

Land Use Planning & Transportation
17 SEP 2022
South Dublin County Council

South Dublin County Council,
Land Use, Economic and Transport Planning Department,
County Hall,
Tallaght,
Dublin 24.

9th September 2022
Our Ref.: PT 18145

Dear Sir / Madam,

RE: RESPONSE TO FURTHER INFORMATION REQUEST IN RESPECT TO A PLANNING APPLICATION FOR WAREHOUSING / LOGISTICS, OFFICE AND CAFÉ / RESTAURANT DEVELOPMENT AT CALMOUNT ROAD AND BALLYMOUNT AVENUE, BALLYMOUNT INDUSTRIAL ESTATE, DUBLIN 12

SDCC REG. REF.: SD22A/0099

On behalf of the applicant, Blackwin Limited, we hereby submit a response to a Further Information Request in respect of planning application Reg. Ref.: SD22A/0099 for a proposed warehousing / logistics, office and café restaurant development at Calmount Road and Ballymount Avenue, Ballymount Industrial Estate, Dublin 12.

A coordinated response to each of the 8 no. FI Items raised by the Planning Authority is set out in the 'Coordinated Design Team Response' brochure prepared by TOTA Architects, in consultation with DBFL, Murray & Associates, JSA and the Applicant, with reference to accompanying application documentation. Accordingly, we refer to that document for a summary / overall response to each of the FI Items, which in turn should be read in conjunction with the accompanying documentation below.

The full FI Response documentation consists of the following:

- Coordinated Design Team Response brochure prepared by TOTA Architects, in association with other design team members;
- Updated Architectural Design Statement, FI Architectural Drawings and Schedules prepared by TOTA Architects;
- Engineers Response to FI Request, including appended Quality Audit prepared by Bruton Consulting, FI Engineering Drawings and Schedule prepared by DBFL Consulting Engineers;
- Green Infrastructure Report, FI Landscape Drawings and Schedule prepared by Murray & Associates;
- FI Cover Letter, FI M&E Drawings and Schedule prepared by PMEP Consulting Engineers; and
- Statement of Consistency (Planning Report) and this FI Cover Letter prepared by John Spain Associates

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Six no. hardcopies and one no. soft copy of the above documentation is submitted with this FI response.

In respect to the additional works proposed on Calmount Road and Ballymount Avenue in response to the FI request, which are illustrated on the relevant DBFL drawings, we have not amended the red line application site boundary to incorporate these works as they are all proposed on lands within the Planning Authority's control and therefore can be the subject of a condition of planning, as provided for under Section 34(4)(B) of the P&D Act 2000, as amended), if considered to be necessary to facilitate the proposed development.

In preparing the response to the Further Information Request the design team reached out to relevant personnel in the Planning Authority to arrange a meeting to discuss the response, however, due to work / holiday constraints over the summer months, such a meeting was not possible / facilitated.

The Further Information response prepared by the project design team, which was subject to a multi-disciplinary approach given the urban design / DMURS related concerns raised, represents a comprehensive response to the items raised by the Planning Authority, and as such it is considered that any other points of detail would be appropriately dealt with by way of a condition of planning.

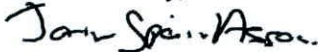
The Statement of Consistency prepared by JSA, and the accompanying FI reports prepared by TOTA, DBFL and Murray & Associates, demonstrate how the proposals are consistent with the new Development Plan and align with the aims and objectives of the City Edge Strategic Framework document (August 2022).

Thus, having regard to the comprehensive documentation submitted, the high quality architectural, urban, street and landscape design of development proposed and give the compatibility with the Enterprise and Employment (EE) land use zoning under the County Development Plan 2022-2028, we respectfully request the Planning Authority to issue a grant of permission subject to conditions.

As set out in the original application documentation, the applicant has considerable experience in delivering similar employment generating development over recent years and there is significant interest in the various units / uses proposed and they would envisage commencing the development in the short term subject to a grant of permission, thereby delivering significant employment and economic gains for the County.

If you have any queries in respect to the documentation submitted, please do not hesitate to contact us.

Yours faithfully,



John Spain Associates