

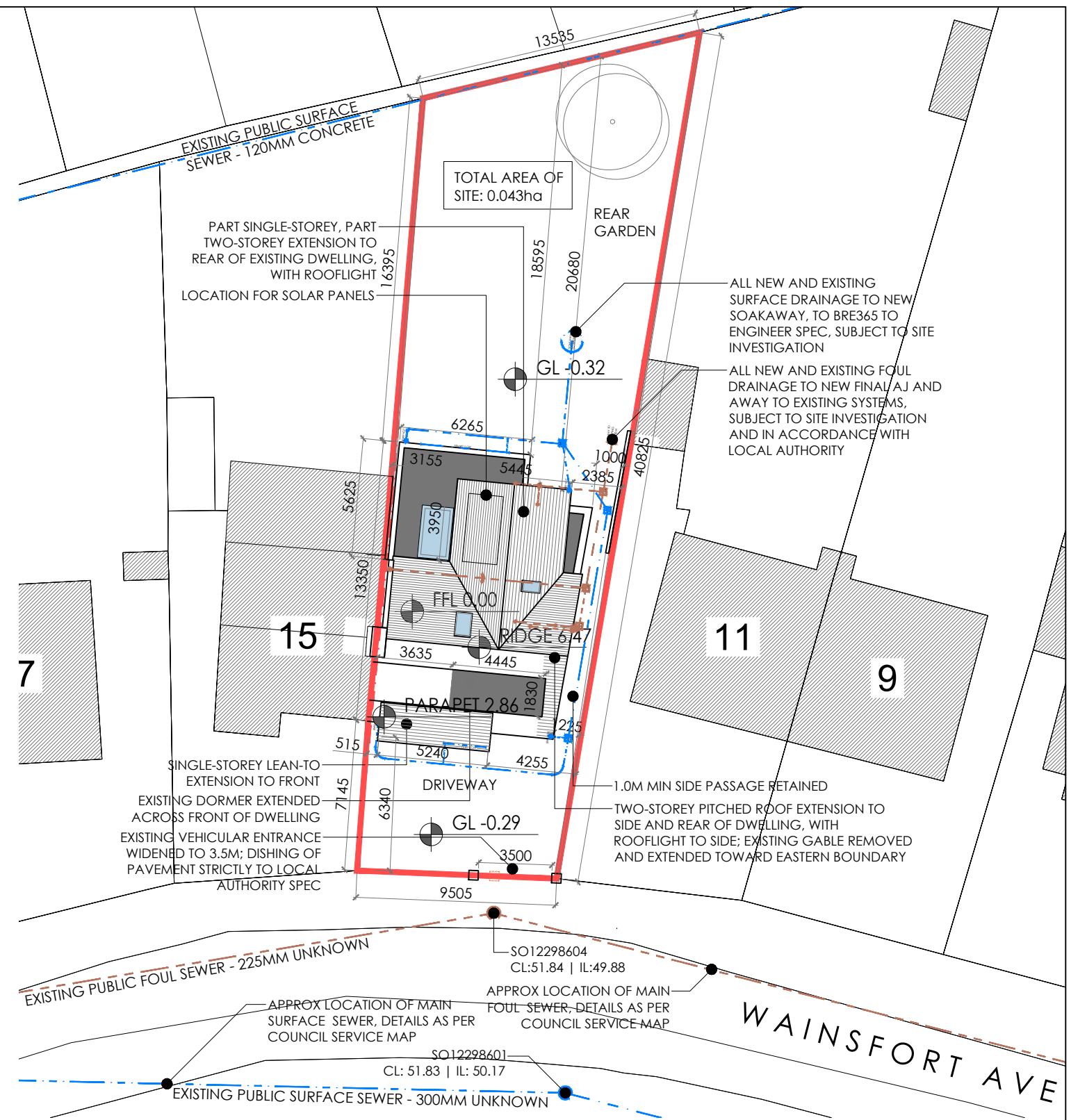
DEVELOPMENT TO BE BUILT ON THE INSIDE OF THE BOUNDARY, POSITION OF THE BOUNDARY TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ON-SITE. UNDERPINNING TO ENGINEER SPEC. NO ELEMENT OF THE CONSTRUCTION IS TO ENCROACH ON NEIGHBOUR'S PROPERTY

FOUL LINE
SURFACE LINE
DEMOLITION

ALL CONSTRUCTION WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND CERTIFICATION REQUIREMENTS. COMPLIANCE OF SAME TO BE RESPONSIBILITY OF MAIN CONTRACTOR, TO BE AGREED NOTED AND AGREED PRIOR TO WORKS COMMENCING ON-SITE

ALL DRAINAGE SUBJECT TO SITE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY

NORTH
EXISTING SITE LAYOUT MAP | LICENCE NO: 50269335
scale 1:250 @ A3



NORTH
PROPOSED SITE LAYOUT MAP | LICENCE NO: 50269335
scale 1:250 @ A3

Client Brian and Breda Kearney 13 Wainsfort Ave Dublin 6W D6W X974	Revisions	

STATUS OF DRAWING
TENDER DRAWING ONLY

JOE FALLON DESIGN ARCHITECTURE 6, Main Street, Dundrum, Dublin 14. 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 P: 053-9377633	A3
project Extension & Alterations @ 13 Wainsfort Avenue drawing existing and proposed site layout plan job no. 22009 scale as shown date 01.09.22 drawn by ES checked LK	dwg no. 22009-TR-01	

notes

All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand. Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up to date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used; if in doubt, refer to the harmonised technical specifications. All materials and products to be fitted as per manufacturer's spec.

DEVELOPMENT TO BE BUILT ON THE INDEED OR THE BOUNDARY OF THE BOUNDARY TO BE CONSIDERED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. UNDERPINNING TO BE PROVIDED TO BE ENCLOSED BY THE CONTRACTOR TO BE AGREED PRIOR TO WORKS COMMENCING ON SITE.

ALL CONSTRUCTION WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND CERTIFICATION REQUIREMENTS. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO WORKS COMMENCING ON SITE.

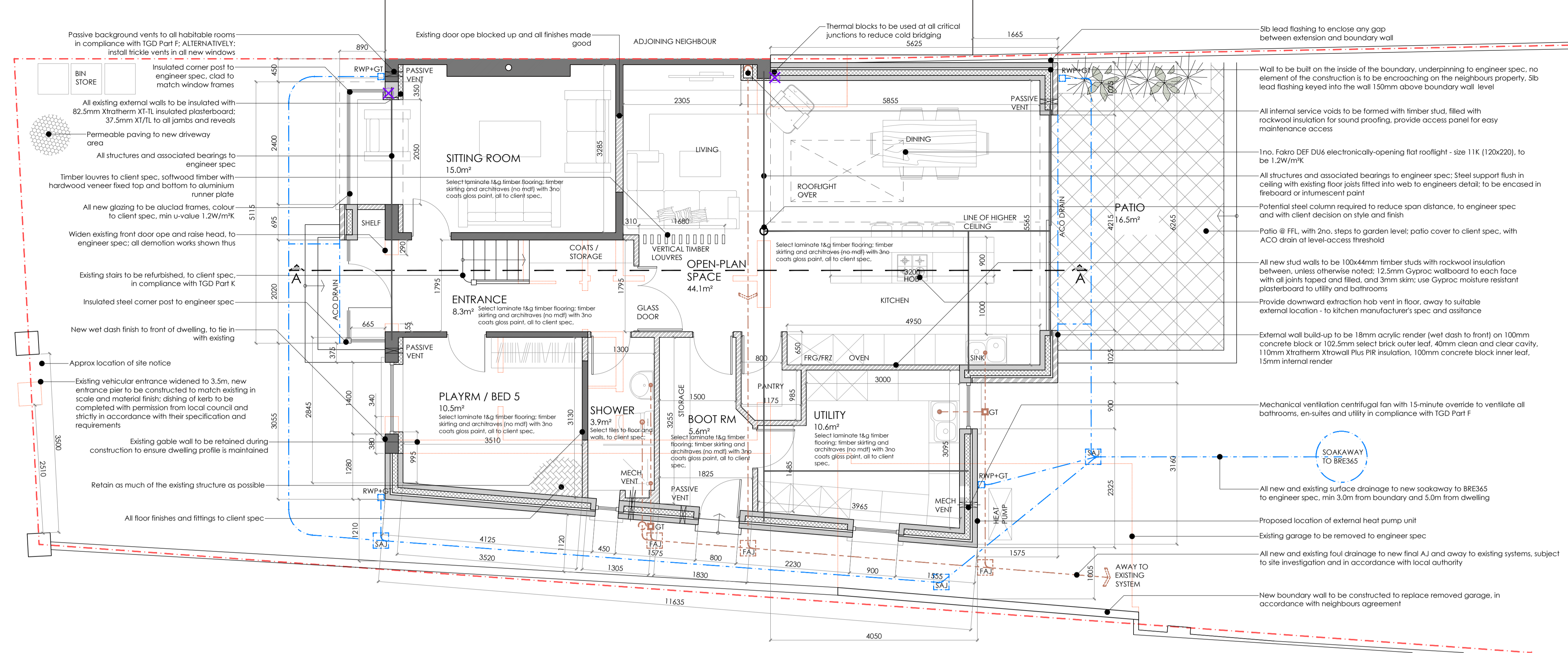
ALL DRAINAGE SUBJECT TO BE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY.

ALL DIMENSIONS TO BE CONFIRMED TO ENGINEER SPEC.

INDICATE DRAINAGE LAYOUT AND DETAILS PRIOR TO WORKS COMMENCING ON SITE.

LEGEND

- Existing Construction
- New Solid Block Wall
- New Brickwork/Gipsum
- New Insulation
- New Stud Wall
- Demolition
- Transfer Block @ junction



PROPOSED GROUND FLOOR PLAN
scale 1:50 @ A1

DEVELOPMENT TO BE BUILT ON THE INDEED OR THE BOUNDARY OF THE BOUNDARY TO BE CONSIDERED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. UNDERPINNING TO BE PROVIDED TO BE ENCLOSED BY THE CONTRACTOR TO BE AGREED PRIOR TO WORKS COMMENCING ON SITE.

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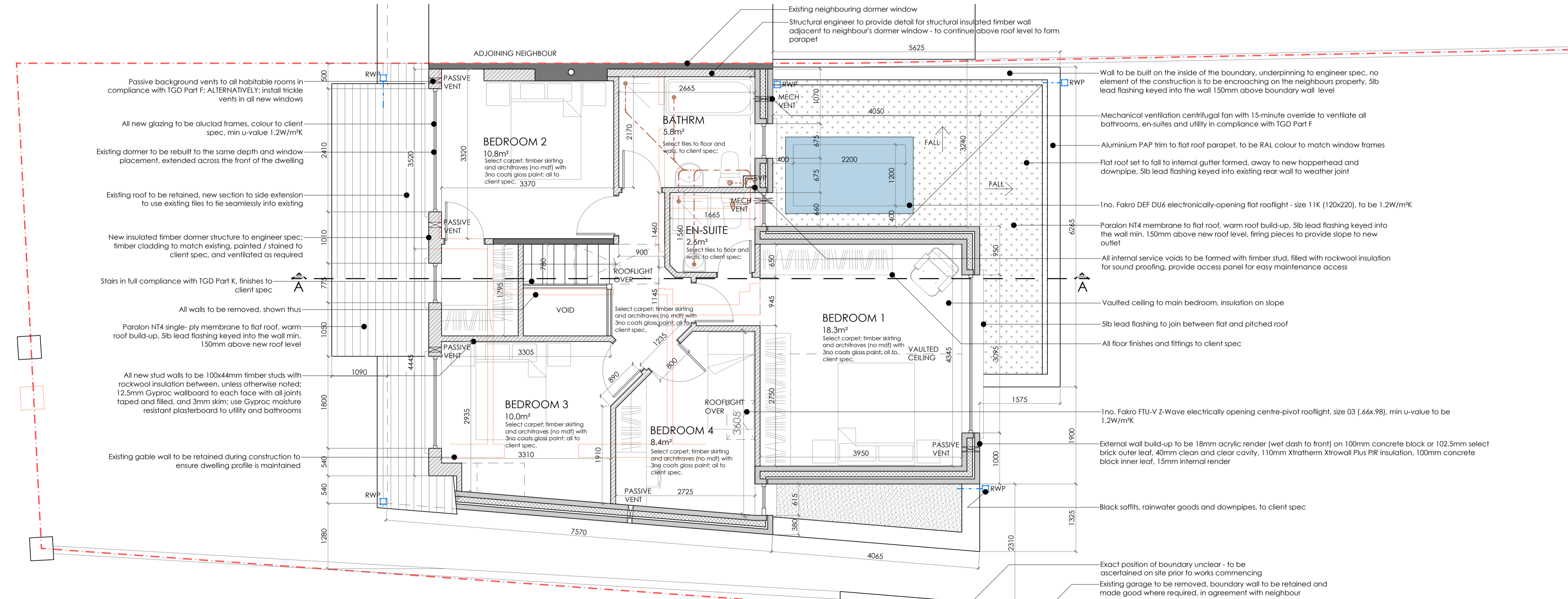
ALL DRAINAGE SUBJECT TO BE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY.

ALL DIMENSIONS TO BE CONFIRMED TO ENGINEER SPEC.

INDICATE DRAINAGE LAYOUT AND DETAILS PRIOR TO WORKS COMMENCING ON SITE.

LEGEND

- Existing Construction
- New Solid Block Wall
- New Brickwork/Gipsum
- New Insulation
- New Stud Wall
- Demolition
- Transfer Block @ junction



PROPOSED FIRST FLOOR PLAN
scale 1:50 @ A1

client Brian and Breda Kearney 13 Wainstaff Ave Dublin 6W D6W X974	revisions
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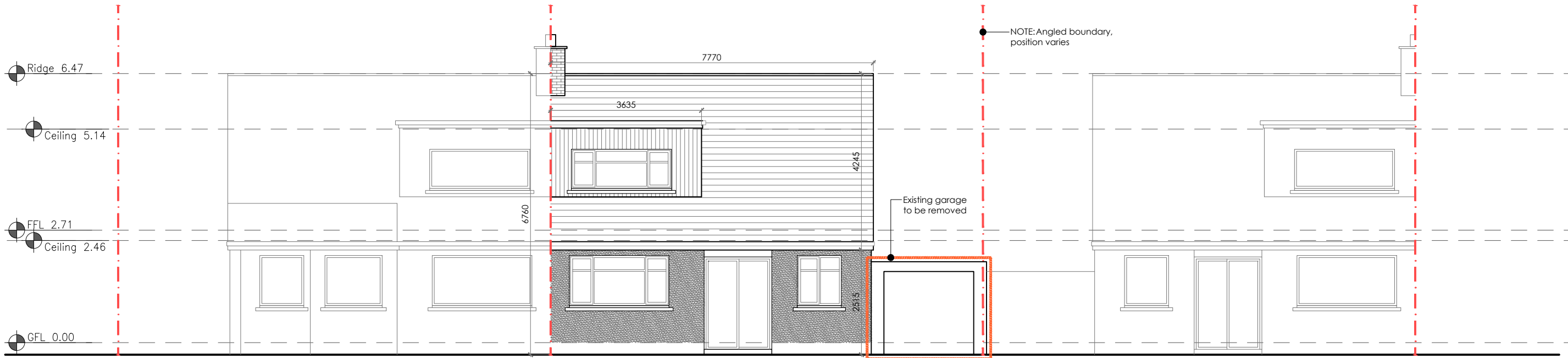
STATUS OF DRAWING
TENDER DRAWING ONLY

JOE FALLON DESIGN ARCHITECTURE 6, Main Street, Dundrum, Dublin 14. 1A Ryland Street, Buncastle, Enniscorthy, Co. Wexford	P: 01-5143688 F: 053-9377633	A1
project Extension and alterations @ 13 Wainstaff Avenue	dwg no. 22009-TR-03	
drawing proposed ground and first floor plans	job no. 22009 scale as shown date 22.09.22 drawn by ES checked by LK	
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER, REG. NO. 80244 SCS1		

No. 15

No. 13 SUBJECT SITE OF TENDER

No. 11



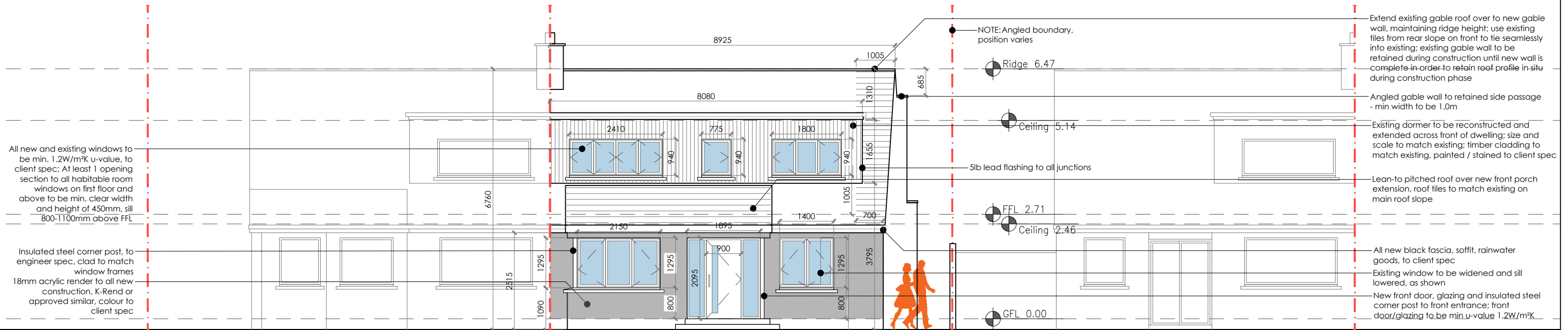
EXISTING CONTIGUOUS FRONT ELEVATION [south]
scale 1:100 @ A3

No. 15

No. 13 SUBJECT SITE OF TENDER

ALL NEW WORKS SHOWN HATCHED

No. 11



PROPOSED CONTIGUOUS FRONT ELEVATION [south]
scale 1:100 @ A3

Client
 Brian and Breda Kearney
 13 Wainsfort Ave
 Dublin 6W
 D6W X974

Revisions



Chartered Institute of
 Architectural Technologists

STATUS OF DRAWING
 TENDER DRAWING ONLY

JOE FALLON DESIGN ARCHITECTURE
 6, Main Street, Dundrum, Dublin 14. P: 01-5143688
 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford P: 053-9377633

project Extension & Alterations @ 13 Wainsfort Avenue
 drawing existing and proposed front elevation
 job no. 22009 scale as shown date 01.09.22 drawn by ES checked LK
 dwg no. 22009-TR-04

notes
 UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1

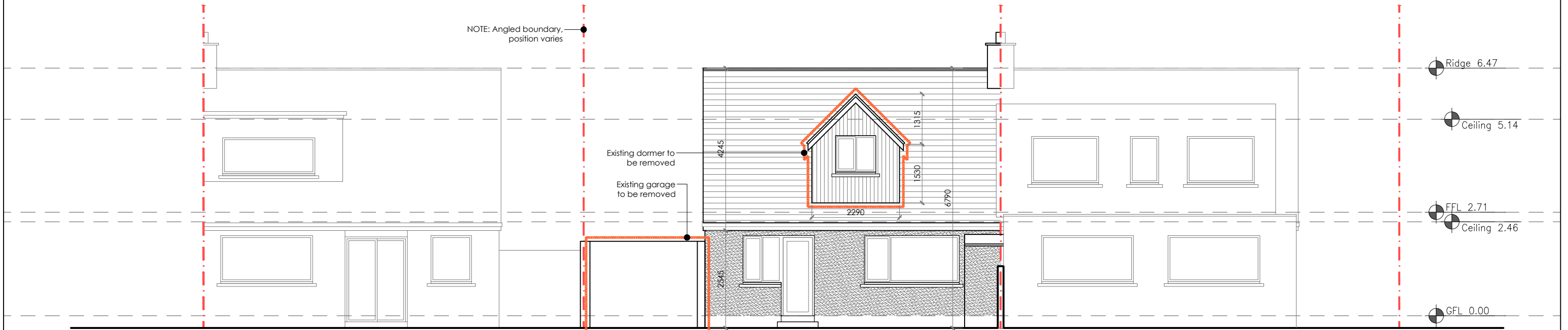
A3

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No. 11

SUBJECT SITE OF TENDER No. 13

No. 15

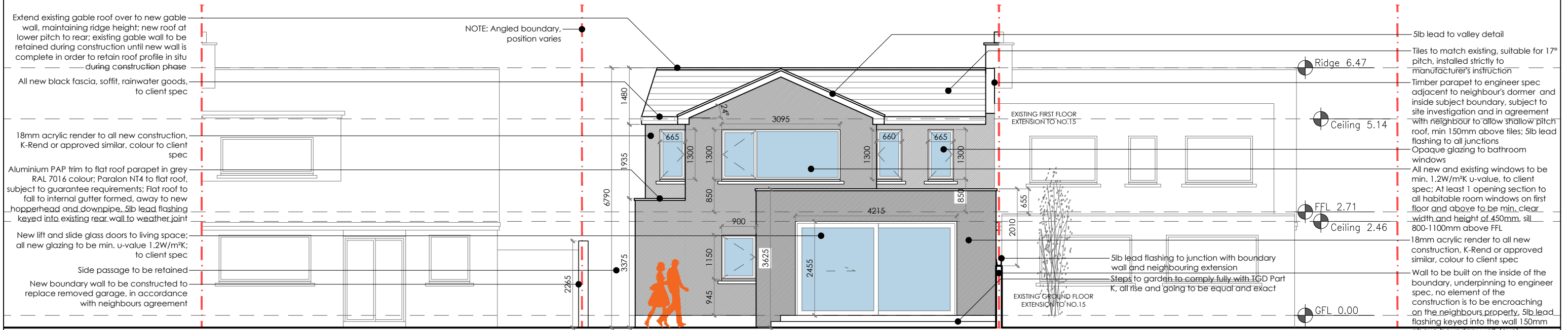


EXISTING CONTIGUOUS REAR ELEVATION [north]
scale 1:100 @ A3

No. 11

ALL NEW WORKS SHOWN HATCHED SUBJECT SITE OF TENDER No. 13

No. 15



PROPOSED CONTIGUOUS REAR ELEVATION [north]
scale 1:100 @ A3

Client
Brian and Breda Kearney
13 Wainsfort Ave
Dublin 6W
D6W X974

Revisions



Chartered Institute of Architectural Technologists

STATUS OF DRAWING
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JOE FALLON DESIGN ARCHITECTURE
6, Main Street, Dundrum, Dublin 14. P: 01-5143688
1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford P: 053-9377633

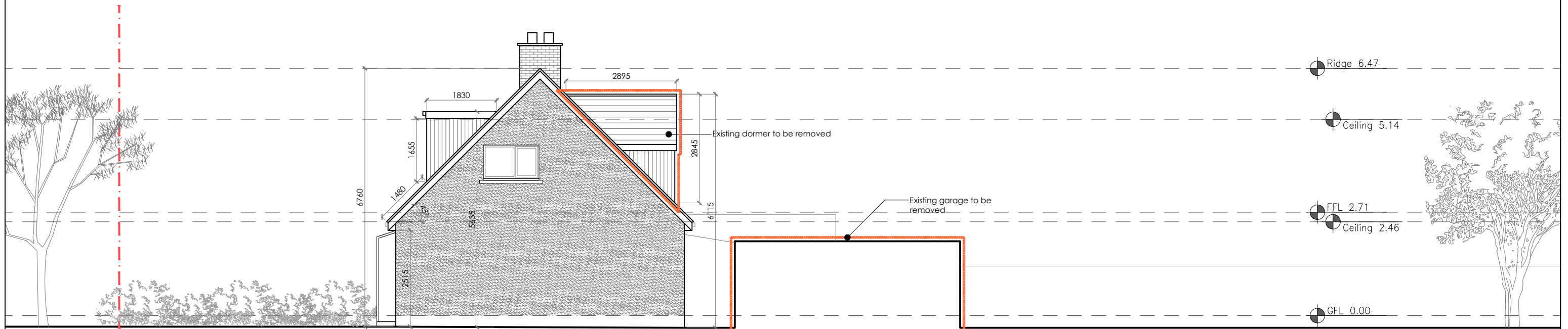
project Extension & Alterations @ 13 Wainsfort Avenue
drawing existing and proposed rear elevation
job no. 22009 scale as shown date 01.09.22 drawn by ES checked LK
dwg no. 22009-TR-05

notes
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1

A3

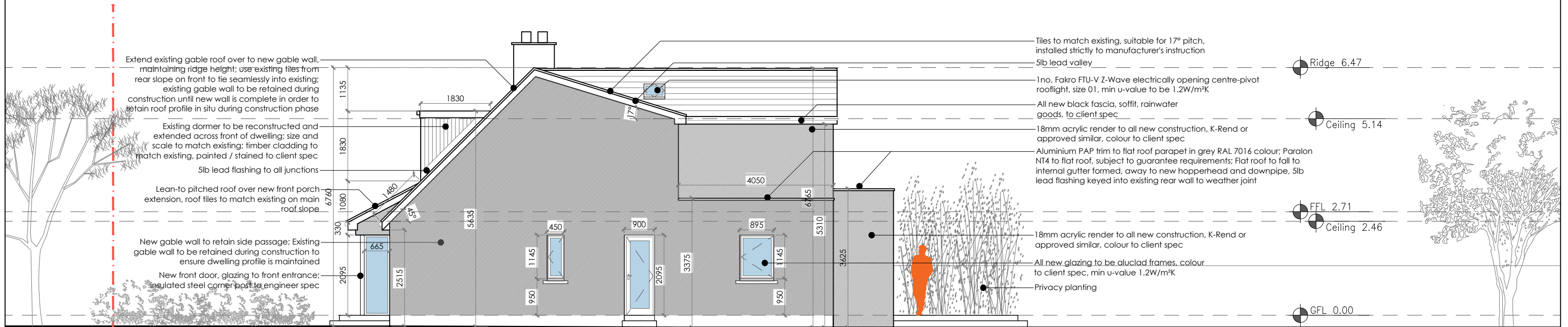
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No. 13 SUBJECT SITE OF TENDER



EXISTING SIDE ELEVATION [east]
scale 1:100 @ A3


No. 13 SUBJECT SITE OF TENDER ALL NEW WORKS SHOWN HATCHED



PROPOSED SIDE ELEVATION [east]
scale 1:100 @ A3

Client
Brian and Breda Kearney
13 Wainsfort Ave
Dublin 6W
D6W X974

Revisions



Chartered Institute of
Architectural Technologists

STATUS OF DRAWING
TENDER DRAWING ONLY

JOE FALLON DESIGN ARCHITECTURE
6, Main Street, Dundrum, Dublin 14. P: 01-5143688
1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford P: 053-9377633

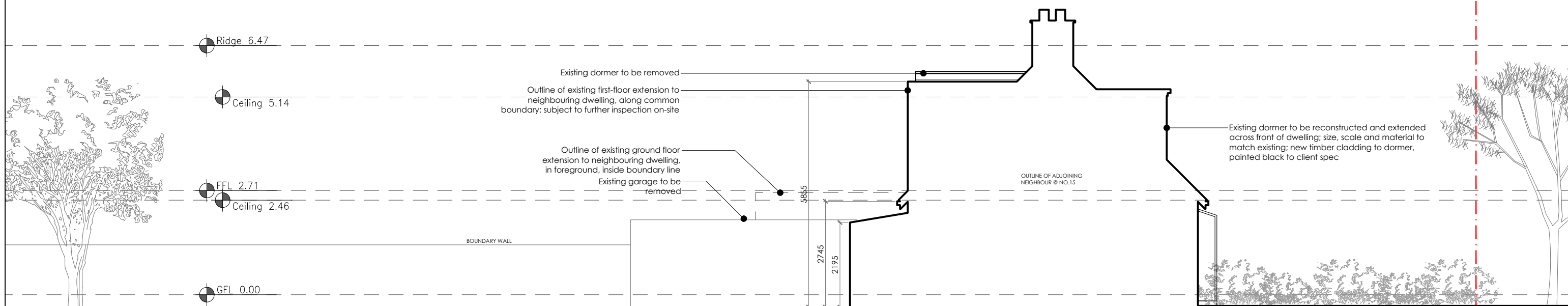
project Extension & Alterations @ 13 Wainsfort Avenue
drawing existing and proposed side elevation
job no. 22009 scale as shown date 01.09.22 drawn by ES checked LK
dwg no. 22009-TR-06

UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1

notes

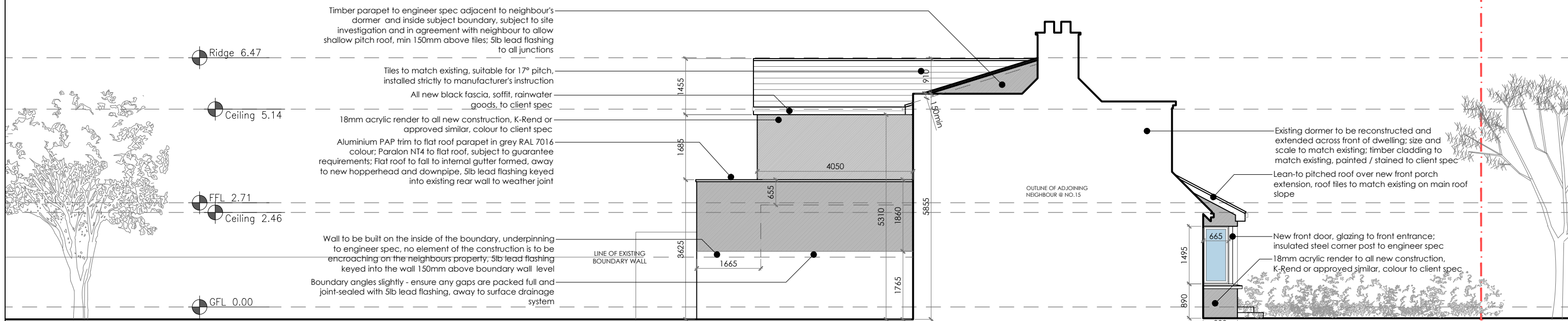
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A3



EXISTING SIDE ELEVATION [west]
scale 1:100 @ A3

ALL NEW WORKS SHOWN HATCHED



PROPOSED SIDE ELEVATION [west]
scale 1:100 @ A3

Client Brian and Breda Kearney 13 Wainsfort Ave Dublin 6W D6W X974	Revisions	

STATUS OF DRAWING
TENDER DRAWING ONLY

JOE FALLON DESIGN ARCHITECTURE 6, Main Street, Dundrum, Dublin 14. 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 P: 053-9377633	A3
project Extension & Alterations @ 13 Wainsfort Avenue drawing existing and proposed side elevation	dwg no. 22009-TR-07	
job no. 22009 scale as shown date 01.09.22 drawn by ES checked LK		
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1		

notes

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