

14th October 2022

ADDITIONAL INFORMATION

Ref. No: SD22B/0250

Dear Sir/ Madam,

Following your request for Additional Information, we now submit the following response:

1. First Floor rear extension:

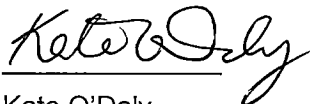
We include 6 copies of drawings ELL-P-FI-03, ELL-P-FI-05, and ELL-P-FI-06, showing changes to the first floor part of the extension. The extension now steps back from the boundary at first floor level by 1m, as advised in the request for additional information. The roof also changes with the removal of the parapet and flat roof, and the inclusion of a pitched, hipped roof with a tiled finish, to match and tie in with the existing hipped, tiled, roof. The eaves of this new hipped roof match the existing eaves and, therefore, this new roof cannot be seen from the front. This is included as a note on the proposed, front elevation, to show that there are no changes seen from the front.

2. Drainage:

We include 6 copies of a report from HR Wallingford which calculates the Surface water storage requirements for the site. Calculations were based on the whole site being paved, rather than just the addition of the new extension. Even with this conservative approach, according to the report, storage is not technically required.

However, in light of SDCC's general policy for surface water drainage, the client proposes putting in a small soak pit to attenuate water, as per the included drawings from Maceo Design & Management. This will contribute positively to SDCC's SuDs objectives and the client is happy to take this measure.

Kind regards,



Kate O'Daly
085 159 7444

Land Use Planning & Transportation

17 OCT 2022

South Dublin County Council