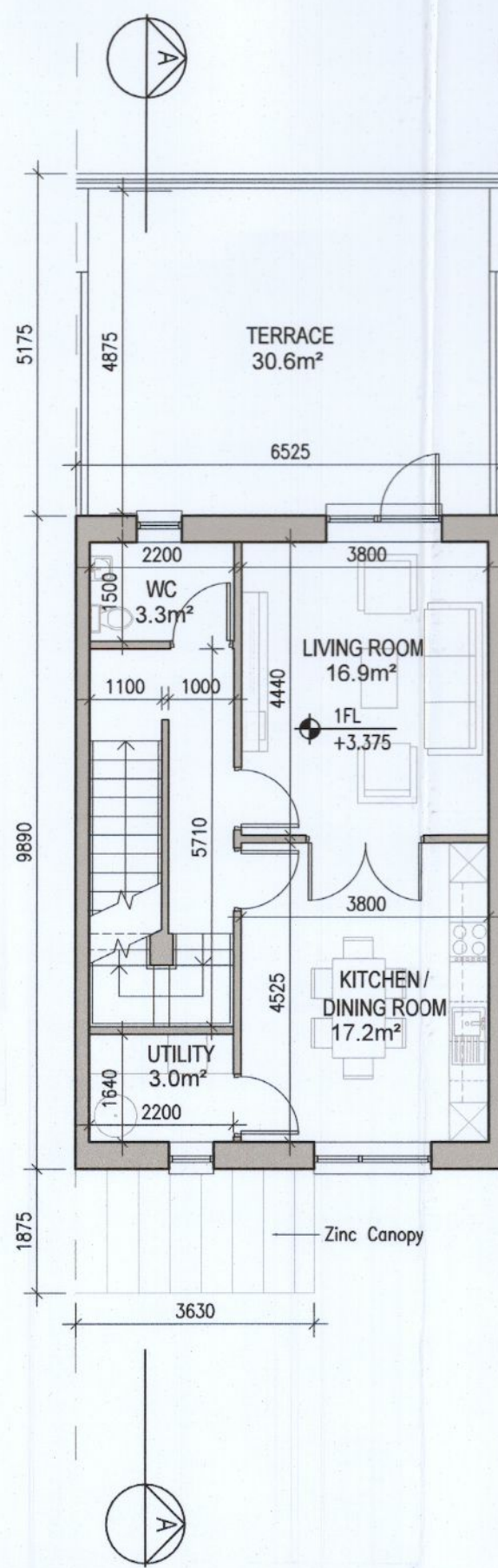


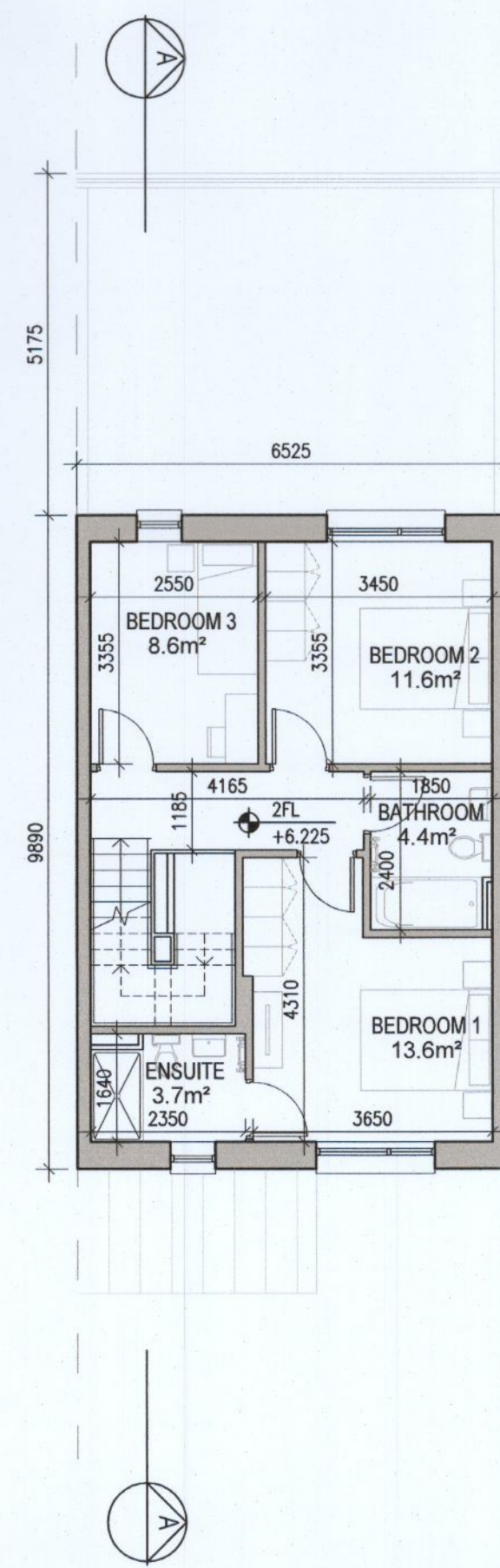
DUPLEX TYPE F1



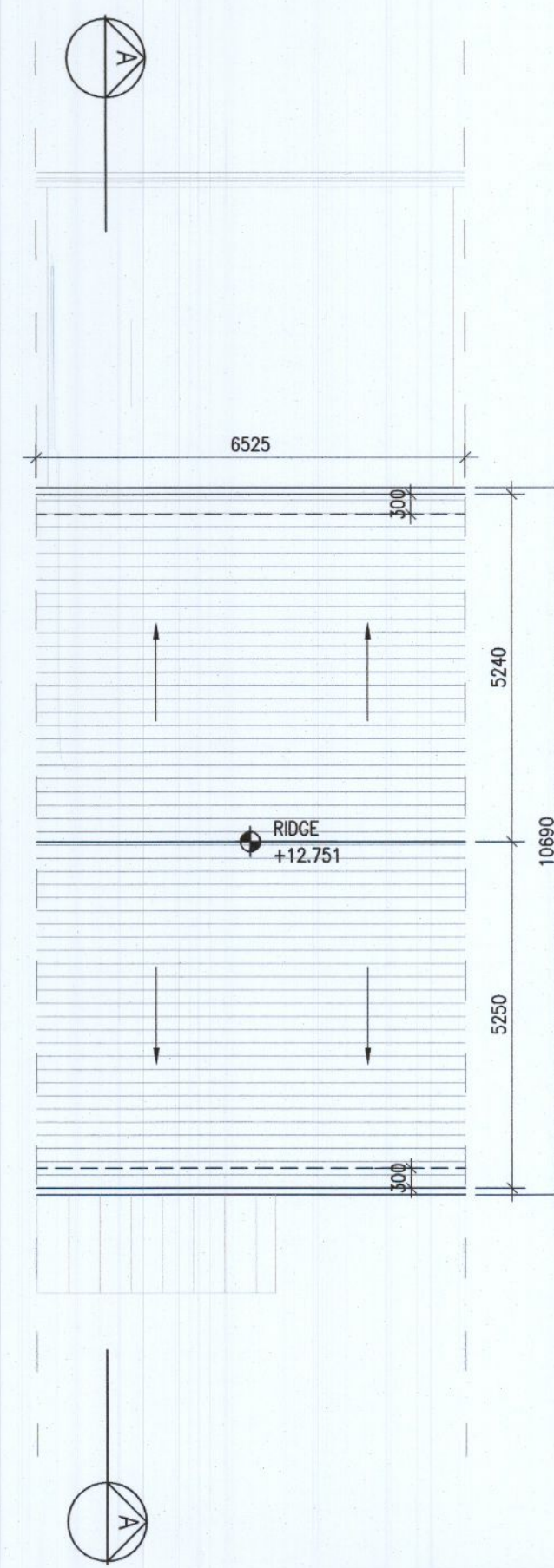
01 Ground Floor Plan [F1.A]



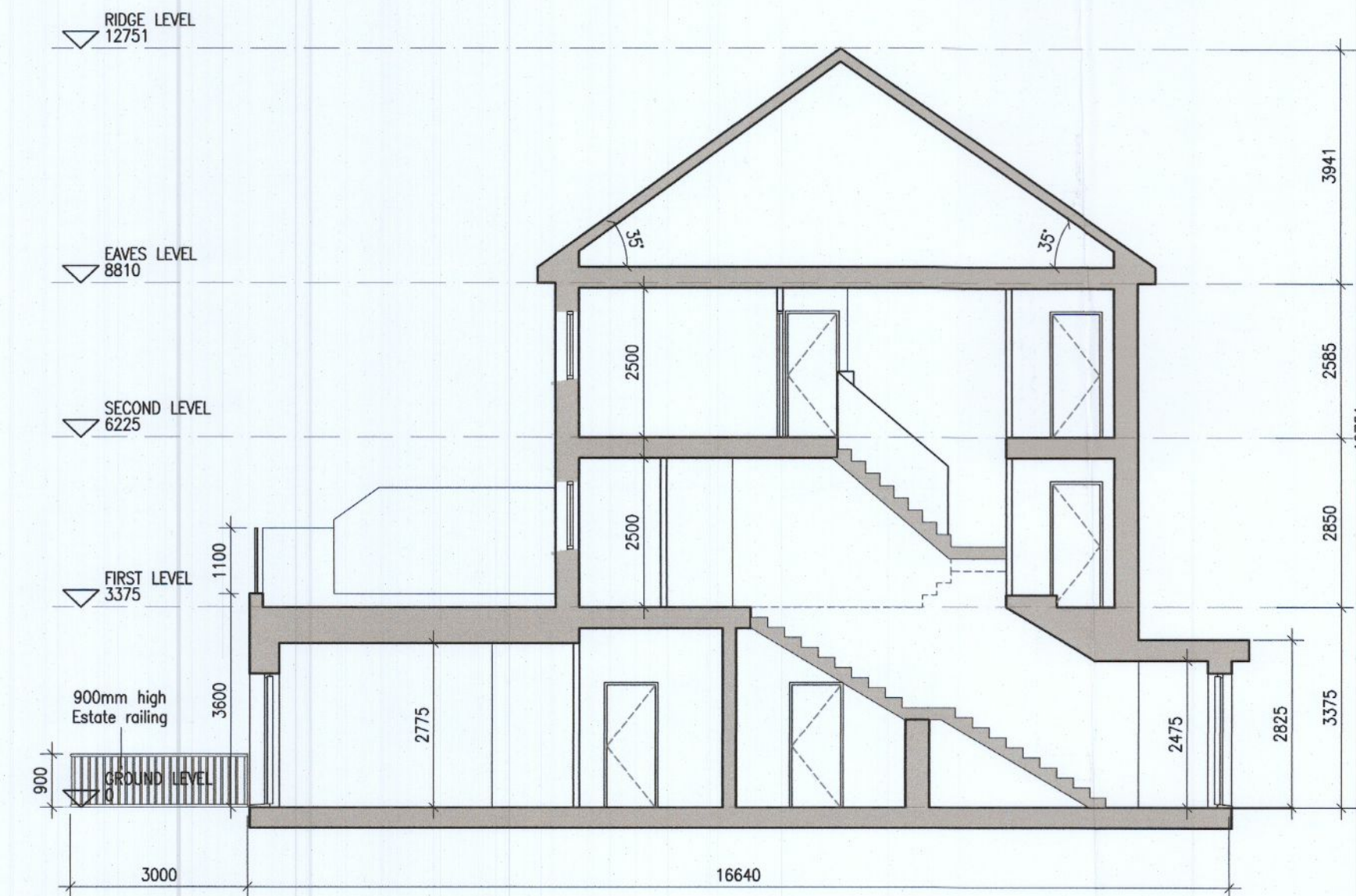
02 First Floor Plan [F1.B]



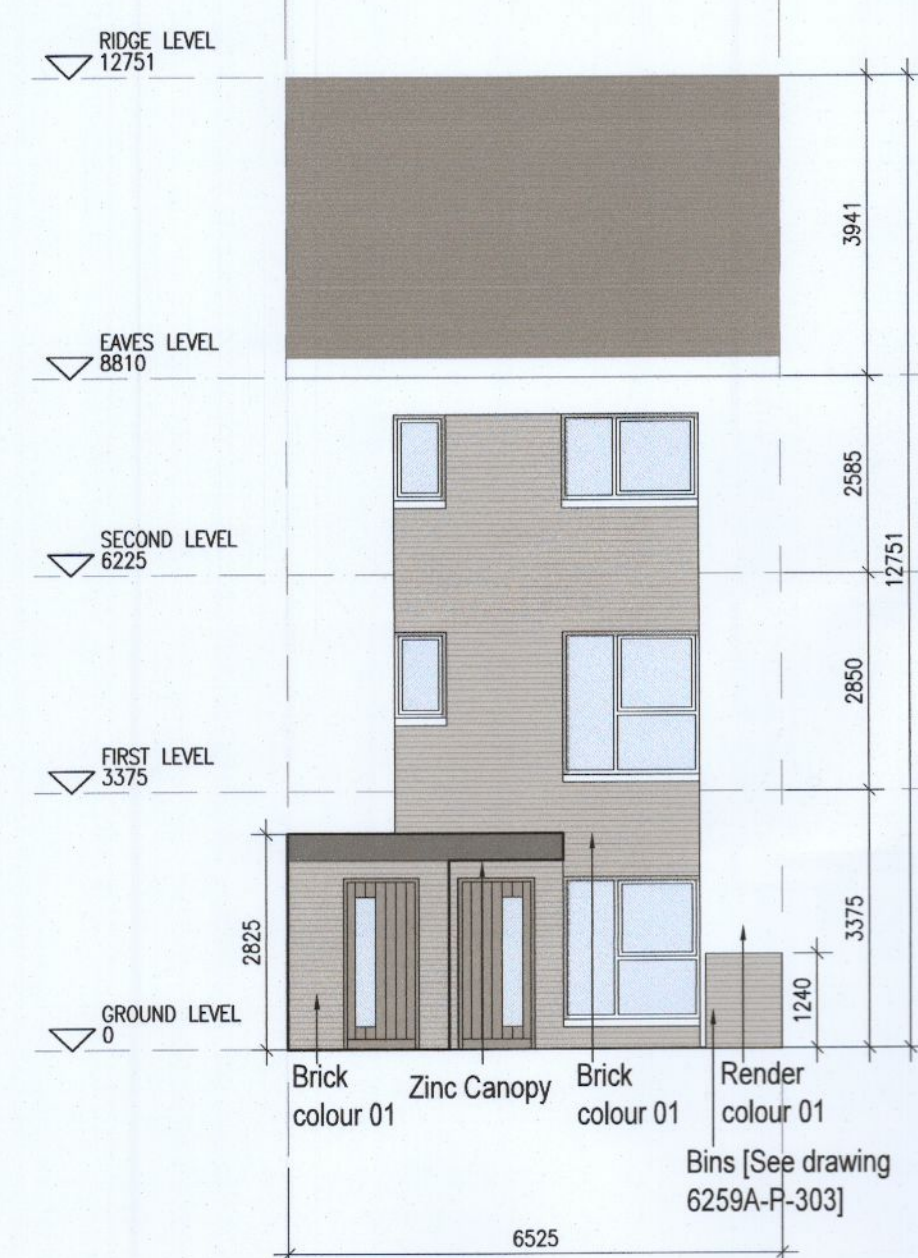
03 Second Floor Plan [F1.B]



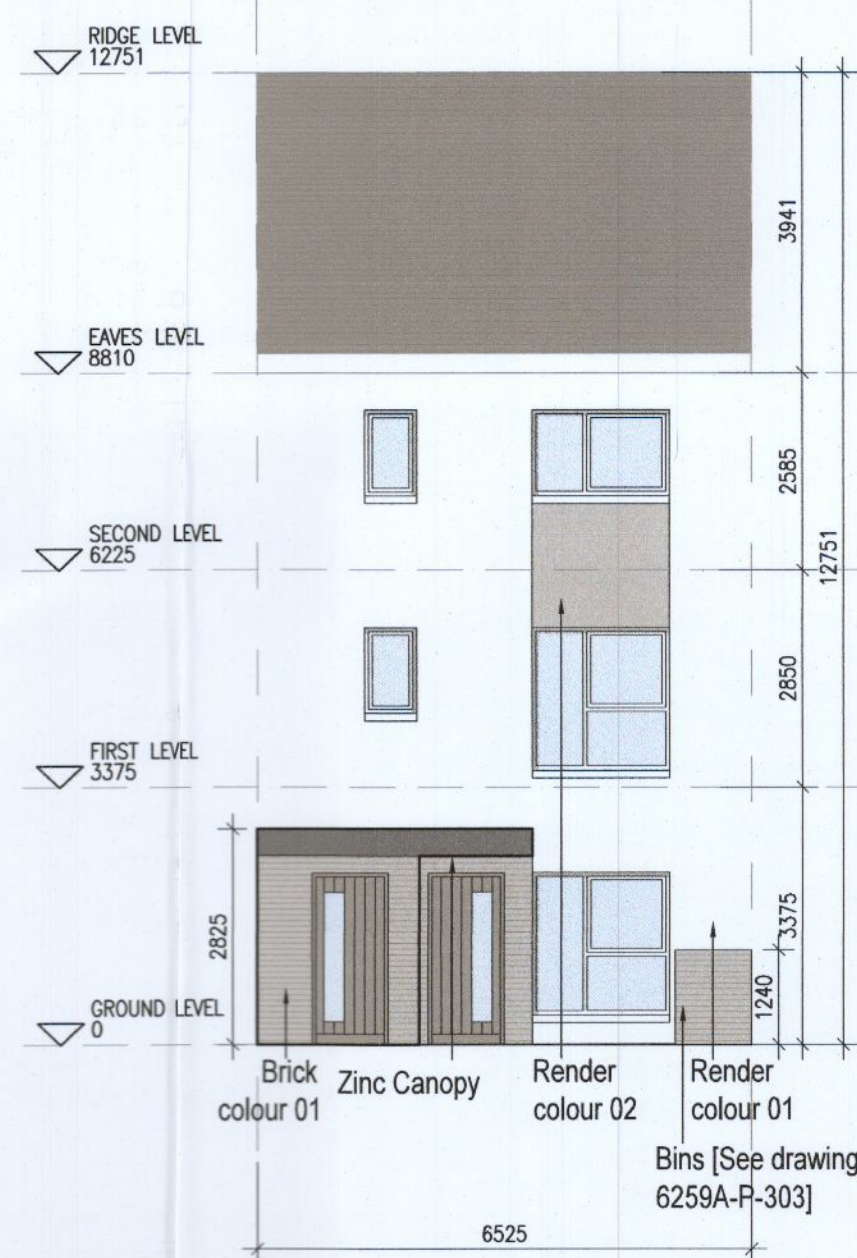
04 Roof Floor Plan
1:1000A1



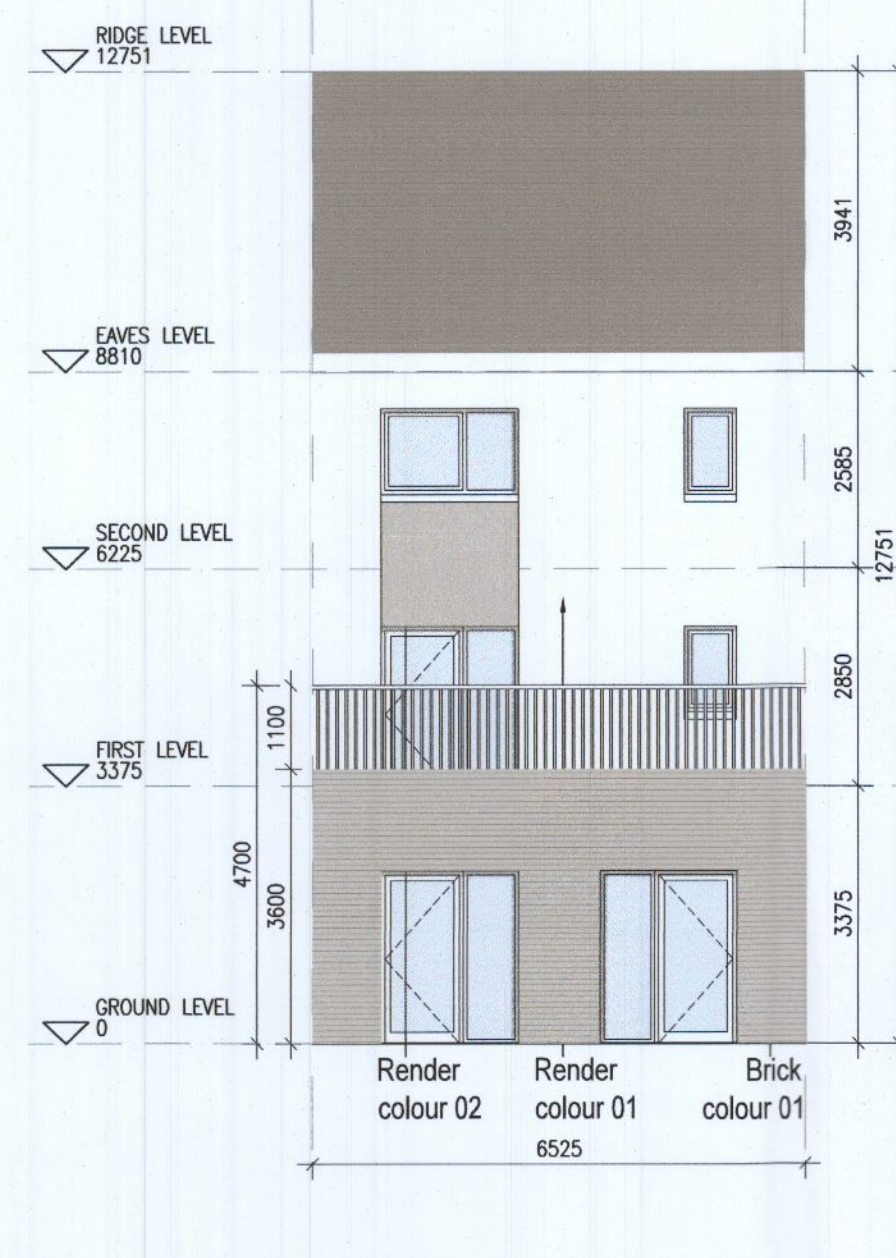
05 Typical Section [A-A]
1:1000A1



06 Front Elevation F1.1
1:1000A1

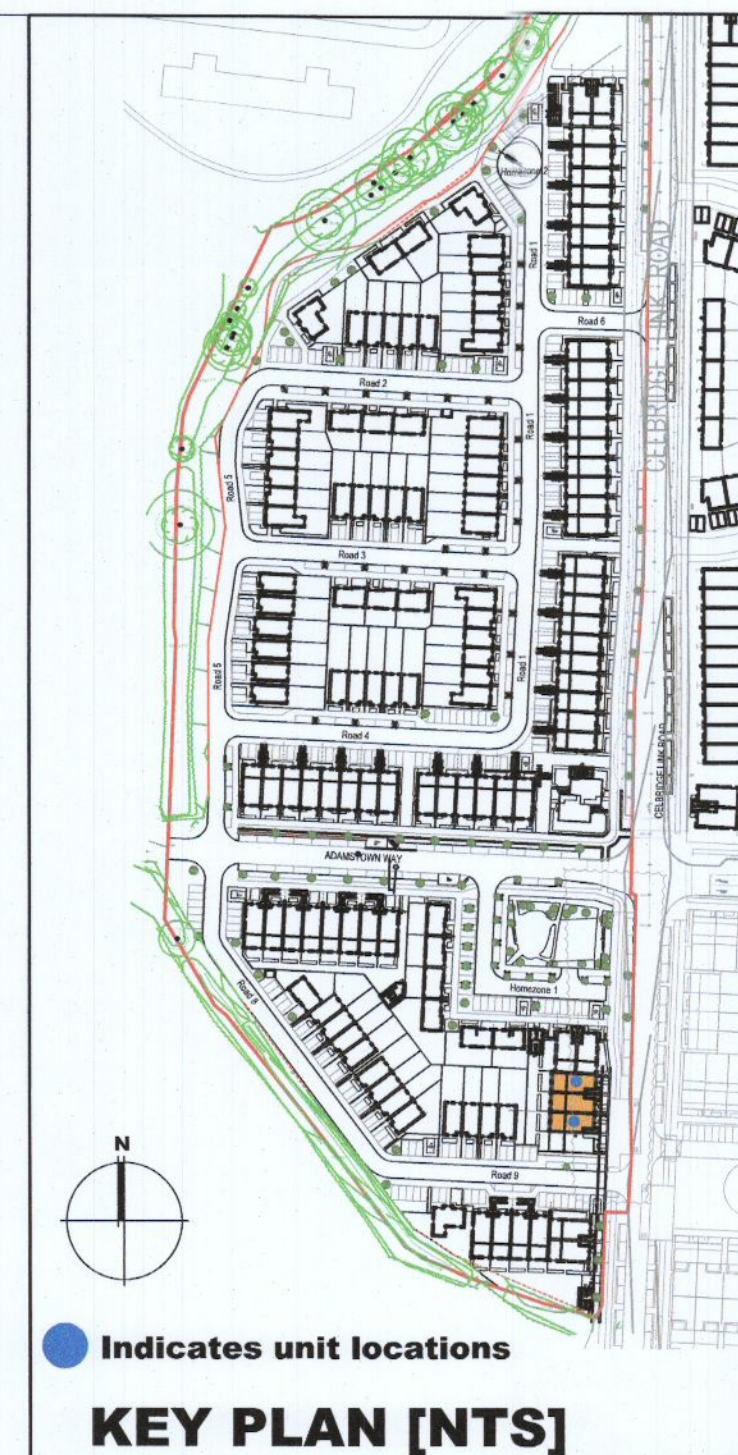


07 Front Elevation F1.2
1:1000A1



08 Rear Elevation
1:1000A1

REFER TO STREET ELEVATIONS FOR LOCATIONS OF EACH ELEVATION VARIATION



HOUSE TYPES

HOUSE TYPE	No. OF UNITS
Type A1/A2 - 3 bed	16
Type B1/B2 - 3 bed	28
Type C1/C2/C3 - 3 bed	15
Type D - 4 bed	3
Type E1/E2 - 4 bed	7
Type K1/K2 - 4 bed	6
TOTAL	75

DUPLEX	No. OF UNITS
Type F1 - 2 bed	3
Type F2 - 3 bed	3
Type F3 - 2 bed	1
Type F3 - 3 bed	1
Type F3 - 4 bed	6
Type G1 - 2 bed	6
Type G1 - 3 bed	33
Type G2 - 2 bed	2
Type G2 - 3 bed	2
Type G3 - 2 bed	7
Type G3 - 3 bed	7
Type H1/H2 - 3 bed	2
Type H1/H2 - 4 bed	2
Type J1 - 2 bed	9
Type J1 - 3 bed	9
Type J2 - 2 bed	3
Type J2 - 3 bed	3
TOTAL NO. OF UNITS	207

EXTERNAL FINISHES

WALLS: PAINTED SAND / CEMENT RENDER OR PROPRIETARY PRECOLOURED RENDER FINISH SELECTED BRICKWORK WHERE INDICATED ON DRAWINGS

WINDOWS: SELECTED PROPRIETARY DOUBLE / TRIPLE GLAZED WINDOW SYSTEM WITH FRAMES TO APPROVED COLOUR, OBTAINED GLAZING TO BATHROOMS AND EN-SUITES.

DOORS: SELECTED PROPRIETARY DOORS AND GLAZED SIDE SCREENS TO APPROVED COLOUR.

RAINWATER GOODS: uPVC OR POWDER COATED METAL GUTTERS AND RAINWATER PIPES TO SELECTED COLOUR.

MAIN ROOF: CONCRETE ROOF TILES IN SELECTED COLOUR.

LOW LEVEL PROJECTION: ZINC CANOPY TO ENTRANCE OF UNITS

OTHER ITEMS: uPVC OR POWDER COATED METAL FASCIA, SOFFITS AND BARGE BOARDS PAINTED, MILDSTEEL RAILINGS AND BALUSTRADES

F1.A [2 Bed] - Ground floor area	80.9 m²
F1.B [3 Bed] - Ground floor area	5.7 m²
First floor area	55.5 m²
Second floor area	55.5 m²
Total Floor Area (F1.B):	116.7 m²

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL LANDSCAPING DETAILS

DUPLEX TYPE F1

- Notes**
- Copyright Reserved
 - Work to figured dimensions only. Do not scale drawing.
 - The contractor is responsible for checking all levels and dimensions on site and shall refer all discrepancies to the Architect
 - Where appropriate, for details of c.c. structure, or mechanical and electrical details, see Engineers drawings
 - Proprietary items shall be fixed in strict accordance with manufacturers instructions.
 - Sizes of proprietary items shall be checked with manufacturer.
 - The contractor shall be responsible for the coordination of structure, finishes and services.

Issue Status

Progress

Planning Application

Fire Cert

Disability Cert

Tender

Construction

As Built

Information Only

No.	Date	Revision	Initials
01	13/10/22	ISSUED FOR PLANNING	AM

Project
Aderrig Phase 3, Adamstown SDZ
Residential Development

Drawing Title
Duplex Type F1 (mid terrace) Non-handed-Plans,Elevation,Section

Drawing No
6259A-P-201

Scale
1:100@A1

Rev
01

Drawn
IFJ

Date
OCT 2022

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