

Retention Application Photographs



1) Front Elevation of Existing House at 5 Willington Court



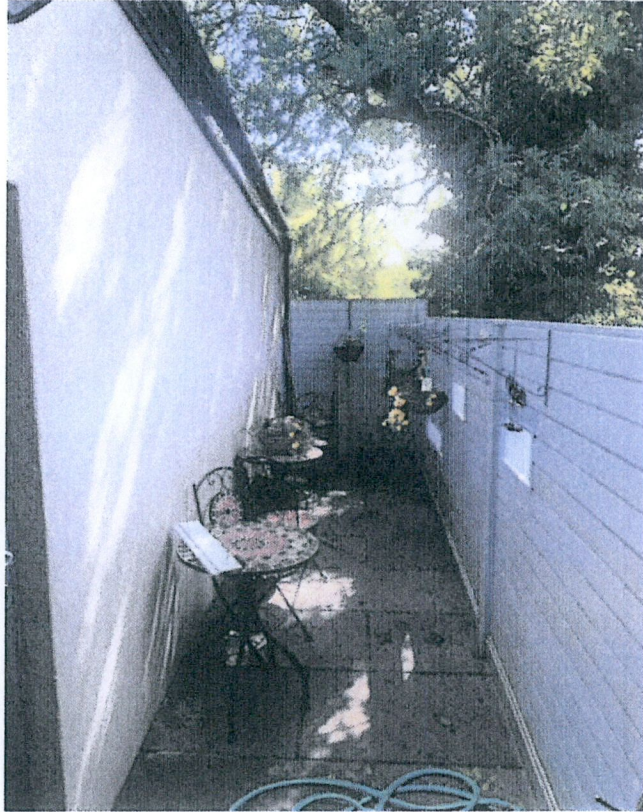
2) Front/South Elevation of Existing Rear Garden Roo



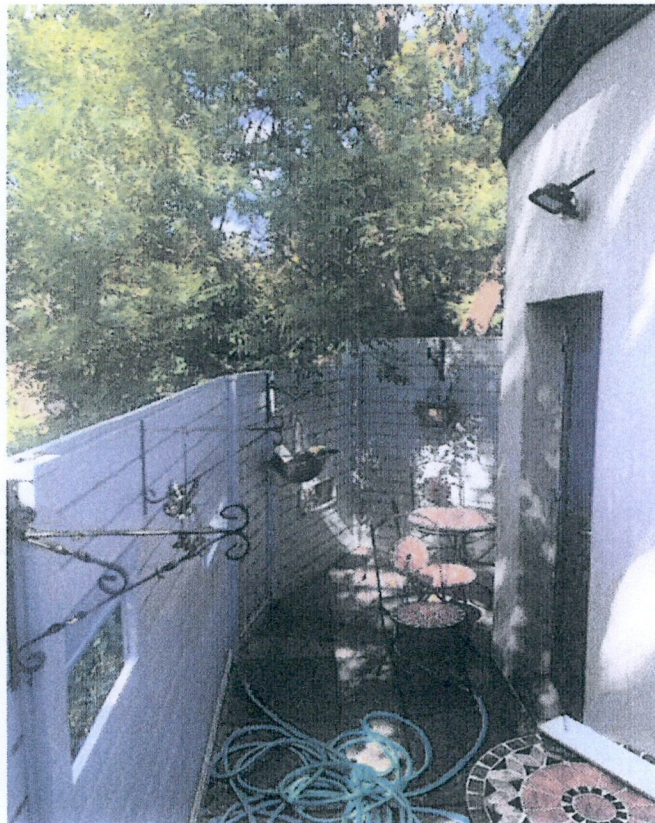
3) Front/south elevation of existing adjoining blockwork sheds to no.7 & no.9



4) view of grassed lawn & rear boundary wall to rear of no.3 Willington Court



5) Part Rear/North elevation to Garden Room / patio area (looking West)



6) Part Rear North elevation to Garden Room / Patio area (looking East)



7) View of remaining rear elevation of garden room & retained tree



8) View over fence looking West at cleared vegetation from riverbank



9) View of Rear boundary fence & part rear elevation from riverbed



10) View of river at rear of site showing cleared riverbanks by local authority



11) View looking up river at cleared hedgerow from each side of river



12) View of side boundary wall to no.1 Willington Court & access onto riverbank



13) View of cleared riverbank vegetation for access onto river (side of no.1)



14) Cleared riverbank at the rear of no. 3 & building at edge of river opposite



15) View of Shed built at edge of riverbank to rear of no. 38 Limekiln Road



16) View of cleared riverbed & side river bank (looking downstream / East)



17) View of cleared river bank to the rear of adjoining properties (looking east)



18) View back upstream at cleared vegetation from riverbank (looking west)



The Property Registration Authority

An tÚdarás Clárúcháin Maoinne



Official Property Registration Map

This map should be read in conjunction with the folio.

Registry maps are based on OSi topographic mapping. Where registry maps are printed at a scale that is larger than the OSi published scale accuracy is limited to that of the original OSi Map Scale.

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- (centre-line of parcel(s) edged)
 - Freehold
 - Leasehold
 - SubLeasehold
 - 'S' Register
- (see Section 8(b)(II) of Registration of Title Act 1964 and Rule 224 & 225 Land Registration Rules 1972 - 2010).

- Burdens** (may not all be represented on map)
- Right of Way / Wayleave
 - Turbary
 - Pipeline
 - Well
 - Pump
 - Septic Tank
 - Soak Pit
- A full list of burdens and their symbology can be found at: www.landdirect.ie

The registry operates a non-conclusive boundary system. The Registry Map identifies properties not boundaries meaning neither the description of land in a register nor its identification by reference to a registry map is conclusive as to the boundaries or extent.

(see Section 85 of the Registration of Title Act, 1964). As Inserted by Section 62 of the Registration of Deed and Title Act 2006.



19 JUL 2022

Land Registry

County Dublin

Folio 160517F

Register of Ownership of Freehold Land

Part 1(A) - The Property

For parts transferred see Part 1(B)

No.	Description	Official Notes
1	<p>A plot of ground known as No. 5 Wellington Court, Templeogue, situate in the Townland of TEMPLEOGUE and Barony of UPPERCROSS shown as Plan(s) F9TA, F9R9 edged RED on the Registry Map (OS MAP Ref(s) 3327/25).</p> <p>THE REGISTRATION DOES NOT EXTEND TO MINES AND MINERALS</p>	From Folio DN103491F
2	<p>A plot of ground situated at the back of No. 5 Wellington Court, Templeogue, situate in the Townland of TEMPLEOGUE and Barony of UPPERCROSS shown as Plan(s) A7V33 edged RED on the Registry Map (OS MAP Ref(s) 3327/25).</p> <p>THE REGISTRATION DOES NOT EXTEND TO MINES AND MINERALS</p>	From Folio DN100552F

Land Registry

County Dublin

Folio 160517F

Part 1(B) - Property Parts Transferred

No.	Prop No:	Instrument:	Date:	Area (Hectares):	Plan:	Folio No:

Land Registry

County Dublin

Folio 160517F

Part 2 - Ownership

Title ABSOLUTE

No.	The devolution of the property is subject to the provisions of Part II of the Succession Act, 1965	
1a	11-APR-1995 9SDN07784	PATRICK MONKS of 5 Willington Court, Templeogue, Dublin 6W and THERESA MONKS of 5 Willington Court, Templeogue, Dublin 6W are full owners of property number(s) 1.
1b	16-JUL-2003 D2003DN025371D	PATRICK MONKS of 5 Willington Court, Templeogue, Dublin 6W and THERESE MONKS of 5 Willington Court, Templeogue, Dublin 6W are full owners of property number(s) 2.

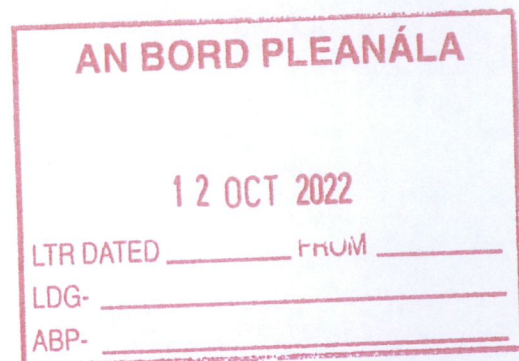
Land Registry

County Dublin

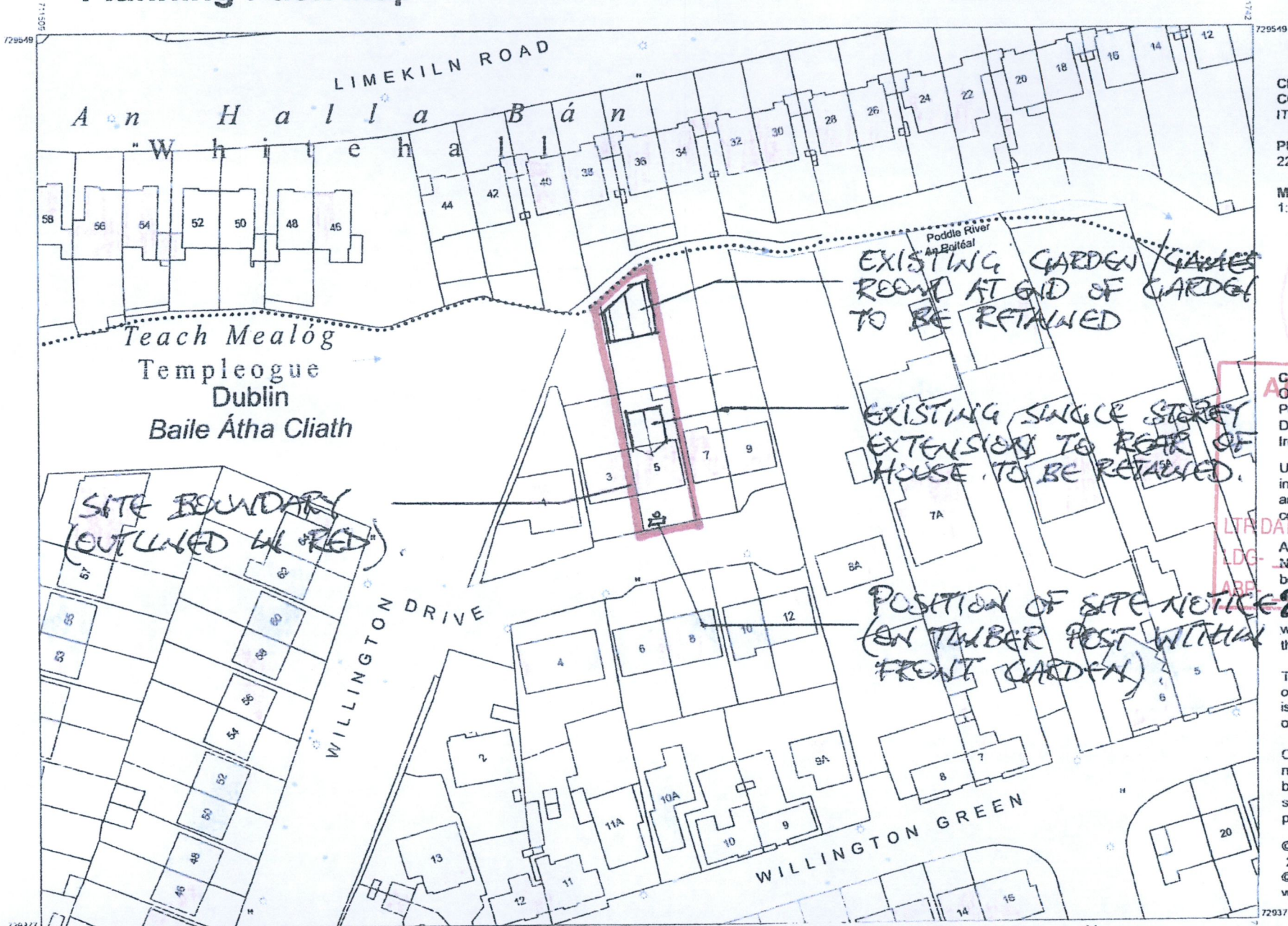
Folio 160517F

Part 3 - Burdens and Notices of Burdens

No.	Particulars
1	<p>04-FEB-1994 94DN02273</p> <p>THE PROPERTY No 1 IS SUBJECT TO THE COVENANTS AND CONDITIONS SPECIFIED IN INSTRUMENT NO. 94DN02273 MADE BETWEEN DAVID ANDELIZABETH MELLON OF THE ONE PART AND NOEL MURRAY OF THE OTHER PART RELATING TO THE USE AND ENJOYMENT OF THE PROPERTY</p>
2	<p>04-FEB-1994 94DN02273</p> <p>THE PROPERTY No 2 IS SUBJECT TO THE EASEMENTS, RIGHTS AND PRIVILEGES SPECIFIED IN INSTRUMENT NO. 94DN02273 MADE BETWEEN DAVID AND ELIZABETH MELLON OF THE ONE PART AND NOEL MURRAY OF THE OTHER PART RELATING TO THE USE AND ENJOYMENT OF THE PROPERTY</p>
3	<p>11-APR-1995 95DN07784</p> <p>THE PROPERTY No 1 IS SUBJECT TO THE COVENANTS AND CONDITIONS SPECIFIED IN INSTRUMENT NO. 95DN07784 MADE BETWEEN PERFECT HOLDINGS LIMITED OF THE ONE PART AND PATRICK MONKS AND THERESA MONKS OF THE OTHER PART RELATING TO THE USE AND ENJOYMENT OF THE PROPERTY</p>
4	<p>24-OCT-2003 D2003DN038111C</p> <p>Charge for present and future advances repayable with interest. THE GOVERNOR AND COMPANY OF THE BANK OF IRELAND is owner of this charge. Certificate of Charge issued. Rule 156 Certificate of Charge Re-issued. Rule 156 (D2006DN061653B) 4th December 2006.</p> <p style="text-align: right;">Note: This charge affects the property No. 1 only. Note: See entry no.5</p>
5	<p>28-NOV-2006 D2006DN061653B</p> <p>The charge at entry no. 4 extends to advances up to and including €337,000 being the amount covered by the Revenue Duty impressed on the original deed of charge dated the 21st October 2003 a certified copy of which is filed on Instrument no. D2006DN061653B</p>



Planning Pack Map



CENTRE COORDINATES:
ITM 711626,729463

PUBLISHED: 22/07/2022 **ORDER NO.:** 50281429 1

MAP SERIES: 1:1,000 **MAP SHEETS:** 3327-25



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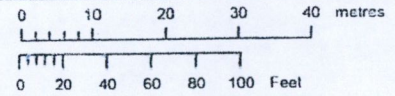
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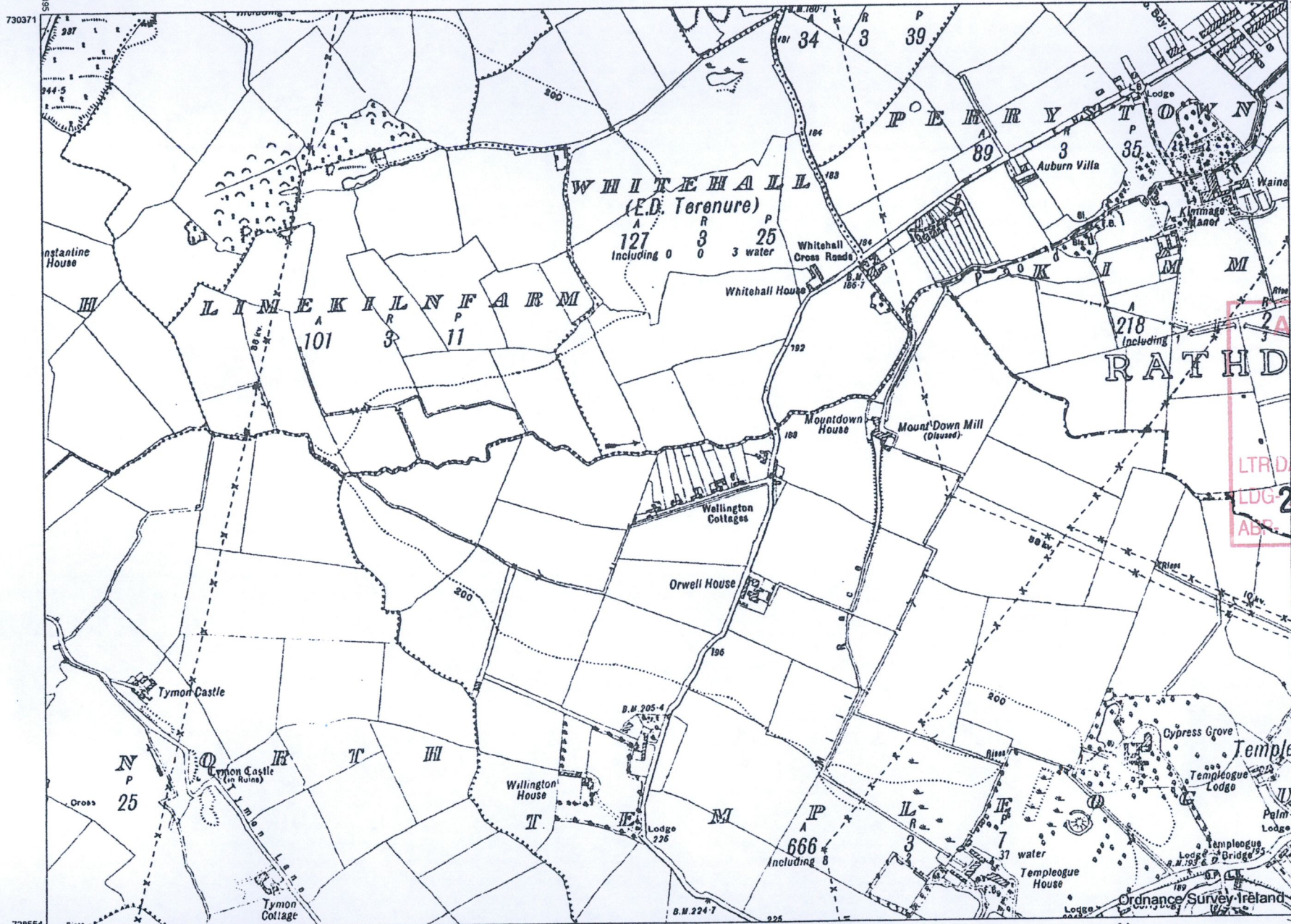
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Further information is available at <http://www.osi.ie>, search 'Capture Resolution'



OUTPUT SCALE: 1:1,000



Site Location Map



CENTRE COORDINATES:
ITM 711626,729463

PUBLISHED: 22/07/2022
ORDER NO.: 50281429_1

MAP SERIES: 6 Inch Raster
MAP SHEETS: DN022

COMPILED AND PUBLISHED BY:
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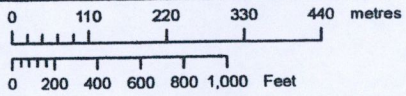
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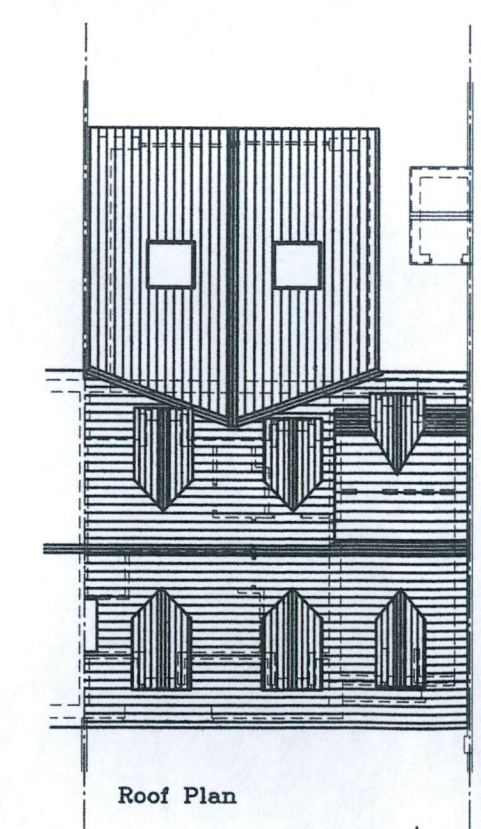
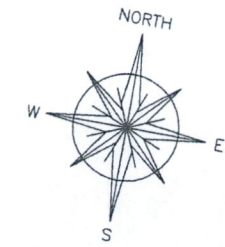
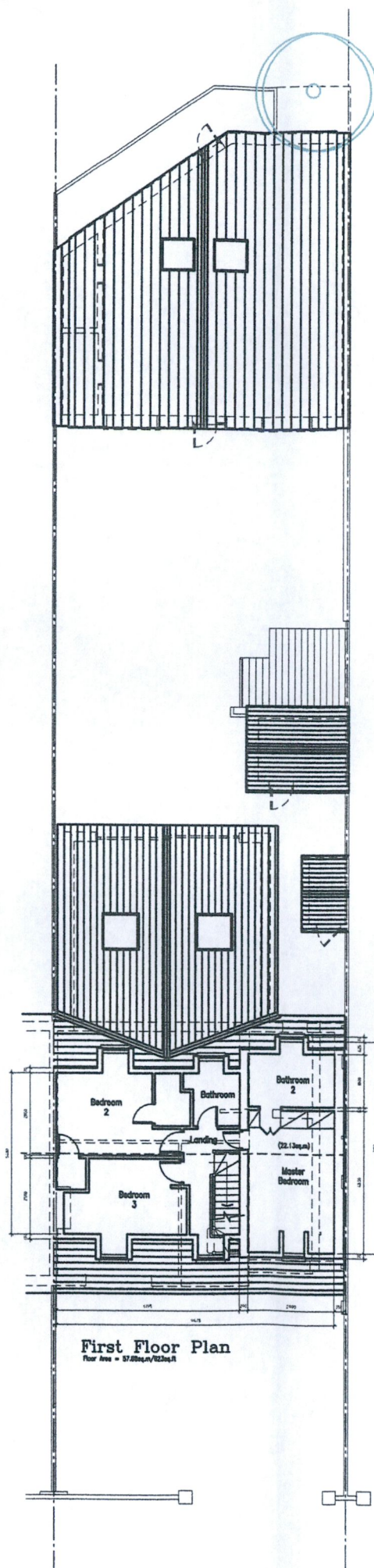
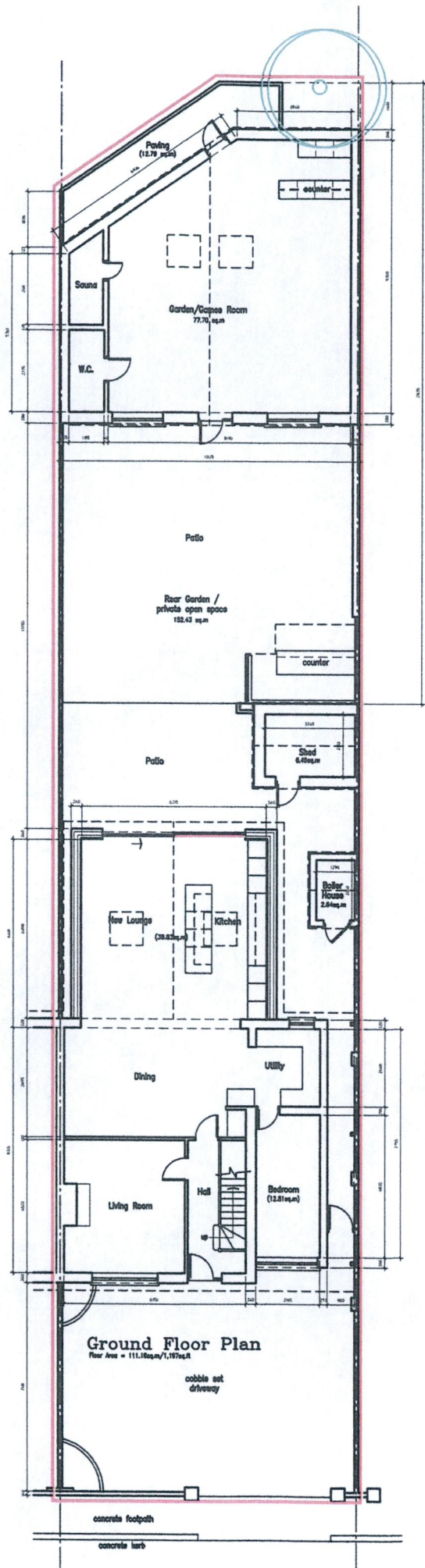
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 All levels must be checked on site.
 All works to be carried out in accordance with the 1997 Building Regulations, with all subsequent revisions to same, and with the requirements of the relative Local Authority.

AN BORD PLEANÁLA
 12 OCT 2022
 LTR DATED _____ FROM _____
 LDG- _____
 ABP- **22 314837**

REVISION	MADE BY	DATE

70MERRION 15 BUTTERFIELD CRESCENT, BUNFERRIS, DUBLIN 14. TEL: 4051307 MOB: 087/0001710
Niall Jones & Associates
 Planning Consultants

JOB TITLE
**PROPOSED RETENTION APPLICATION AT
 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W
 FOR PAT & THERESE MONKS**

DRAWING TITLE
**SURVEY DRAWING:
 EXISTING GROUND, FIRST & ROOF PLANS**

SCALE DATE DRAWN BY CHECKED BY

10/10/10

10/10/10

10/10/10

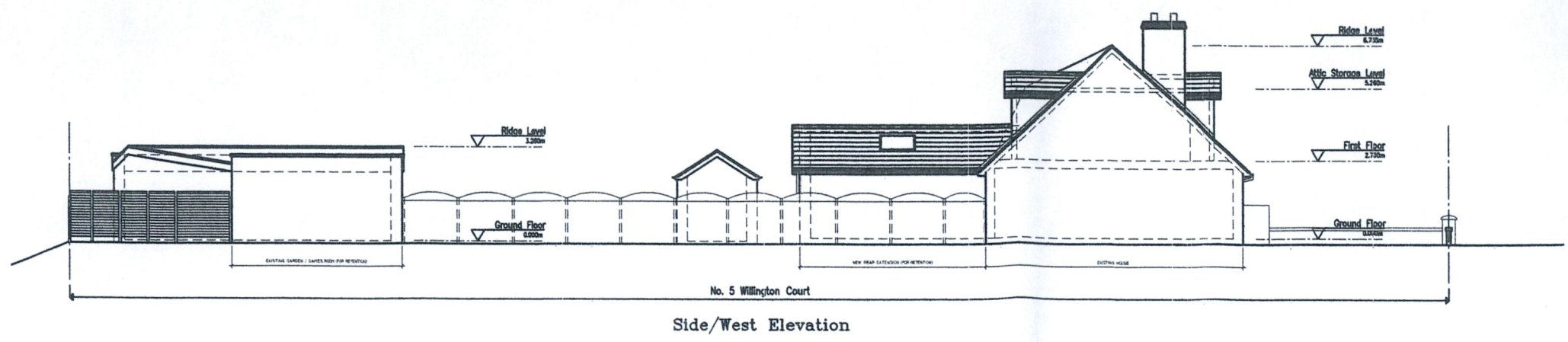
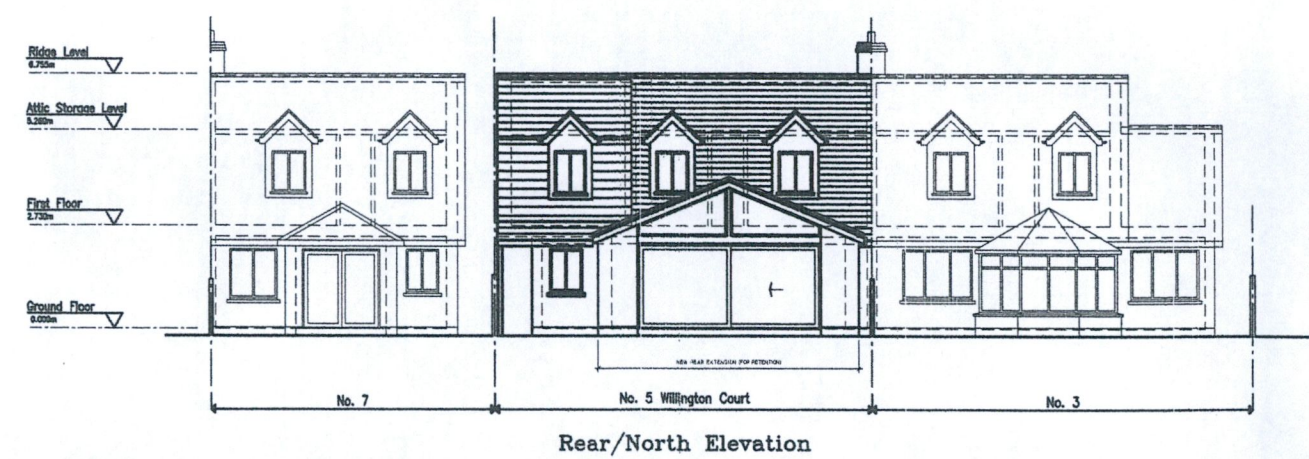
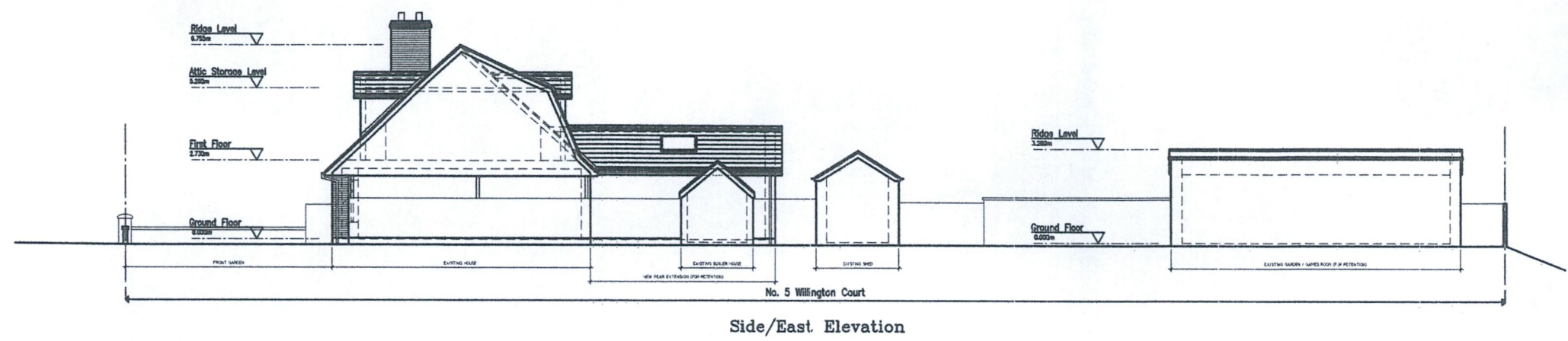
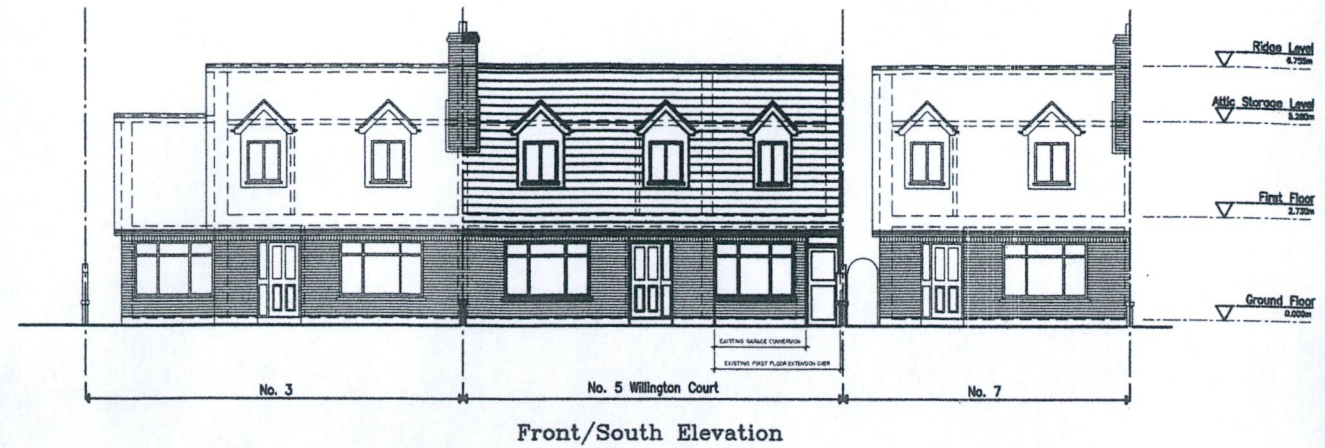
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AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- _____

ABP- **22 - 314837**

REVISION	MADE BY	DATE

15 BUTTERFIELD CRESCENT, BUNRATH, DUBLIN 14. TEL: 003537668 057/0501710
Niall Jones & Associates
 Planning Consultants

JOB TITLE: PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE: SURVEY DRAWING: EXISTING FRONT SIDE & REAR ELEVATIONS

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:100 @ A1	JULY'22	N.Jones	N.J.	22/281	S.02	

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1001 100
1001 100

1001 100
1001 100

GENERAL SPECIFICATION:

DEMOLITIONS:
CAREFULLY OPEN UP REAR GROUND FLOOR WALL TO EXISTING DINING ROOM, PROPPING REMAINING FIRST FLOOR JOISTS & ROOF RAFTERS OVER

FOUNDATIONS:
NEW 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A393 MESH (75mm COVER) ON 50mm CONCRETE SCREED TO REAR EXTENSION.
(ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)

STRUCTURAL STEELWORK:
ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT OPENED UP REAR WALL ACROSS GROUND FLOOR LEVEL & THROUGHOUT NEW GROUND FLOOR EXTENSION SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEER & TO BE PRIMED & 1 HOUR FIRE PROTECTED PRIOR TO COVERING UP

GROUND FLOOR CONSTRUCTION (EXTENSION):
NEW 20mm TIMBER FLOOR FINISH ON 50mm CONCRETE SCREED WITH UNEDR FLOOR HEATING PIPEWORK ON 100mm KINGSPAN 'KOOLOTERM K3' PIR INSULATION ON 150mm TK CONCRETE FLOOR SLAB (REINF. A142 MESH) ON 1300 GAUGE VISQUEEN DPM/RAYDOL BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDWARE THROUGHOUT REAR EXTENSION

CAVITY WALL CONSTRUCTION:
20mm PEBBLE-DASH FINISH TO MATCH EXISTING ON 100mm SOLID BLOCKWORK OUTER LEAF, 100mm CAVITY WITH 100mm KINGSPAN KOOLOTERM FULL-FILL RIGID 'PIR' INSULATION, WITH STAINLESS STEEL WALL TIES @ 450mm c/c VERT. & 900mm c/c HORZ., 100mm DENSE BLOCKWORK INNER LEAF WITH 25x50mm TREATED TIMBER BATTENS & 12.5mm PLASTERBOARD DRYLINING WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

PITCHED ROOF CONSTRUCTION:
BLUE-BLACK DOUBLE ROMAN CONCRETE ROOF TILES ON DOUBLE ROW OF 25x50 TREATED TIMBER BATTENS ON 175 x 44mm TIMBER JOISTS @ 400mm c/c (200mm FIBREGLASS QUILT INSULATION LAID BETWEEN RAFTERS) ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

FASICA & SOFFITS:
BLACK PVC FASICA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT 3 SIDES OF PITCHED ROOF AS SHOWN

RAIN WATER COLLECTION:
75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, TO CONNECT INTO NEW WATER BUTTS & OUTFLOW INTO S.W. GUILLEY TRAPS AT EACH SIDE OF NEW EXTENSION

WINDOWS & DOORS:
NEW ALL-CLAD DOUBLE GLAZED TIMBER FRAME SLIDING DOORS BY 'ARU JOINERY LTD' ALL FINISHED TO SELECTED RAL COLOUR & COMPLETE WITH APPROVED HINGES & IRONMONGERY.

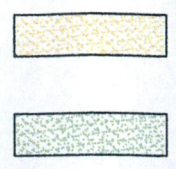
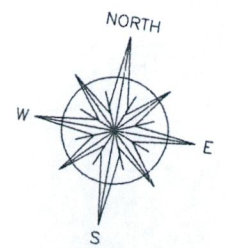
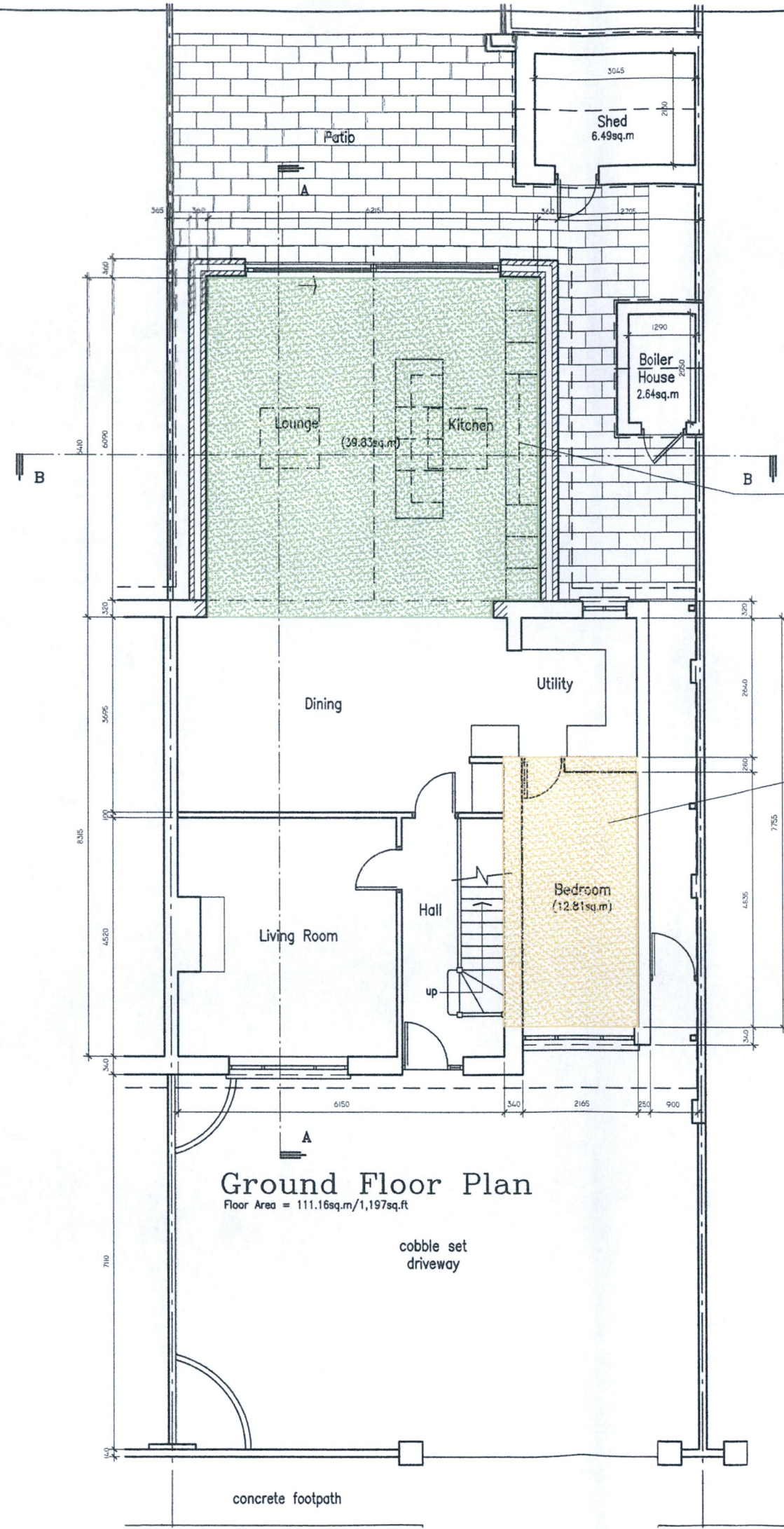
VELUX ROOF WINDOWS:
2No. NEW GGJ-506 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO PITCHED ROOF OVER REAR EXTENSION AS DRAWN.

JOINERY:
150x20mm TK. SQUARE TIMBER SKIRTING BOARDS & 75x20mm TK. SQUARE TIMBER ARCHITRAVES THROUGHOUT NEW WORKS ALL PAINTED TO SELECTED COLOUR

FITTED KITCHEN & UTILITY:
NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CONTRACTOR, (FINAL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT)

PATIO AREA:
20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON WEED BLOCK MEMBRANE ON 150mm WELL COMPACTED HARDWARE THROUGHOUT NEW PATIO AREA TO REAR & SIDE

BUILDING REGULATIONS PART L:
NEW EXTENSION TO BE IN FULL COMPLIANCE WITH TGD PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY NEW DWELLINGS'



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PREVIOUSLY APPROVED ADDITIONAL FLOOR AREA WITHIN THIS APPLICATION GRANTED UNDER REG REF: S99B/0199

EXTENT OF NEW ADDITIONAL FLOOR AREA WITHIN THIS APPLICATION TO BE RETAINED

PROPOSED RETENTION OF NEW SINGLE STOREY PITCHED ROOF (OPEN PLAN KITCHEN / LOUNGE) EXTENSION TO REAR

PREVIOUSLY APPROVED GARAGE CONVERSION INTO NEW GROUND FLOOR BEDROOM UNDER REG REF: S99B/0199

AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- _____

ABP- **22** **314837**

SCHEDULE OF FLOOR AREAS:

	ORIGINAL HOUSE	PREVIOUSLY APPROVED	EXTENDED HOUSE TO BE RETAINED	GARDEN/GAMES ROOM TO BE RETAINED	TOTAL FLOOR AREAS
GROUND FLOOR:	58.52	12.81	39.83	77.70	188.86
FIRST FLOOR:	35.75	22.13	0.00	0.00	57.88
TOTAL AREAS:	94.27	34.94	39.83	77.70	246.74sq.m/2,656sq.ft
FLOOR USAGE:	DOMESTIC DWELLING				

Ground Floor Plan
Floor Area = 111.16sq.m/1,197sq.ft

REVISION	MADE BY	DATE

"SOMEBOY" 15 BUTTERFIELD CRESCENT, BATHNAGH, DUBLIN 14. TEL: 4051397 MOB: 087/8801710
Niall Jones & Associates
Planning Consultants

JOB TITLE: PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE: RETENTION PLANNING DRAWING: EXISTING GROUND FLOOR PLAN (HOUSE)

SCALE: 1:50 @ A1	DATE: JULY'22	DRAWN BY: N.Jones	CHECKED: N.J.	JOB No: 22/281	DRAWING No: RP.03	REV:
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GENERAL SPECIFICATION:

DEMOLITIONS:
 CAREFULLY OPEN UP REAR GROUND FLOOR WALL TO EXISTING DINING ROOM, PROPPING REMAINING FIRST FLOOR JOISTS & ROOF RAFTERS OVER

FOUNDATIONS:
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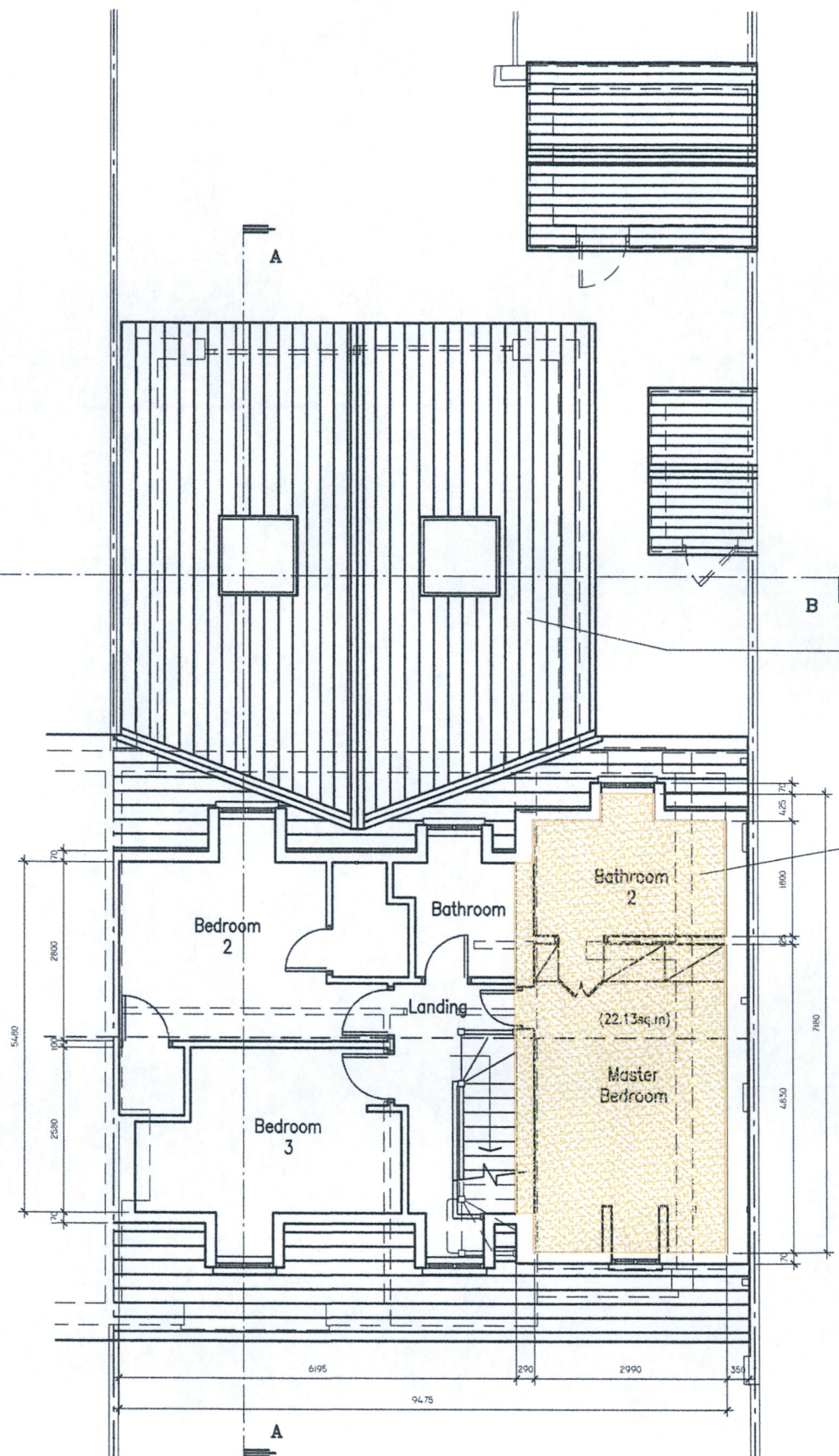
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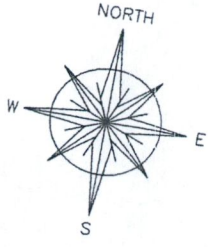
BUILDING REGULATIONS PART L:
 NEW EXTENSION TO BE IN FULL COMPLIANCE WITH TGD PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY NEW DWELLINGS'



First Floor Plan
 Floor Area = 57.88sq.m/623sq.ft

PROPOSED RETENTION OF NEW SINGLE STOREY PITCHED ROOF (OPEN PLAN KITCHEN / LOUNGE) EXTENSION TO REAR

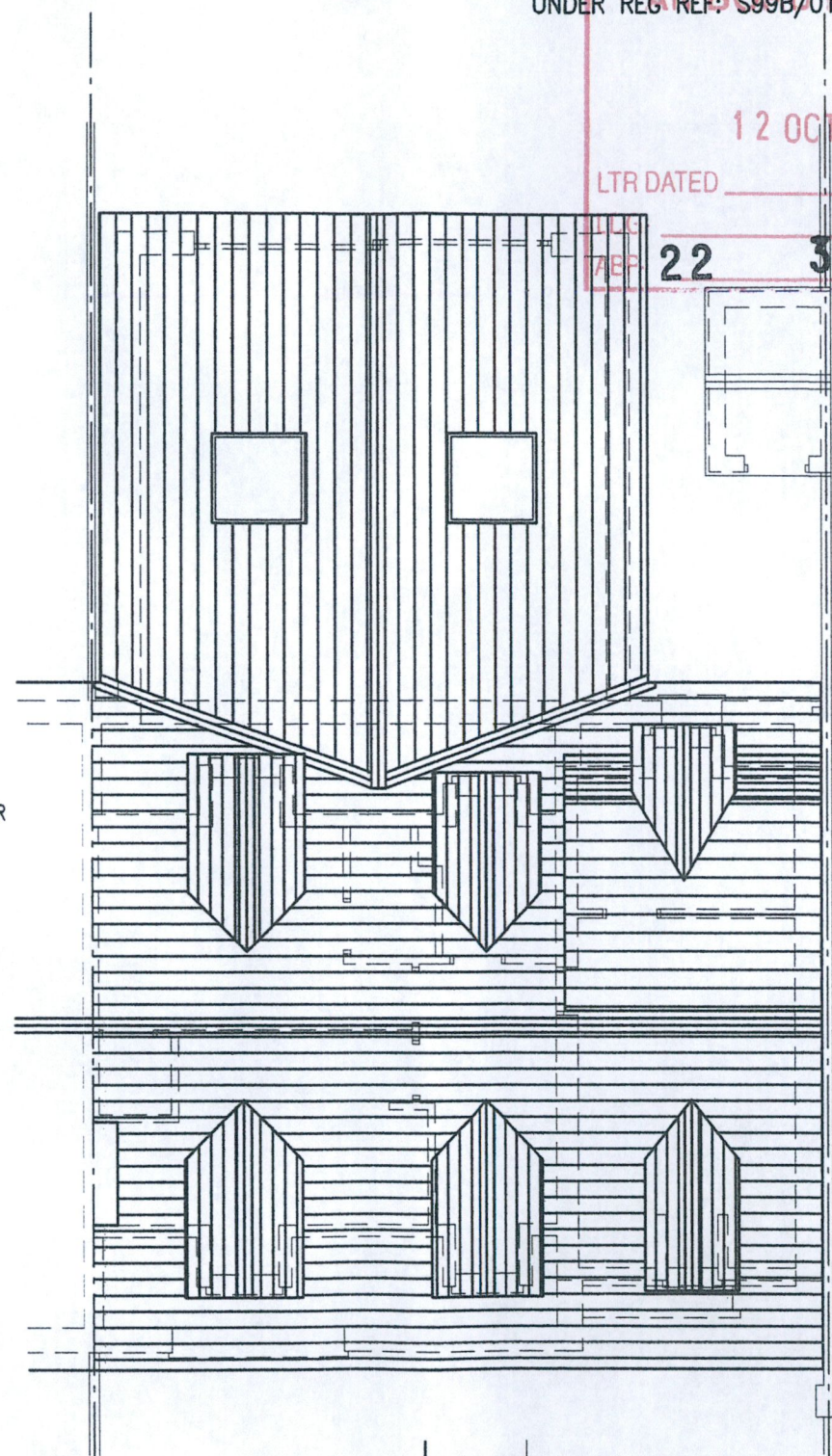
PREVIOUSLY APPROVED FIRST FLOOR BEDROOM & BATHROOM EXTENSION UNDER REG REF: S99B/0199



Notes:
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PREVIOUSLY APPROVED ADDITIONAL FLOOR AREA WITHIN THIS APPLICATION GRANTED UNDER REG REF: S99B/0199

12 OCT 2022
 LTR DATED FROM
 22 314837



Roof Plan

REVISION	MADE BY	DATE

15 BUTTERFIELD CRESCENT, BARRINGTON, DUBLIN 16. TEL: 0851347 008/0001710
Niall Jones & Associates
 Planning Consultants

JOB TITLE
 PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE
 RETENTION PLANNING DRAWING: EXISTING FIRST FLOOR & ROOF PLANS

SCALE 1:50 @ A1 1:100 @ A3	DATE JULY'22	DRAWN BY N.Jones	CHECKED N.J.	JOB No. 22/281	DRAWING No. RP.04	REV.
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STATE OF CALIFORNIA
COUNTY OF LOS ANGELES
JULY 10 1900
RECORDED
INDEXED

100
100

GENERAL SPECIFICATION:

DEMOLITIONS:
CAREFULLY OPEN UP REAR GROUND FLOOR WALL TO EXISTING DINING ROOM, PROPPING REMAINING FIRST FLOOR JOISTS & ROOF RAFTERS OVER

FOUNDATIONS:
NEW 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A393 MESH (75mm COVER) ON 50mm CONCRETE SCREED TO REAR EXTENSION.
(ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)

STRUCTURAL STEELWORK:
ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT OPENED UP REAR WALL ACROSS GROUND FLOOR LEVEL & THROUGHOUT NEW GROUND FLOOR EXTENSION SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEER & TO BE PRIMED & 1 HOUR FIRE PROTECTED PRIOR TO COVERING UP

GROUND FLOOR CONSTRUCTION (EXTENSION):
NEW 20mm TIMBER FLOOR FINISH ON 50mm CONCRETE SCREED WITH UNDER FLOOR HEATING PIPEWORK ON 100mm KINGSPAN 'KOOLTERM IC3' PIR INSULATION ON 150mm TK CONCRETE FLOOR SLAB (REINF. A142 MESH) ON 1300 GAUGE VISQUEEN DPM/RAYDON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDWARE THROUGHOUT REAR EXTENSION

CAVITY WALL CONSTRUCTION:
20mm PEBBLE-DASH FINISH TO MATCH EXISTING ON 100mm SOLID BLOCKWORK OUTER LEAF, 100mm CAVITY WITH 100mm KINGSPAN KOOLTERM FULL-FILL RIGID 'PIR' INSULATION, WITH STAINLESS STEEL WALL TIES @ 450mm c/c VERT. & 900mm c/c HORIZ., 100mm DENSE BLOCKWORK INNER LEAF WITH 25x50mm TREATED TIMBER BATTENS & 12.5mm PLASTERBOARD DRYLINING WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

PITCHED ROOF CONSTRUCTION:
BLUE-BLACK DOUBLE ROMAN CONCRETE ROOF TILES ON DOUBLE ROW OF 25x50 TREATED TIMBER BATTENS ON 175 x 44mm TIMBER JOISTS @ 400mm c/c (200mm FIBREGLOSS QUILT INSULATION LAID BETWEEN RAFTERS) ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

FASCIA & SOFFITS:
BLACK PVC FASCIA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT 3 SIDES OF PITCHED ROOF AS SHOWN

RAIN WATER COLLECTION:
75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, TO CONNECT INTO NEW WATER BUTTS & OUTFLOW INTO S.W. GULLY TRAPS AT EACH SIDE OF NEW EXTENSION

WINDOWS & DOORS:
NEW ALU-CLAD DOUBLE GLAZED TIMBER FRAME SLIDING DOORS BY 'ARU JOINERY LTD' ALL FINISHED TO SELECTED RAL COLOUR & COMPLETE WITH APPROVED HINGES & IRONMONGERY.

VELUX ROOF WINDOWS:
2No. NEW GGU-S06 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO PITCHED ROOF OVER REAR EXTENSION AS DRAWN.

JOINERY:
150x20mm TK. SQUARE TIMBER SKIRTING BOARDS & 75x20mm TK. SQUARE TIMBER ARCHITRAVES THROUGHOUT NEW WORKS ALL PAINTED TO SELECTED COLOUR

FITTED KITCHEN & UTILITY:
NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CONTRACTOR, (FINAL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT)

PATIO AREA:
20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON WEED BLOCK MEMBRANE ON 150mm WELL COMPACTED HARDWARE THROUGHOUT NEW PATIO AREA TO REAR & SIDE

BUILDING REGULATIONS PART L:
NEW EXTENSION TO BE IN FULL COMPLIANCE WITH TGD PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY NEW DWELLINGS'

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Contiguous Front/South Elevation

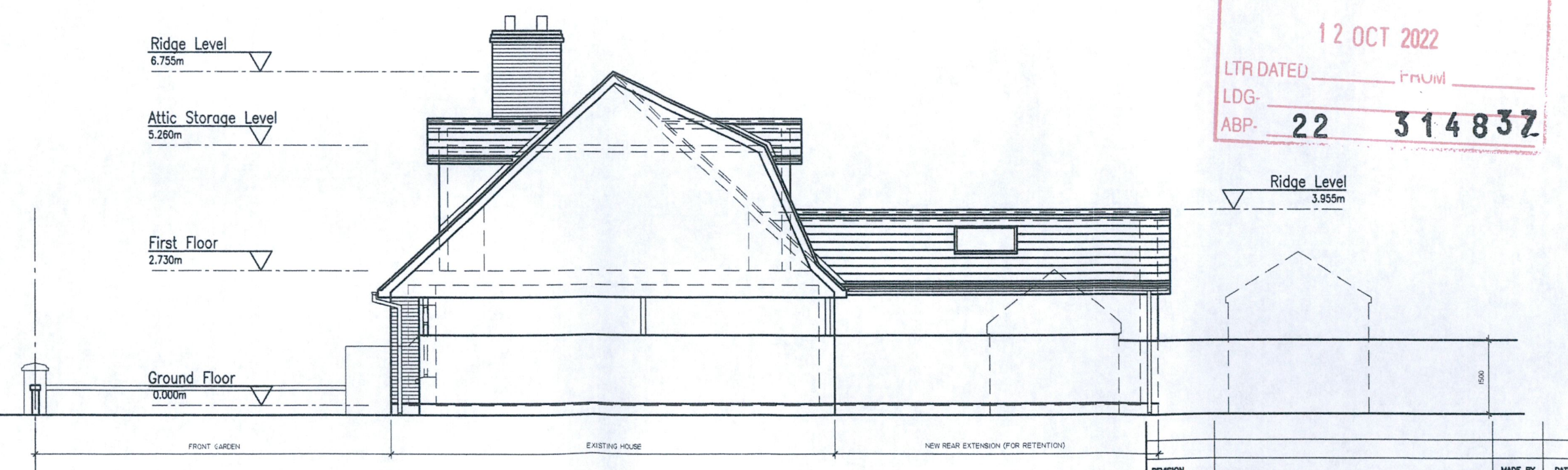
AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- _____

ABP- **22 31483Z**



Side/East Elevation

REVISION	MADE BY	DATE

15 BUTTERFIELD CRESCENT, BARRINGTON, DUBLIN 14. TEL: 461317 MOB: 087/0801710
Niall Jones & Associates
Planning Consultants

JOB TITLE
PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE
RETENTION PLANNING DRAWING: EXISTING CONTIGUOUS FRONT & SIDE ELEVATIONS

SCALE 1:50 @ A1 1:100 @ A2	DATE JULY'22	DRAWN BY N.Jones	CHECKED N.J.	JOB No. 22/281	DRAWING No. RP.05	REV.
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GENERAL SPECIFICATION:

DEMOLITIONS:
CAREFULLY OPEN UP REAR GROUND FLOOR WALL TO EXISTING DINING ROOM, PROPPING REMAINING FIRST FLOOR JOISTS & ROOF RAFTERS OVER

FOUNDATIONS:
NEW 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A393 MESH (75mm COVER) ON 50mm CONCRETE SCREED TO REAR EXTENSION.
(ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)

STRUCTURAL STEELWORK:
ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT OPENED UP REAR WALL ACROSS GROUND FLOOR LEVEL & THROUGHOUT NEW GROUND FLOOR EXTENSION SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEER & TO BE PRIMED & 1 HOUR FIRE PROTECTED PRIOR TO COVERING UP

GROUND FLOOR CONSTRUCTION (EXTENSION):
NEW 20mm TIMBER FLOOR FINISH ON 50mm CONCRETE SCREED WITH UNDER FLOOR HEATING PIPEWORK ON 100mm KINGSPAN 'KOOLTERM K3' PIR INSULATION ON 150mm TK. CONCRETE FLOOR SLAB (REIN. A142 MESH) ON 1300 GAUGE VISQUEEN DPM/RAYDON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDCORE THROUGHOUT REAR EXTENSION

CAVITY WALL CONSTRUCTION:
20mm PEBBLE-DASH FINISH TO MATCH EXISTING ON 100mm SOLID BLOCKWORK OUTER LEAF, 100mm CAVITY WITH 100mm KINGSPAN KOOLTERM FULL-FILL RIGID 'PIR' INSULATION, WITH STAINLESS STEEL WALL TIES @ 450mm c/c VERT. & 900mm c/c HORIZ., 100mm DENSE BLOCKWORK INNER LEAF WITH 25x50mm TREATED TIMBER BATTENS & 12.5mm PLASTERBOARD DRYLINING WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

PITCHED ROOF CONSTRUCTION:
BLUE-BLACK DOUBLE ROMAN CONCRETE ROOF TILES ON DOUBLE ROW OF 25x50 TREATED TIMBER BATTENS ON 175 x 44mm TIMBER JOISTS @ 400mm c/c (200mm FIBREGLASS QUILT INSULATION LAID BETWEEN RAFTERS) ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

FASCIA & SOFFITS:
BLACK PVC FASCIA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT 3 SIDES OF PITCHED ROOF AS SHOWN

RAIN WATER COLLECTION:
75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, TO CONNECT INTO NEW WATER BUTTS & OUTFLOW INTO S.W. GULLY TRAPS AT EACH SIDE OF NEW EXTENSION

WINDOWS & DOORS:
NEW ALU-CLAD DOUBLE GLAZED TIMBER FRAME SLIDING DOORS BY 'ARU JOINERY LTD' ALL FINISHED TO SELECTED RAL COLOUR & COMPLETE WITH APPROVED HINGES & IRONMONGERY.

VELUX ROOF WINDOWS
2No. NEW GGU-506 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO PITCHED ROOF OVER REAR EXTENSION AS DRAWN.

JOINERY:
150x20mm TK. SQUARE TIMBER SKIRTING BOARDS & 75x20mm TK. SQUARE TIMBER ARCHITRAVES THROUGHOUT NEW WORKS ALL PAINTED TO SELECTED COLOUR

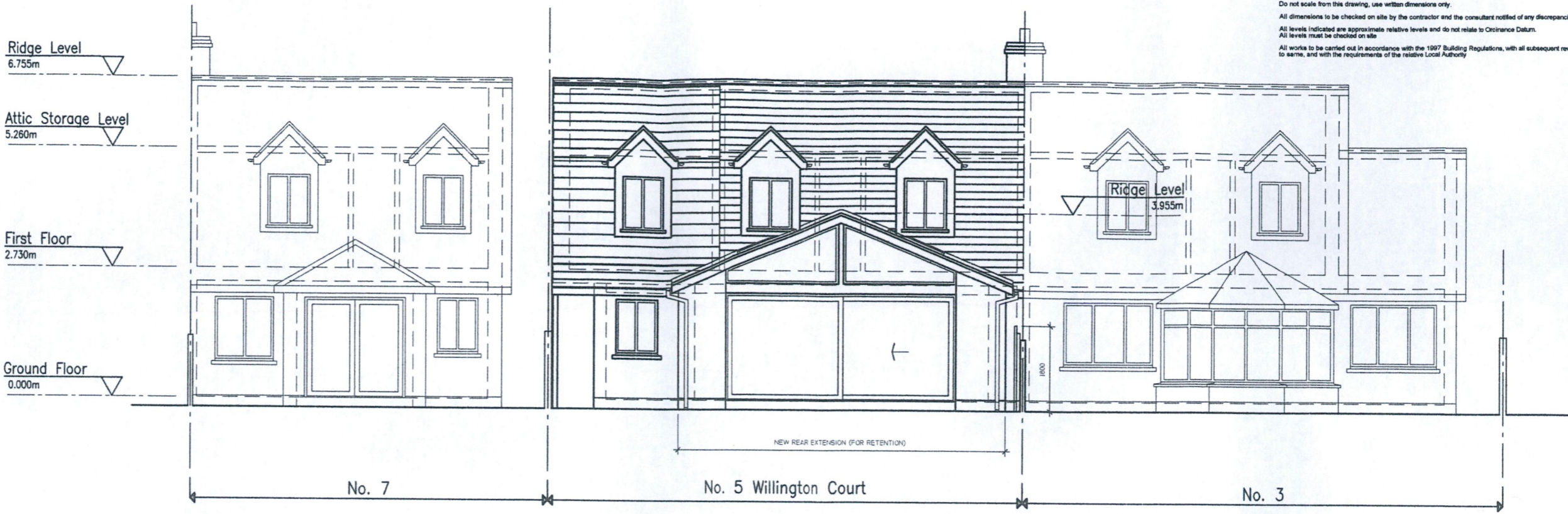
FITTED KITCHEN & UTILITY:
NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CONTRACTOR, (FINAL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT)

PATIO AREA:
20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON WEED BLOCK MEMBRANE ON 150mm WELL COMPACTED HARDCORE THROUGHOUT NEW PATIO AREA TO REAR & SIDE

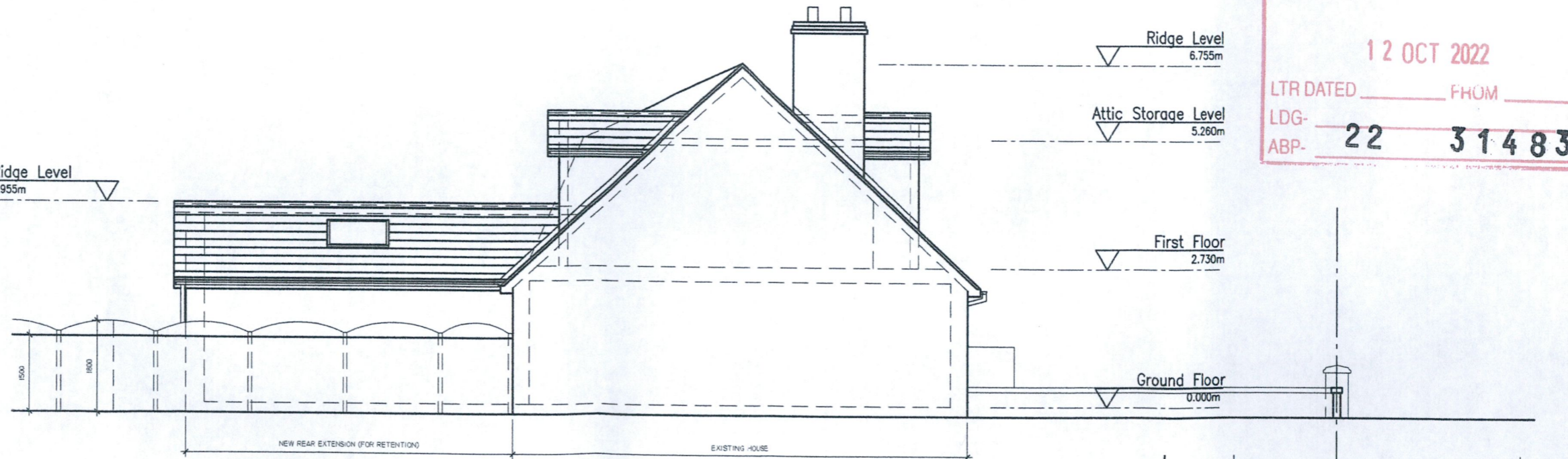
BUILDING REGULATIONS PART L:
NEW EXTENSION TO BE IN FULL COMPLIANCE WITH TGD PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY NEW DWELLINGS'

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Contiguous Rear/North Elevation



Side/West Elevation

AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- 22 314837

ABP- _____

REVISION	MADE BY	DATE

"COMERTON" 15 BUTTERFIELD CREEK, INTREPROBNA, DUBLIN 14. TEL: 4651357 MOB: 007/0001710
Niall Jones & Associates
Planning Consultants

JOB TITLE: PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE: RETENTION PLANNING DRAWING: EXISTING CONTIGUOUS REAR & SIDE ELEVATIONS

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:50 @ A1						

GENERAL SPECIFICATION:

DEMOLITIONS:
CAREFULLY OPEN UP REAR GROUND FLOOR WALL TO EXISTING DINING ROOM, PROPPING REMAINING FIRST FLOOR JOISTS & ROOF RAFTERS OVER

FOUNDATIONS:
NEW 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A393 MESH (75mm COVER) ON 50mm CONCRETE SCREED TO REAR EXTENSION.
(ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)

STRUCTURAL STEELWORK:
ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT OPENED UP REAR WALL ACROSS GROUND FLOOR LEVEL & THROUGHOUT NEW GROUND FLOOR EXTENSION SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEER & TO BE PRIMED & 1 HOUR FIRE PROTECTED PRIOR TO COVERING UP

GROUND FLOOR CONSTRUCTION (EXTENSION):
NEW 20mm TIMBER FLOOR FINISH ON 50mm CONCRETE SCREED WITH UNDER FLOOR HEATING PIPEWORK ON 100mm KINGSPAN 'KOOLTERM K3' PIR INSULATION ON 150mm TK. CONCRETE FLOOR SLAB (REINF. A142 MESH) ON 1300 GAUGE VISQUEEN DPM/RAYDON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDWARE THROUGHOUT REAR EXTENSION

CAVITY WALL CONSTRUCTION:
20mm PEBBLE-DASH FINISH TO MATCH EXISTING ON 100mm SOLID BLOCKWORK OUTER LEAF, 100mm CAVITY WITH 100mm KINGSPAN KOOLTERM FULL-FILL RIGID 'PIR' INSULATION, WITH STAINLESS STEEL WALL TIES @ 450mm c/c VERT. & 900mm c/c HORIZ., 100mm DENSE BLOCKWORK INNER LEAF WITH 25x50mm TREATED TIMBER BATTENS & 12.5mm PLASTERBOARD DRYLINING WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

PITCHED ROOF CONSTRUCTION:
BLUE-BLACK DOUBLE ROMAN CONCRETE ROOF TILES ON DOUBLE ROW OF 25x50 TREATED TIMBER BATTENS ON 175 x 44mm TIMBER JOISTS @ 400mm c/c (200mm FIBREGLASS QUILT INSULATION LAID BETWEEN RAFTERS) ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

FASCIA & SOFFITS:
BLACK PVC FASCIA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT 3 SIDES OF PITCHED ROOF AS SHOWN

RAIN WATER COLLECTION:
75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, TO CONNECT INTO NEW WATER BUTTS & OUTFLOW INTO S.W. GULLY TRAPS AT EACH SIDE OF NEW EXTENSION

WINDOWS & DOORS:
NEW ALU-CLAD DOUBLE GLAZED TIMBER FRAME SLIDING DOORS BY 'ARU JOINERY LTD' ALL FINISHED TO SELECTED RAL COLOUR & COMPLETE WITH APPROVED HINGES & IRONMONGERY.

VELUX ROOF WINDOWS:
2No. NEW GGU-S06 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO PITCHED ROOF OVER REAR EXTENSION AS DRAWN.

JOINERY:
150x20mm TK. SQUARE TIMBER SKIRTING BOARDS & 75x20mm TK. SQUARE TIMBER ARCHITRAVES THROUGHOUT NEW WORKS ALL PAINTED TO SELECTED COLOUR

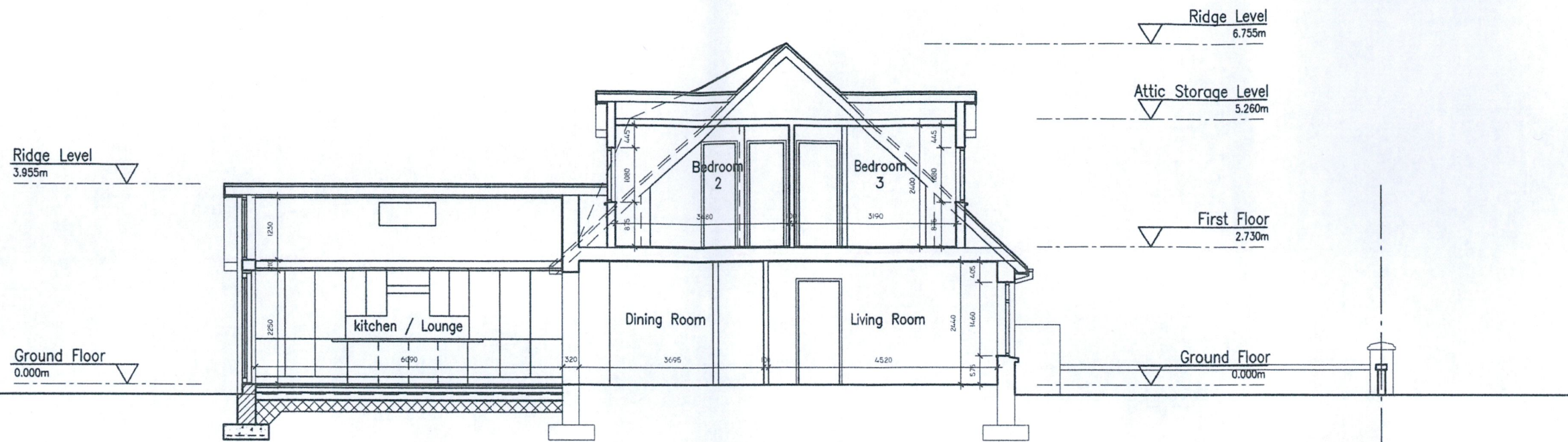
FITTED KITCHEN & UTILITY:
NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CONTRACTOR. (FINAL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT)

PATIO AREA:
20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON WEED BLOCK MEMBRANE ON 150mm WELL COMPACTED HARDWARE THROUGHOUT NEW PATIO AREA TO REAR & SIDE

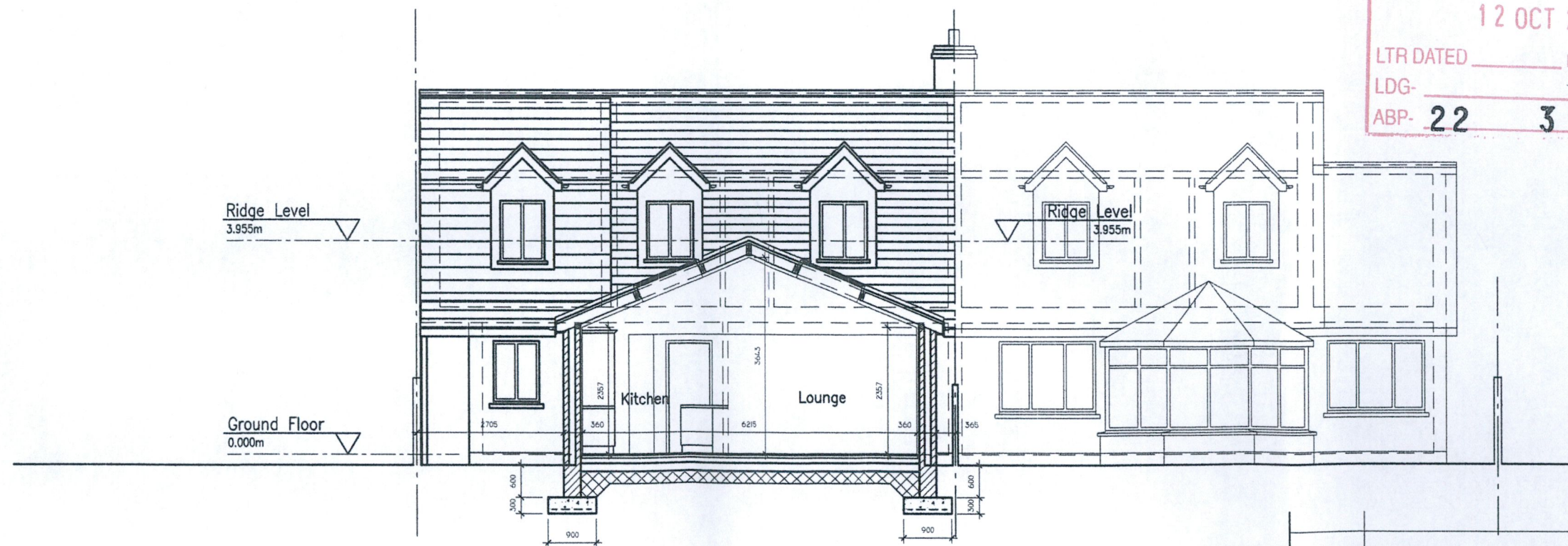
BUILDING REGULATIONS PART L:
NEW EXTENSION TO BE IN FULL COMPLIANCE WITH TGD PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY NEW DWELLINGS'

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Section A-A



Section B-B

AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- _____

ABP- 22 314837

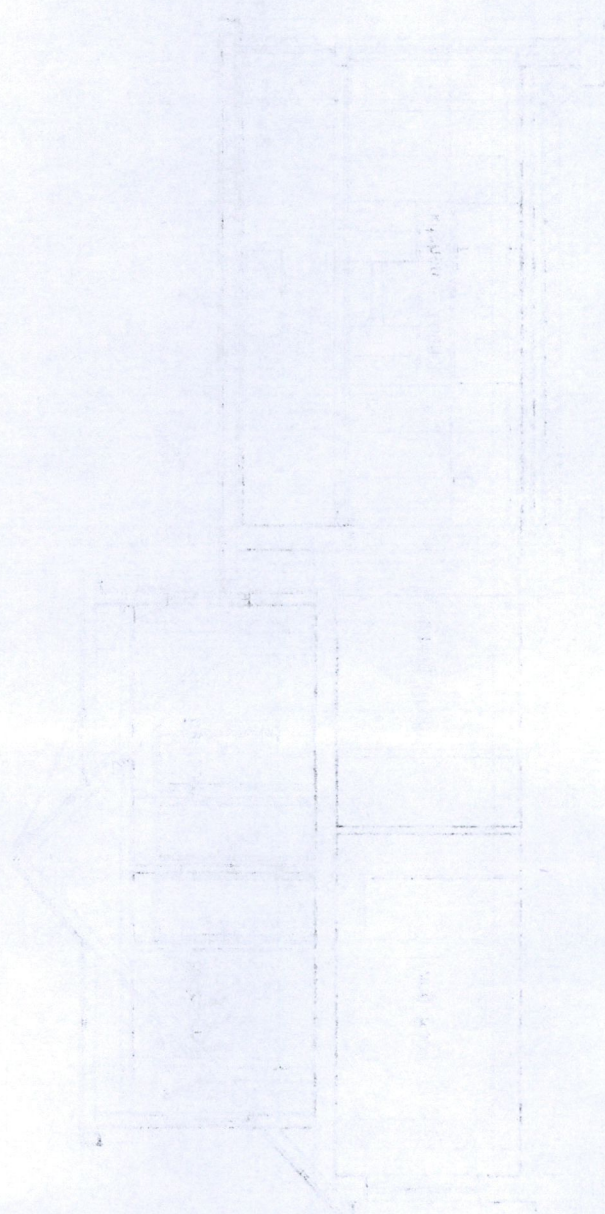
REVISION	MADE BY	DATE

"SOMERBY" 16 BUTTERFIELD CRESENT, RIVERFARROW, DUBLIN 14. TEL: 0035397 MOB: 0037/0001710
Niall Jones & Associates
Planning Consultants

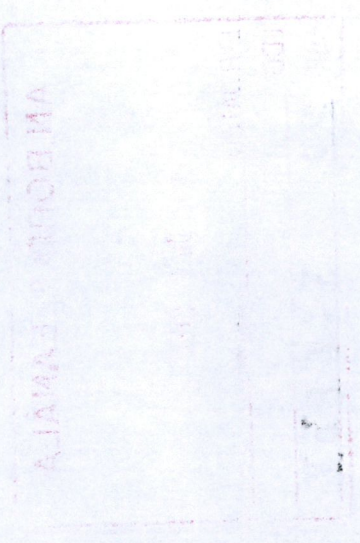
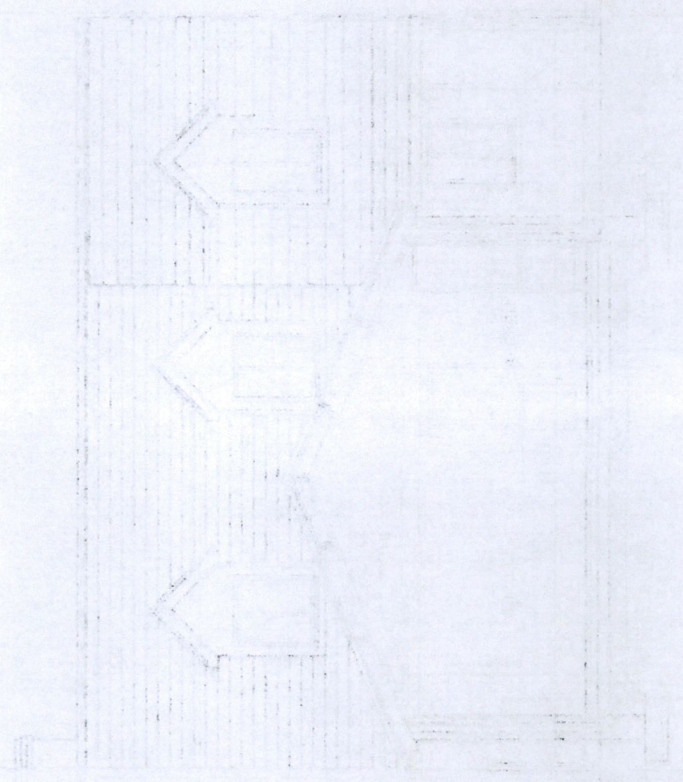
JOB TITLE: PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE: RETENTION PLANNING DRAWING: EXISTING SECTIONS A-A & B-B

SCALE: 1:50 @ A1 1:100 @ A3	DATE: JULY'22	DRAWN BY: N.Jones	CHECKED: N.J.	JOB No.: 22/281	DRAWING No.: RP.07	REV.
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PLAN 1st FLOOR



PLAN 2nd FLOOR

EXISTING SPECIFICATION:

FOUNDATIONS:
 EXISTING 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A363 MESH (75mm COVER) ON 50mm CONCRETE SCREED

STRUCTURAL STEELWORK:
 NEW STRUCTURAL STEEL RIDGE BEAM RUNNING FROM FRONT TO REAR TO SUPPORT LOW PITCH ROOF CONSTRUCTION ALL BOXED OUT IN PLASTERBOARD & PLASTER SKIM

GROUND FLOOR CONSTRUCTION:
 20mm TILED FLOOR FINISH ON 150mm TK. CONCRETE FLOOR SLAB (REINF. A142 MESH) ON 1300 GAUGE VISQUEEN DPM/RAYDON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDWARE THROUGHOUT

WALL CONSTRUCTION:
 PRE-COLOURED ACRYLIC RENDER FINISH ON 100mm EPS EXTERNAL INSULATION (TO FRONT & REAR ELEVATIONS ONLY) WITH 215mm TK. HOLLOW BLOCKWORK WALLS THROUGHOUT, DRY-LINED INTERNALLY WITH 100mm KINGSPAN KOOLATHERM K18 INSULATED DRY-LINING (TO SIDE ELEVATIONS ONLY) OR WITH 25x50 TIMBER BATTENS & 12.5mm PLASTERBOARD WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

INTERNAL TIMBER STUD WALLS:
 44x100mm TIMBER STUDS @ 400mm c/c WITH NOGINS @ 1/3 HEIGHT, 100mm ROCKWOOL INSULATION TIGHTLY FITTED BETWEEN STUDS, & FINISHED WITH 12.5mm PLASTERBOARD SLABS EACH SIDE WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

LOW PITCH ROOF CONSTRUCTION:
 TILE EFFECT METAL SHEETING WITH FIBREGLASS VALLEY GUTTERS EACH SIDE ON 25x50 BATTENS ON 75x44 COUNTER BATTENS ON 225 x 44mm TIMBER JOISTS @ 600mm c/c, COMPLETE WITH 200mm QUILT INSULATION BETWEEN RAFTERS ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

PARAPET WALL CAPPING:
 350mm WIDE x 75mm HIGH TAPERED CONCRETE CAPPING ON CONTINUOUS D.P.C. THROUGHOUT EACH SIDE OF THE EXISTING GARDEN ROOM

FASICA & SOFFITS:
 BLACK PVC FASICA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT FRONT & REAR OF PITCHED ROOF

WINDOWS & DOORS:
 EXISTING "WEATHER GLAZE" DOUBLE GLAZED (ANTRICITE GREY) PVC WINDOWS & COMPOSITE FRONT & REAR DOORS TO EXISTING GARDEN ROOM

VELUX ROOF WINDOWS:
 2No. EXISTING GGU-S06 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO LOW LEVEL PITCHED ROOF OVER GARDEN ROOM AS DRAWN

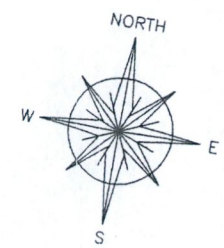
RAIN WATER COLLECTION:
 75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, WITH HOPPER HEAD, CONNECT INTO NEW S.W. GULLY TRAPS AT EACH REAR CORNER OF STRUCTURE & OUTFLOW INTO EXISTING RIVER Puddle

JOINERY:
 EXISTING 150x20mm TK. TIMBER SKIRTING BOARDS & 75x20mm TK. TIMBER ARCHITRAVES THROUGHOUT ALL PAINTED TO SELECTED COLOUR

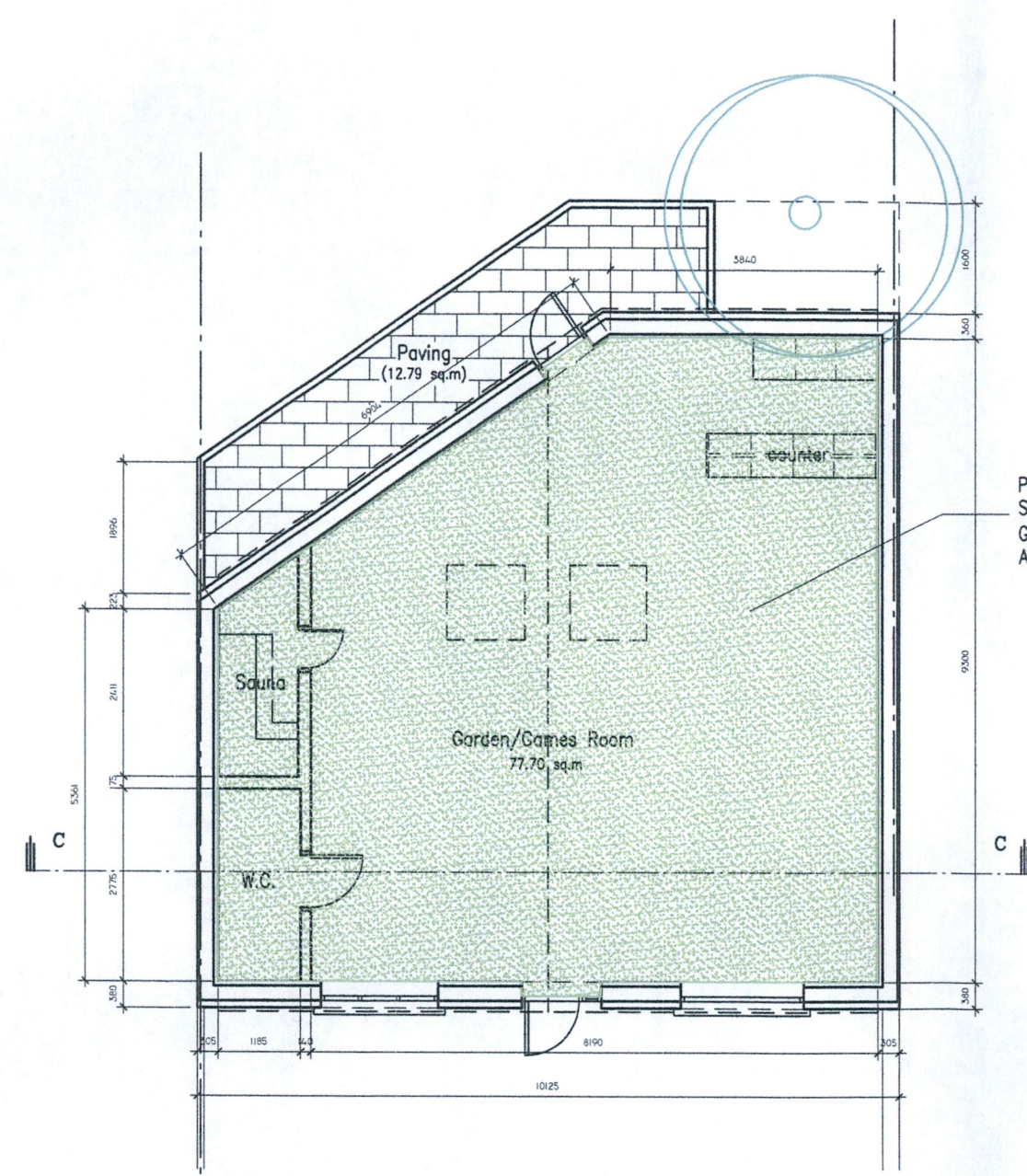
SANITARY UNITS:
 EXISTING W.C., COMPLETE WITH SHOWER TRAY/CUBICLE, FOLDING GLASS SCREEN, TOILET UNIT & WASH HAND BASIN / VANITY UNIT. (ALL WHITE IN COLOUR)

PATIO AREA:
 20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON 150mm WELL COMPACTED HARDWARE THROUGHOUT PATIO AREA TO REAR

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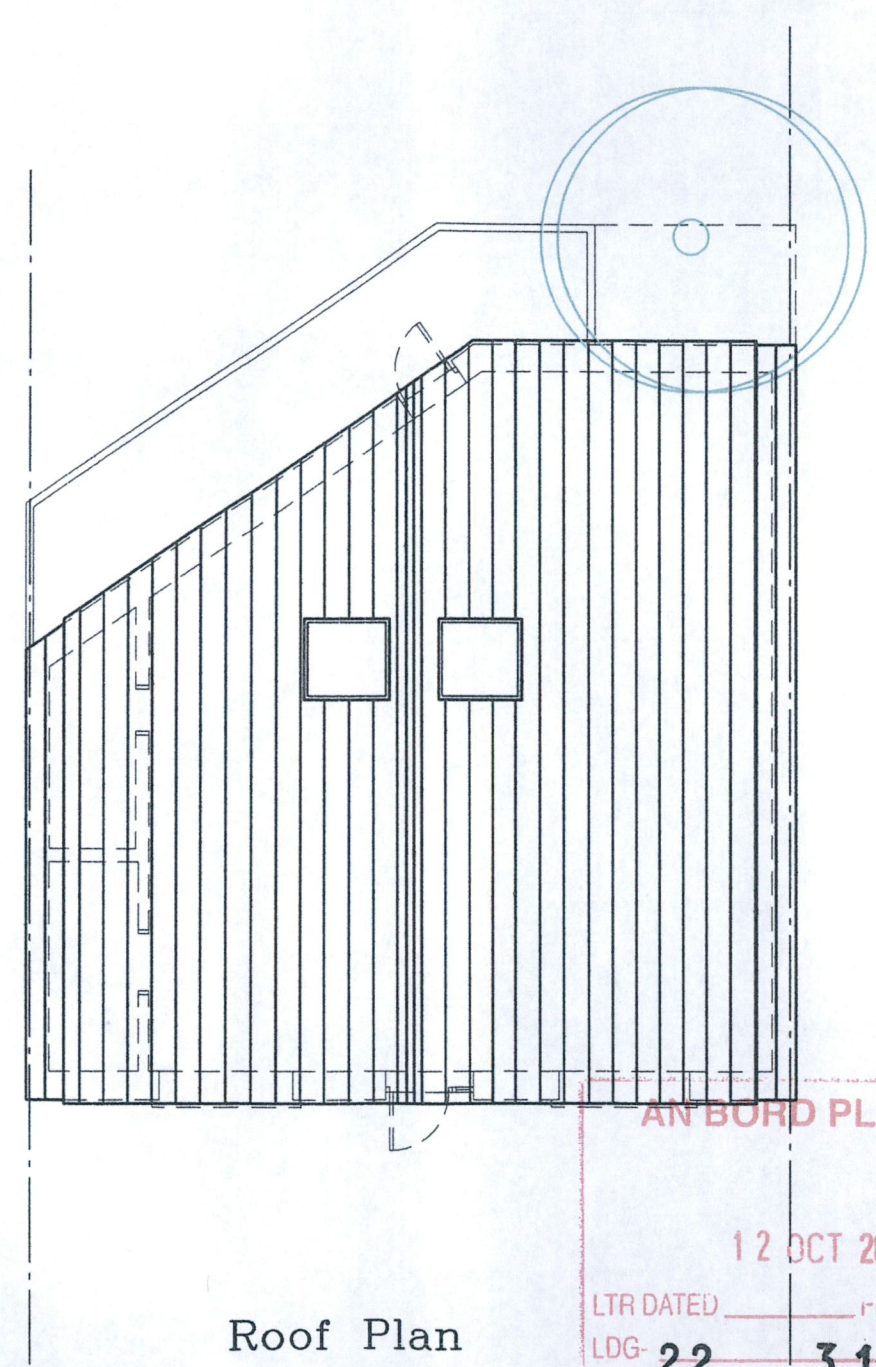


EXTENT OF NEW ADDITIONAL FLOOR AREA WITHIN THIS APPLICATION TO BE RETAINED



Ground Floor Plan
 Floor Area = 77.70sq.m/836sq.ft

PROPOSED RETENTION OF EXISTING SINGLE STOREY LOW PITCHED ROOF GARDEN/GAMES ROOM STRUCTURE AT END OF GARDEN AS SHOWN



Roof Plan

AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

LDG- **22** **314837**

ABP- _____

REVISION	MADE BY	DATE

15 BUTTERFIELD CRESCENT, BEECHFIELD, DUBLIN 14. TEL: 4051307 MOB: 087/0001710
Niall Jones & Associates
 Planning Consultants

JOB TITLE
 PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE
 RETENTION PLANNING DRAWING: EXISTING GARDEN ROOM GROUND FLOOR/ROOF PLANS

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:50 @ A1	11/11/22	N. Jones	N.J.	22/281	PP 08	

EXISTING SPECIFICATION:

FOUNDATIONS:
 EXISTING 800mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A393 MESH (75mm COVER) ON 50mm CONCRETE SCREED

STRUCTURAL STEELWORK:
 NEW STRUCTURAL STEEL RIDGE BEAM RUNNING FROM FRONT TO REAR TO SUPPORT LOW PITCH ROOF CONSTRUCTION ALL BOXED OUT IN PLASTERBOARD & PLASTER SKIM.

GROUND FLOOR CONSTRUCTION:
 20mm TILED FLOOR FINISH ON 150mm TK. CONCRETE FLOOR SLAB (REINF. A142 MESH) ON 1300 GAUGE VSQUEEN DPM/RAYDON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 150mm W.C. HARDCORE THROUGHOUT

WALL CONSTRUCTION:
 PRE-COLOURED ACRYLIC RENDER FINISH ON 100mm EPS EXTERNAL INSULATION (TO FRONT & REAR ELEVATIONS ONLY) WITH 215mm TK. HOLLOW BLOCKWORK WALLS THROUGHOUT, DRY-LINED INTERNALLY WITH 100mm KINGSPAN KOOLTHERM K18 INSULATED DRYLINING (TO SIDE ELEVATIONS ONLY) OR WITH 25x50 TIMBER BATTENS & 12.5mm PLASTERBOARD WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

INTERNAL TIMBER STUD WALLS:
 44x100mm TIMBER STUDS @ 400mm c/c WITH NOGINS @ 1/3 HEIGHT, 100mm ROCKWOOL INSULATION TIGHTLY FITTED BETWEEN STUDS, & FINISHED WITH 12.5mm PLASTERBOARD EACH SIDE WITH A 3mm GYPSUM SKIMCOAT PLASTER FINISH

LOW PITCH ROOF CONSTRUCTION:
 TILE EFFECT METAL SHEETING WITH FIBREGLASS VALLEY GUTTERS EACH SIDE ON 25x50 BATTENS ON 75x44 COUNTER BATTENS ON 225 x 44mm TIMBER JOISTS @ 800mm c/c, COMPLETE WITH 200mm QUILT INSULATION BETWEEN RAFTERS ON 12.5mm PLASTERBOARD & PLASTER SKIM FINISH

PARAPET WALL CAPPING:
 350mm WIDE x 75mm HIGH TAPERED CONCRETE CAPPING ON CONTINUOUS D.P.C. THROUGHOUT EACH SIDE OF THE EXISTING GARDEN ROOM.

FASICA & SOFFITS:
 BLACK PVC FASICA & SOFFITS ON OSB PLYWOOD BACKING BOARD THROUGHOUT FRONT & REAR OF PITCHED ROOF

WINDOWS & DOORS:
 EXISTING "WEATHER GLAZE" DOUBLE GLAZED (ANTHRACITE GREY) PVC WINDOWS & COMPOSITE FRONT & REAR DOORS TO EXISTING GARDEN ROOM.

VELUX ROOF WINDOWS:
 2No. EXISTING GGU-S06 (1140 x 1180) PRE-FINISHED DOUBLE GLAZED VELUX ROOF LIGHTS TO LOW LEVEL PITCHED ROOF OVER GARDEN ROOM AS DRAWN.

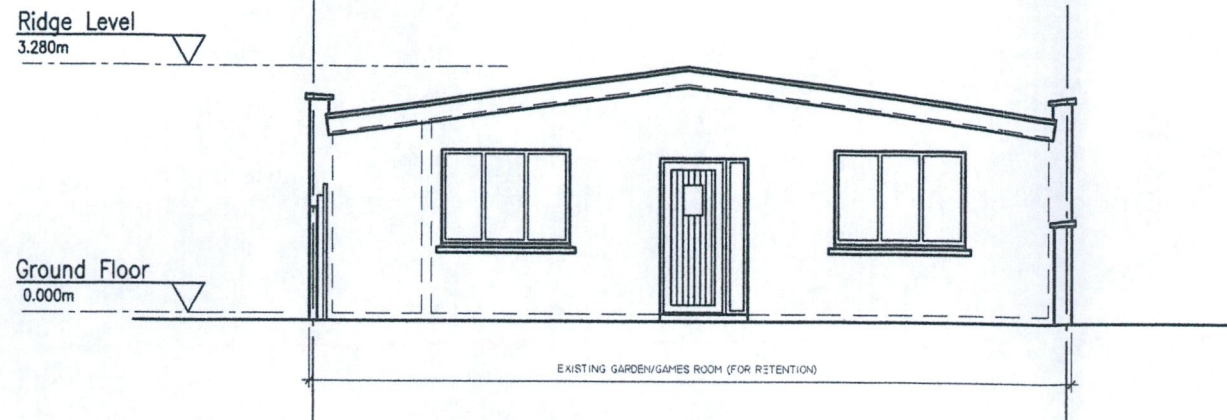
RAIN WATER COLLECTION:
 75mm SQUARE BLACK PVC RAIN WATER DOWN PIPES, WITH HOPPER HEAD, CONNECT INTO NEW S.W. GULLEY TRAPS AT EACH REAR CORNER OF STRUCTURE & OUTFLOW INTO EXISTING RIVER PONDLE

JOINERY:
 EXISTING 150x20mm TK. TIMBER SKIRTING BOARDS & 75x20mm TK. TIMBER ARCHITRAVES THROUGHOUT ALL PAINTED TO SELECTED COLOUR

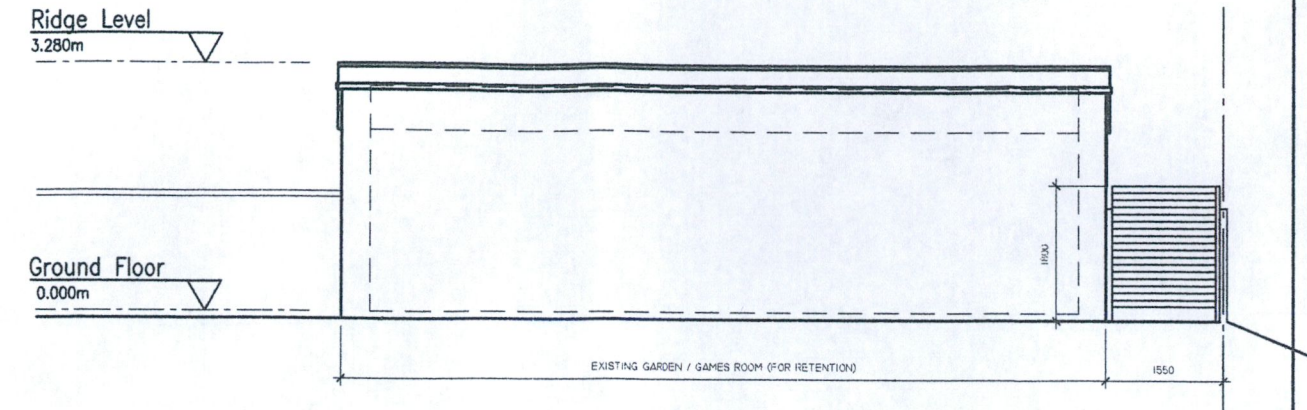
SANITARY UNITS:
 EXISTING W.C., COMPLETE WITH SHOWER TRAY/CUBICLE, FOLDING GLASS SCREEN, TOILET UNIT & WASH HAND BASIN / VANITY UNIT. (ALL WHITE IN COLOUR)

PATIO AREA:
 20mm TK. SELECTED NATURAL STONE PAVING SLABS (AS SHOWN) LAID TO FALLS ON 50mm SAND BLINDING ON 150mm WELL COMPACTED HARDCORE THROUGHOUT PATIO AREA TO REAR

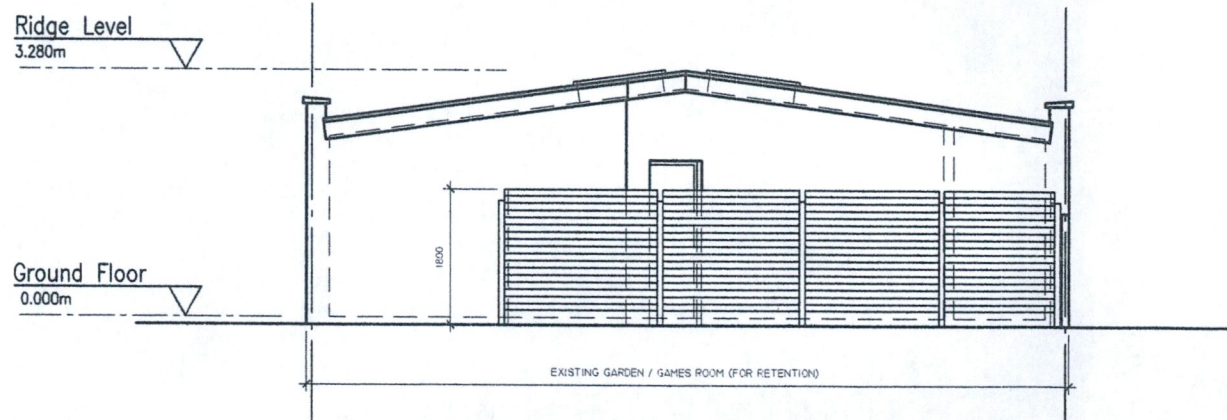
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 All works to be carried out in accordance with the 1997 Building Regulations, with all subsequent revisions to same, and with the requirements of the relative Local Authority



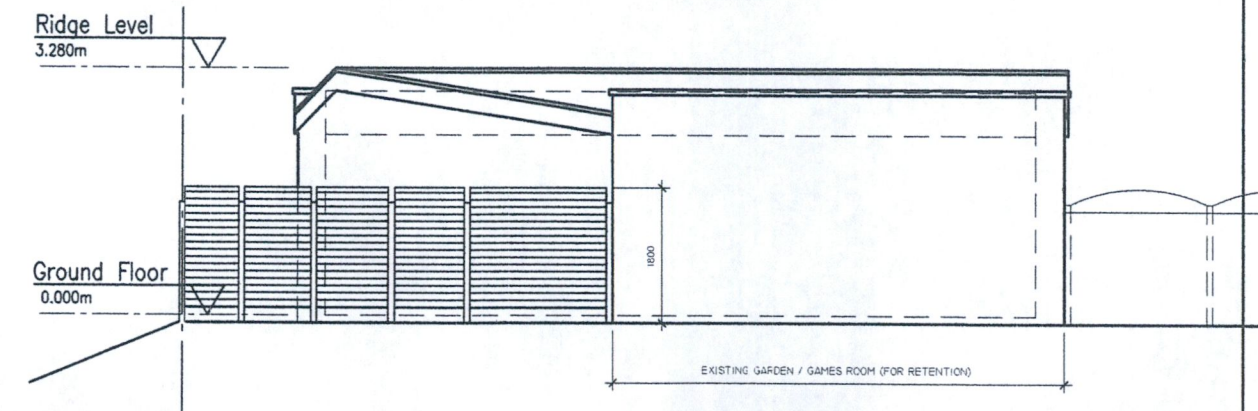
Front/South Elevation



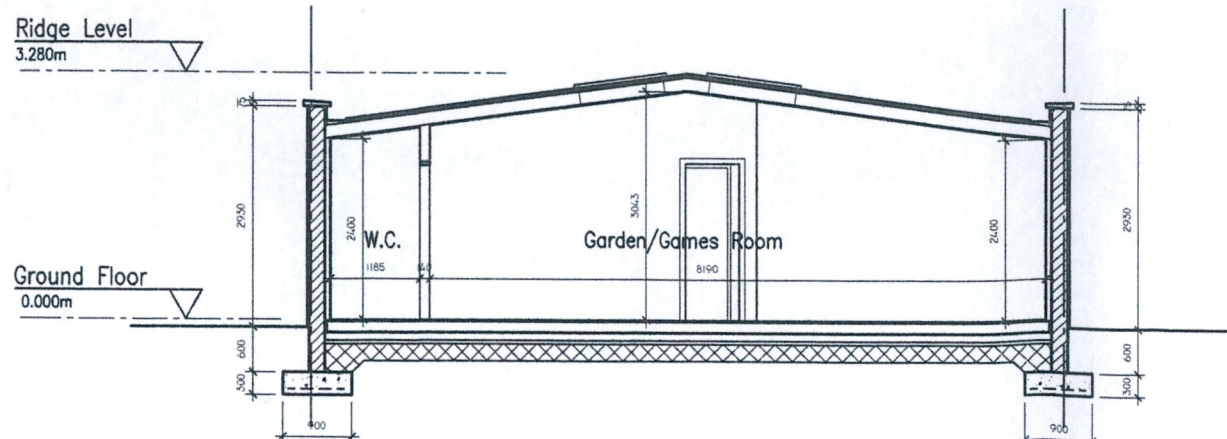
Side/East Elevation



Rear/North Elevation



Side/West Elevation



Section C-C

AN BORD PLEANÁLA

 12 OCT 2022
 LTR DATED _____ FROM _____
 LDG- _____
 ABP- **22 314837**

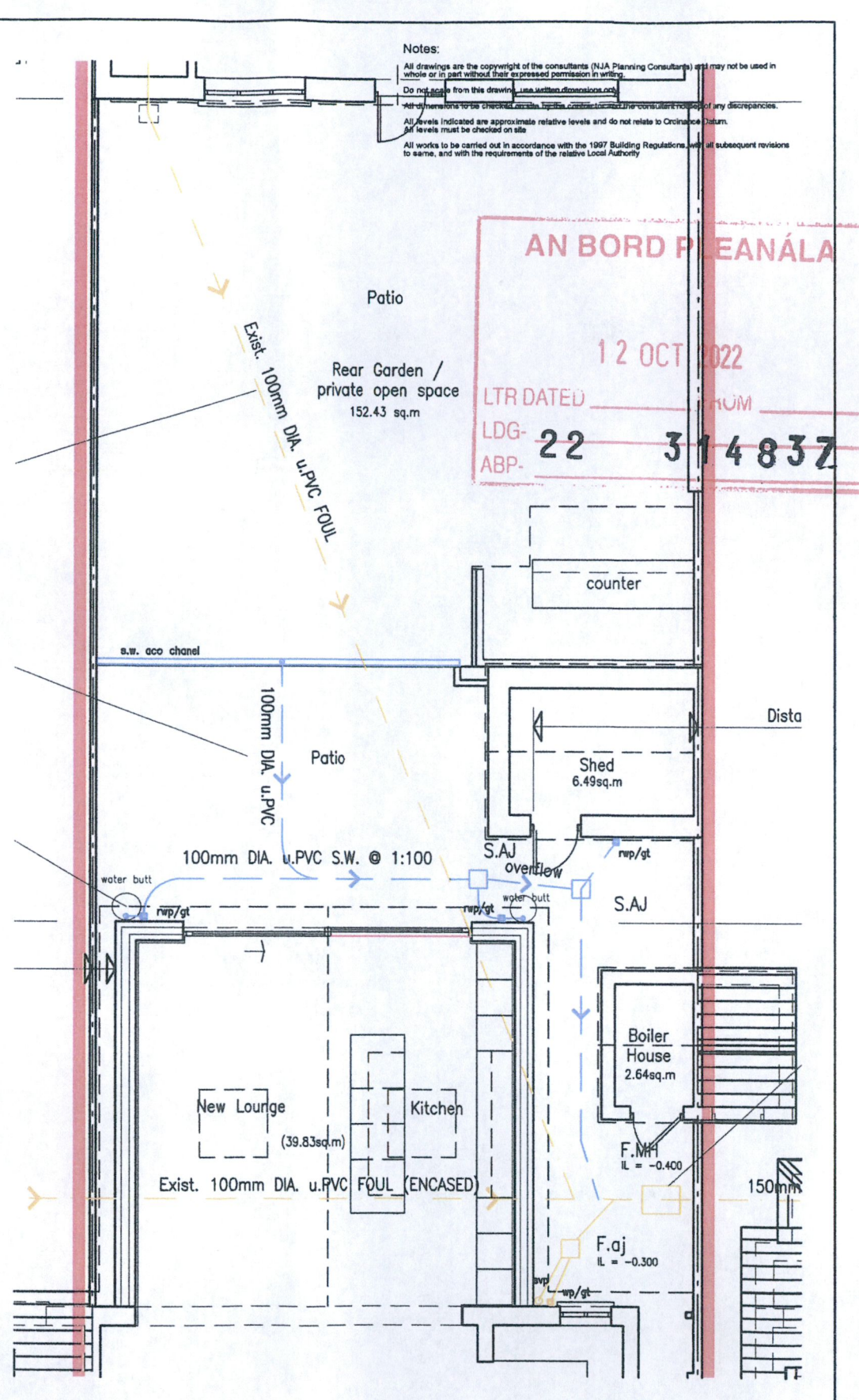
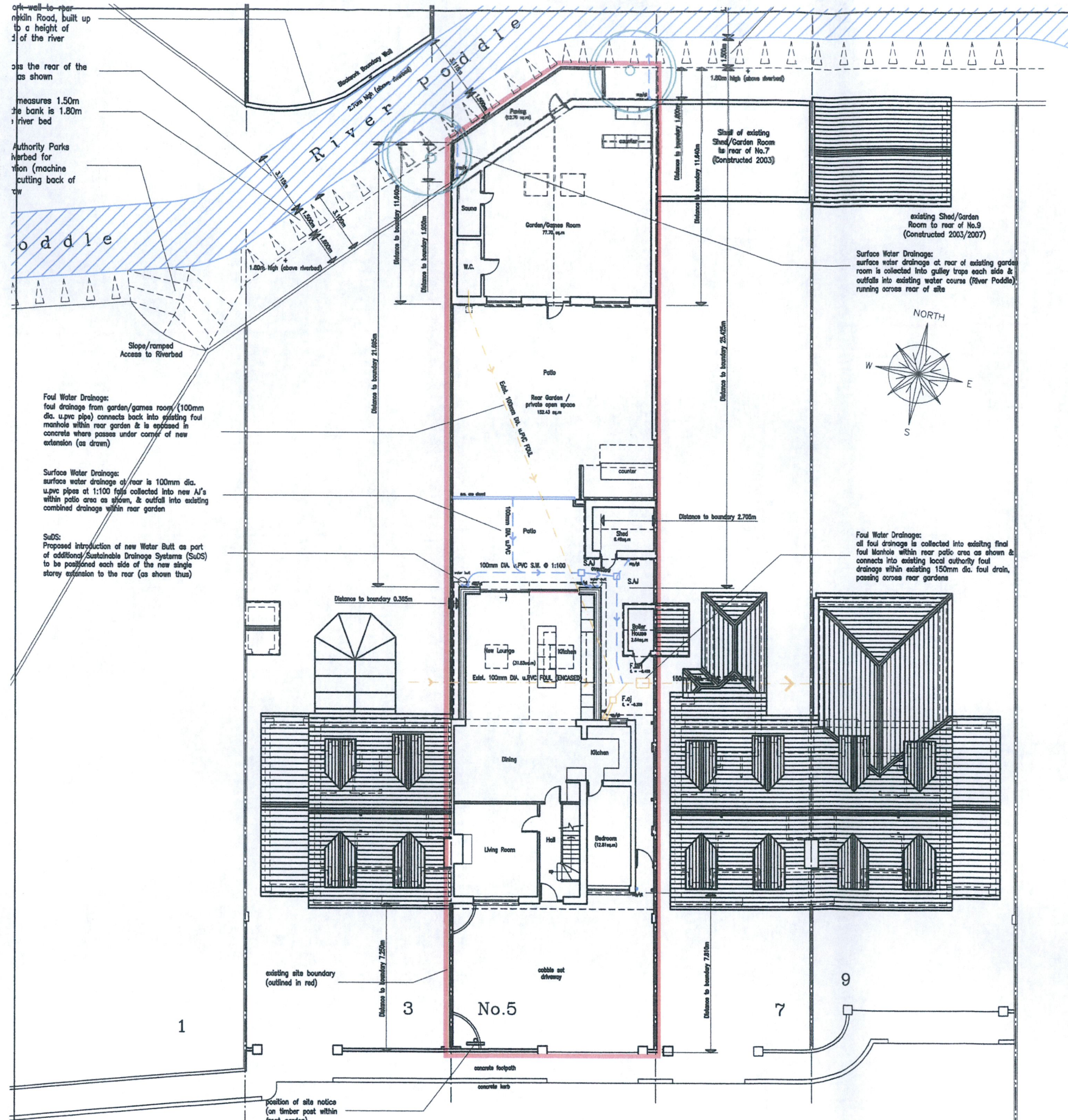
REVISION	MADE BY	DATE

“SOMEY” 15 BUTTERFIELD CRESCENT, BUNRATH, DUBLIN 14. TEL: 461357 MOB: 007/0091710
Niall Jones & Associates
 Planning Consultants

JOB TITLE **PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS**

DRAWING TITLE **RETENTION PLANNING DRAWING: EXISTING GARDEN ROOM ELEVATIONS & SECTION C-C**

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:50 @ A1	JULY'22	N. Jones	N.J.	22/281	RP 00	



AN BORD PLEANÁLA
12 OCT 2022
LTR DATED 22 3 14 837

REVISION	MADE BY	DATE

Niall Jones & Associates
Planning Consultants

JOB TITLE
PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE
RETENTION PLANNING DRAWING: EXISTING SITE BLOCK PLAN / DRAINAGE LAYOUT

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:100 ● A1	JULY'22	N.Jones	N.J.	22/281	RP.10	

WILLINGTON COURT

ALMA MATER

ALMA MATER

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existing private gardens to rear of residential properties at 30-44 Limekiln Road

Existing Boundary Walls & blockwork shed to rear of 36 Limekiln Road, built up to edge of riverbank, to a height of 3.400m above the bed of the river

width of the river across the rear of the site measures 3.350m as shown
 width of the riverbank measures 1.50m wide and the top of the bank is 1.80m above the level of the river bed

AN BORD PLEANÁLA

12 OCT 2022

LTR DATED _____ FROM _____

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ABP- **22** **314837**

rear Garden (rear of 40 Limekiln Road)

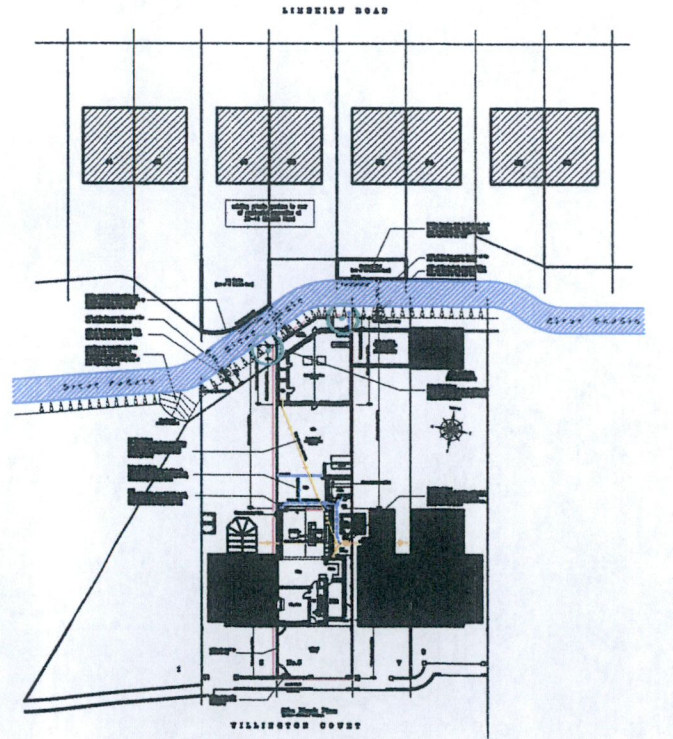
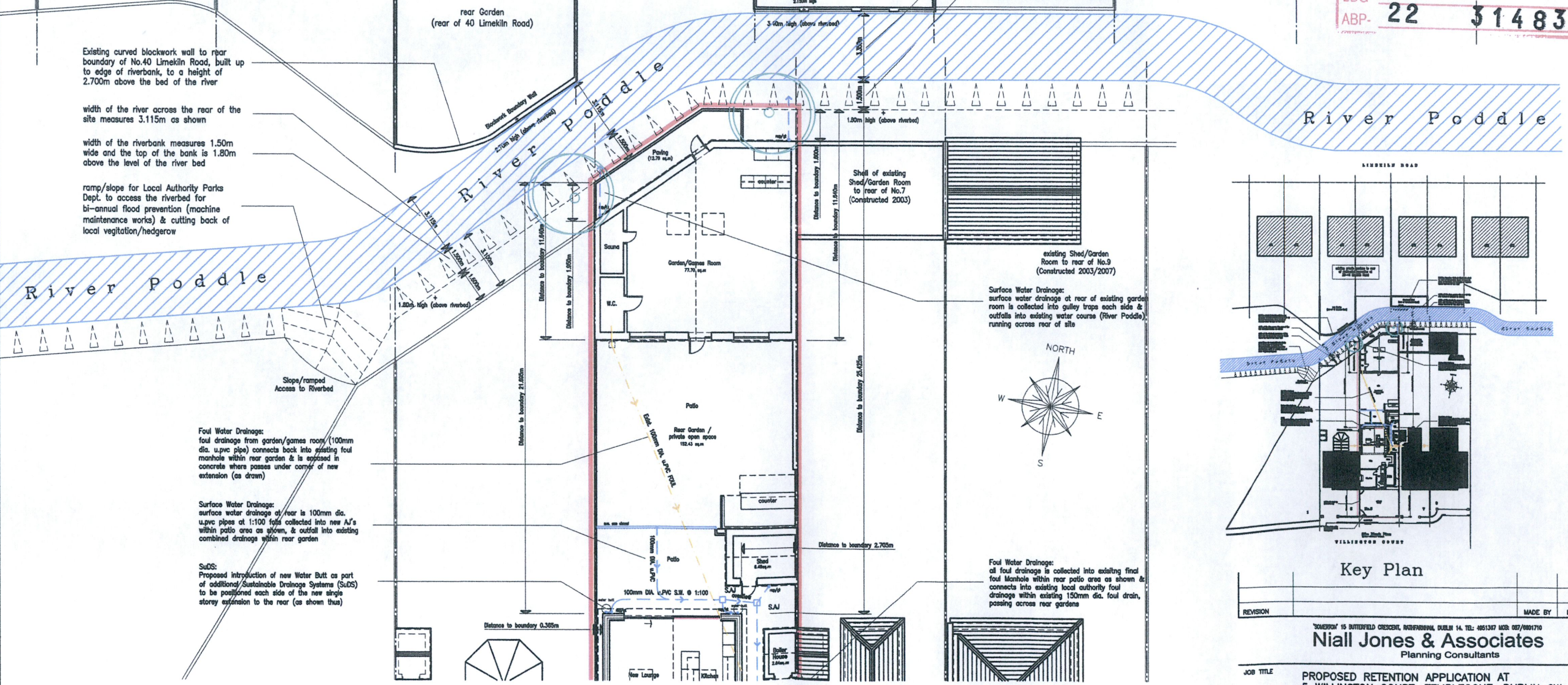
Blockwork Shed (rear of 36 Limekiln Road)
 2.150m high

Existing curved blockwork wall to rear boundary of No.40 Limekiln Road, built up to edge of riverbank, to a height of 2.700m above the bed of the river

width of the river across the rear of the site measures 3.115m as shown

width of the riverbank measures 1.50m wide and the top of the bank is 1.80m above the level of the river bed

ramp/slope for Local Authority Parks Dept. to access the riverbed for bi-annual flood prevention (machine maintenance works) & cutting back of local vegetation/hedgerow



Key Plan

REVISION	MADE BY	DATE

CONTRACT NO. 15 BUTTERFIELD CRESCENT, RINGROBINNA, DUBLIN 14. TEL: 4861347 MOB: 087/8801710
Niall Jones & Associates
 Planning Consultants

JOB TITLE: PROPOSED RETENTION APPLICATION AT 5 WILLINGTON COURT, TEMPLEOGUE, DUBLIN 6W FOR PAT & THERESE MONKS

DRAWING TITLE: RETENTION PLANNING DRAWING: PART SITE BLOCK PLAN WITH ADJOINING PROPERTIES & EXISTING RIVER PODDLE TO THE REAR

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV.
1:100 @ A1	OCT 2022	N.J.	N.J.	00/000	DP 44	

Part Site Block Plan, Adjoining Properties & River Poddle