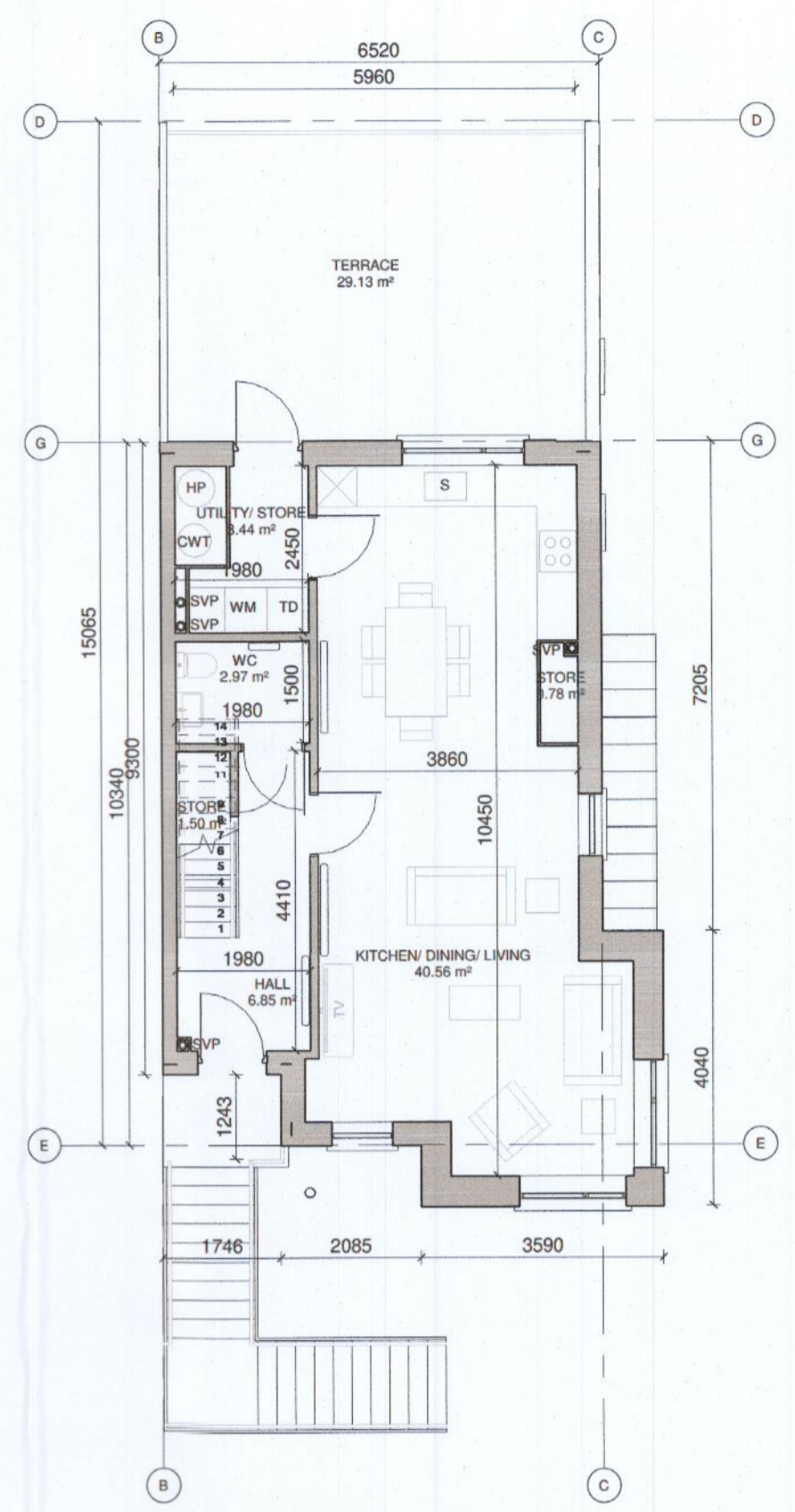
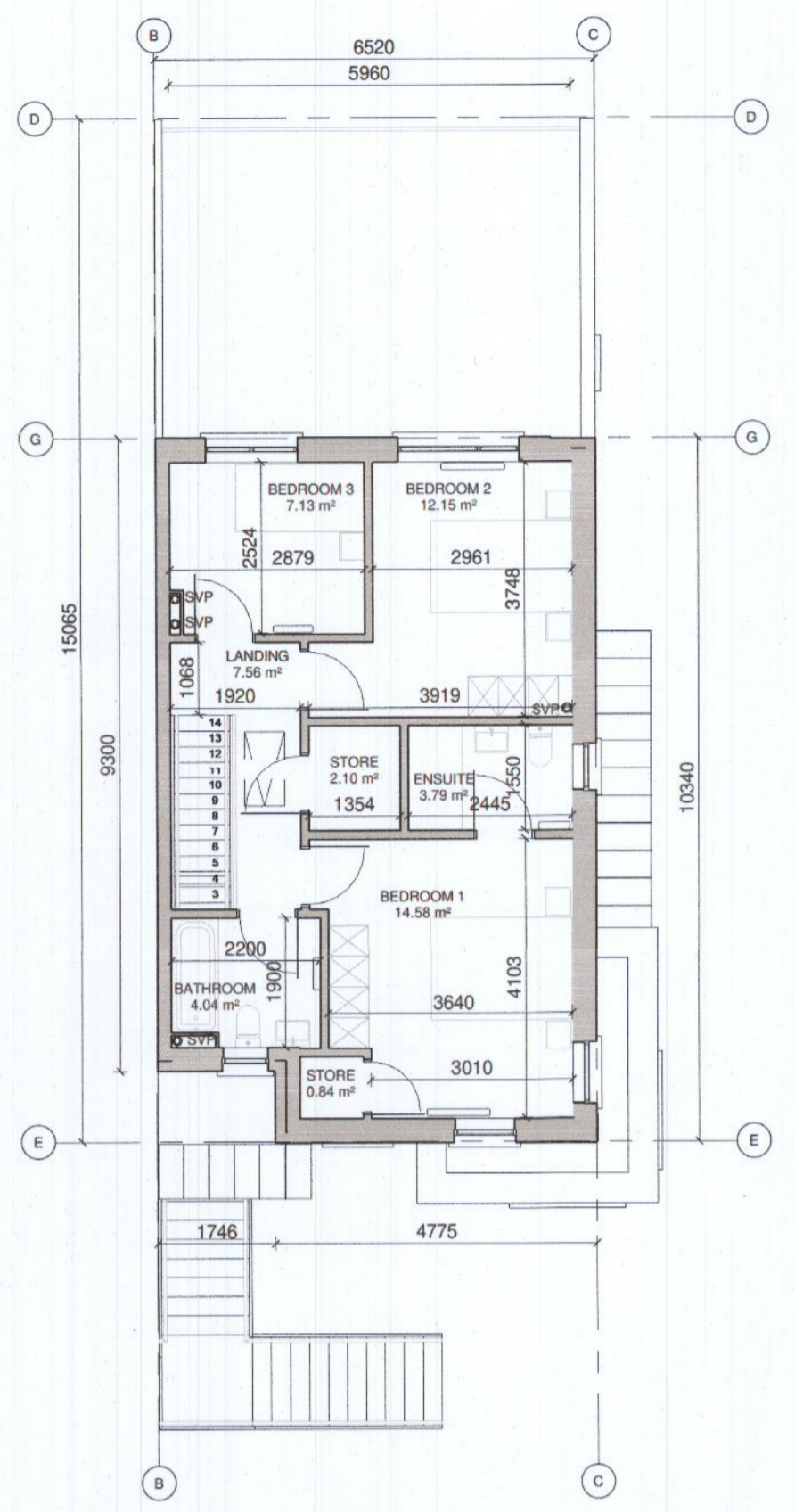


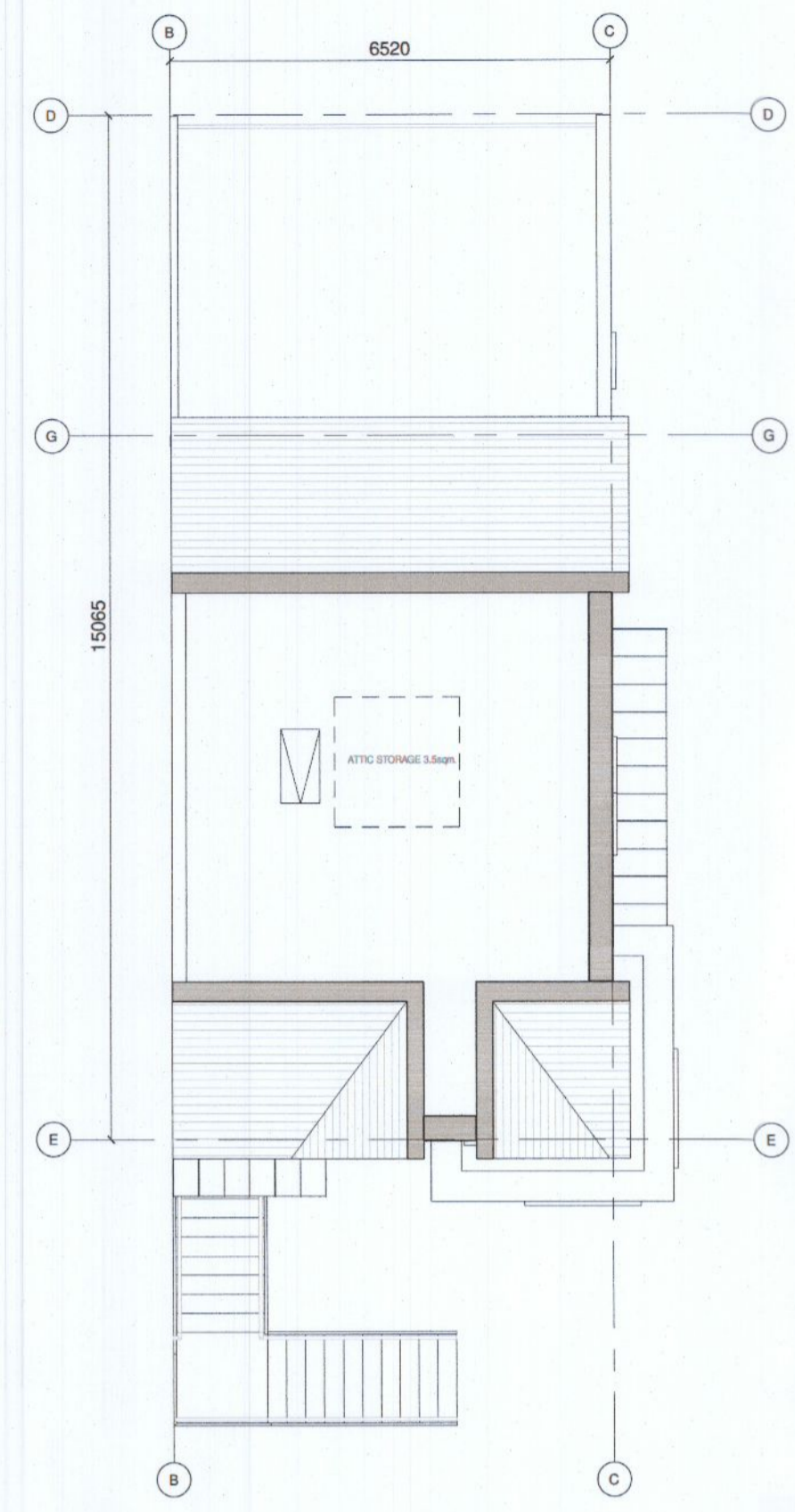
1 DUPLEX F7_GROUND FLOOR PLAN
1:100



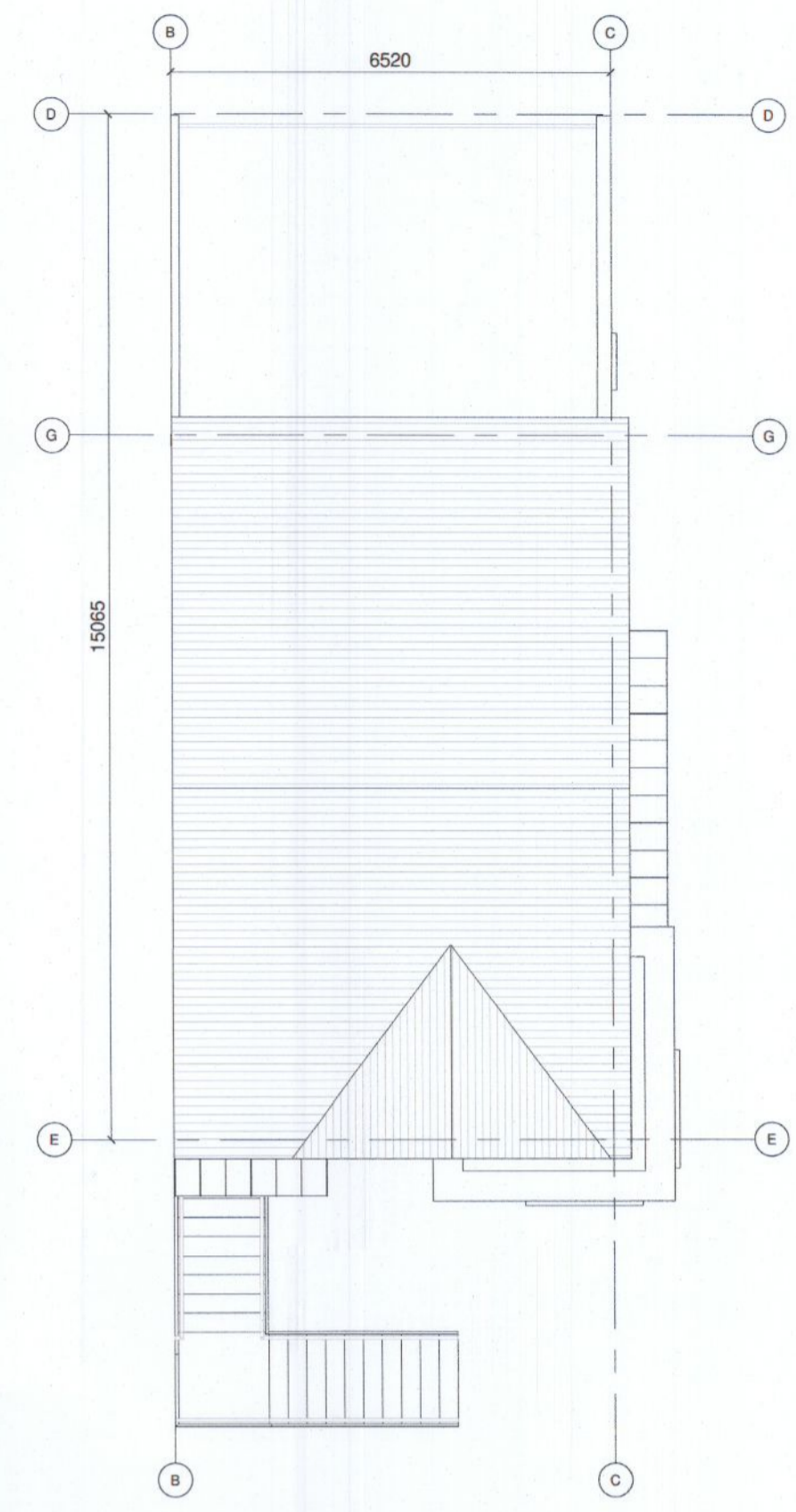
2 DUPLEX F7_FIRST FLOOR PLAN
1:100



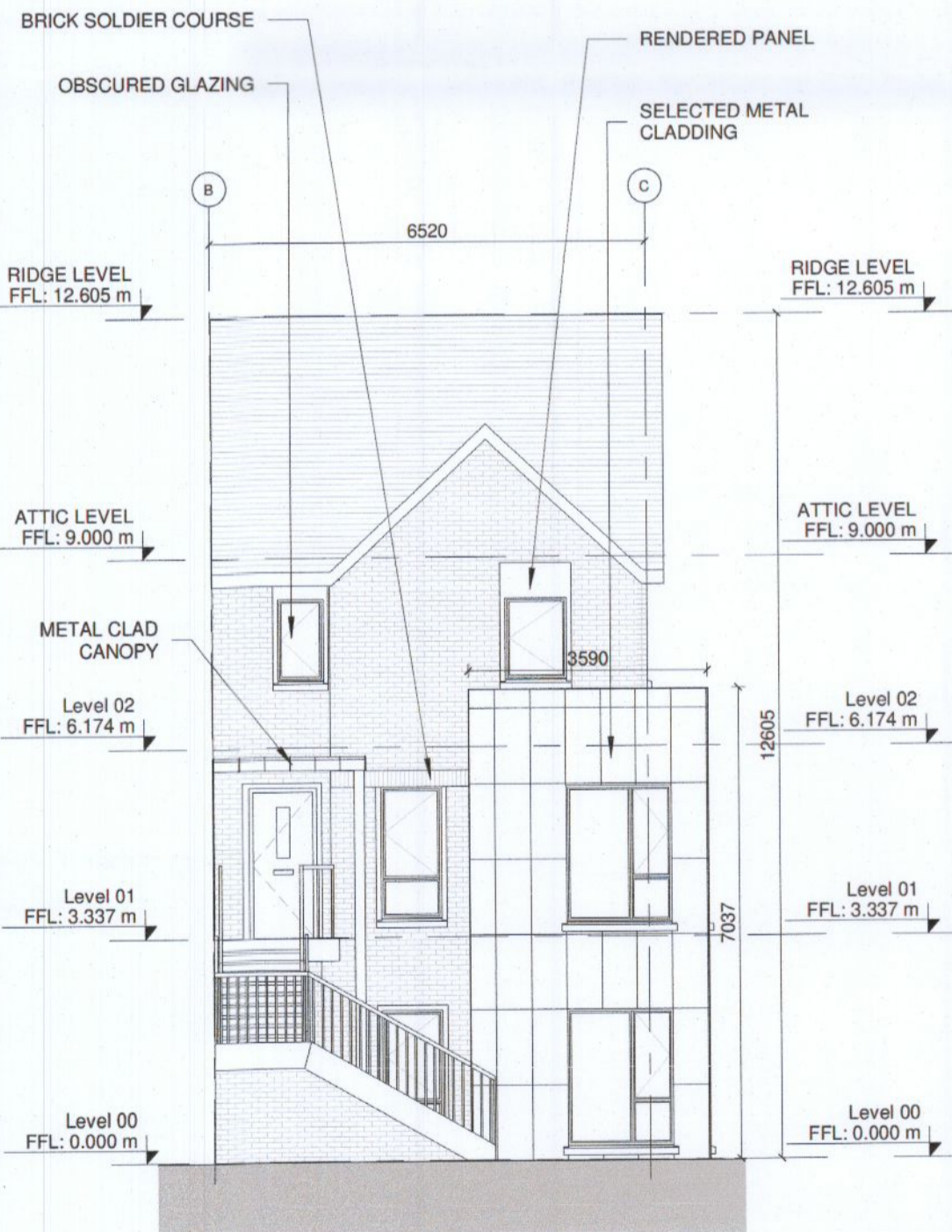
3 DUPLEX F7_SECOND FLOOR PLAN
1:100



4 DUPLEX F7_ATTIC PLAN
1:100



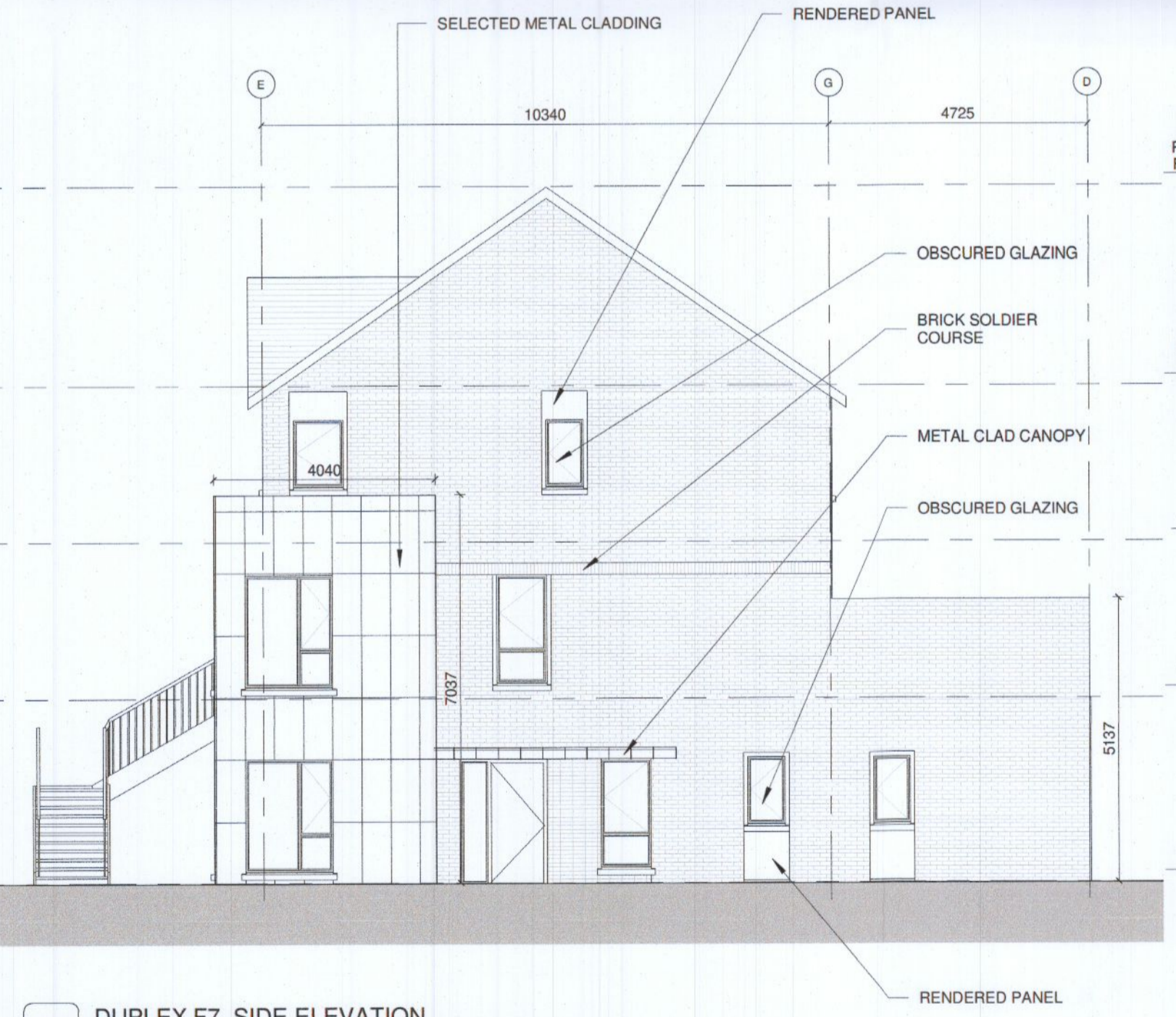
5 DUPLEX F7_ROOF PLAN
1:100



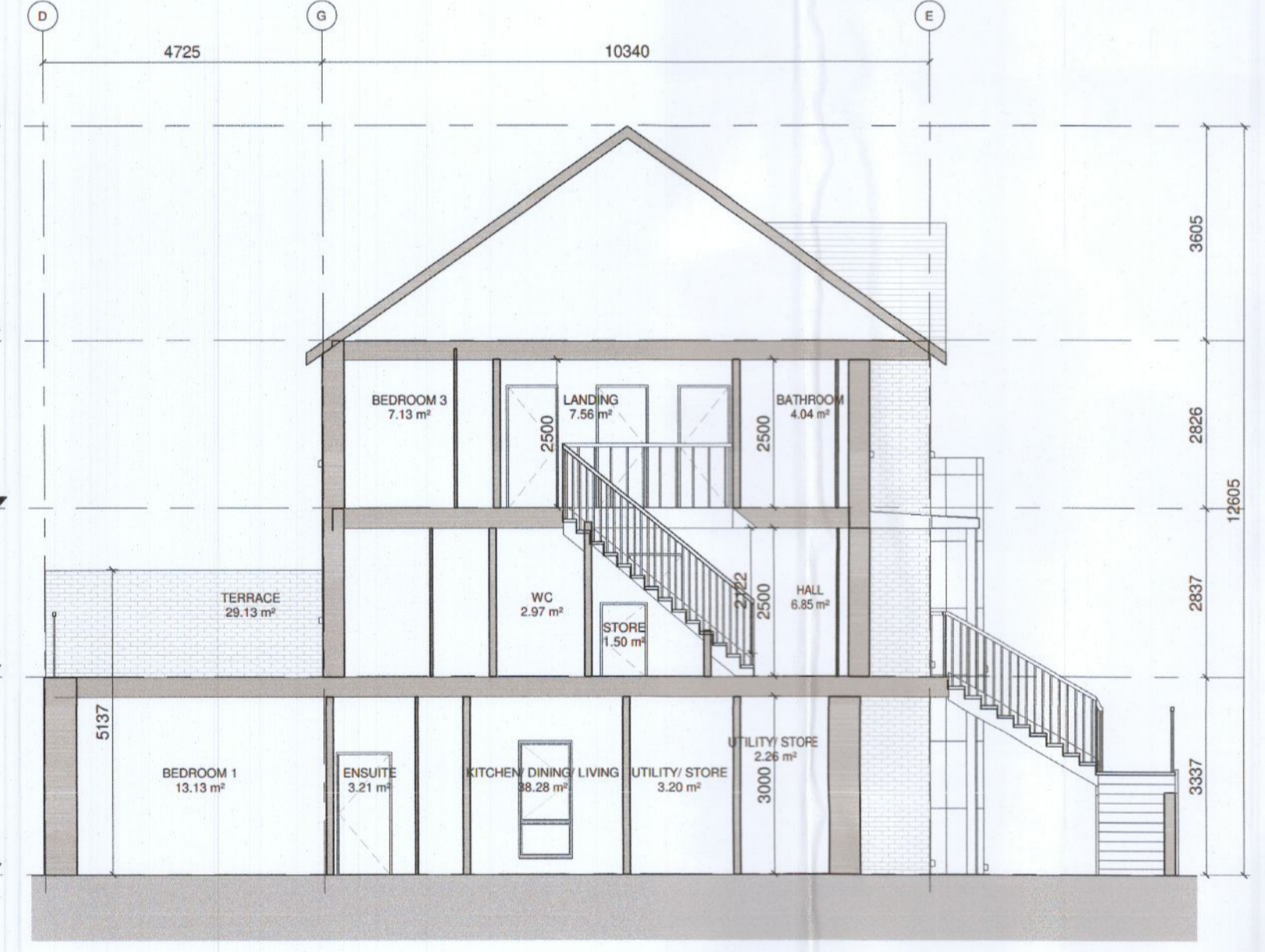
6 DUPLEX F7_FRONT ELEVATION
1:100



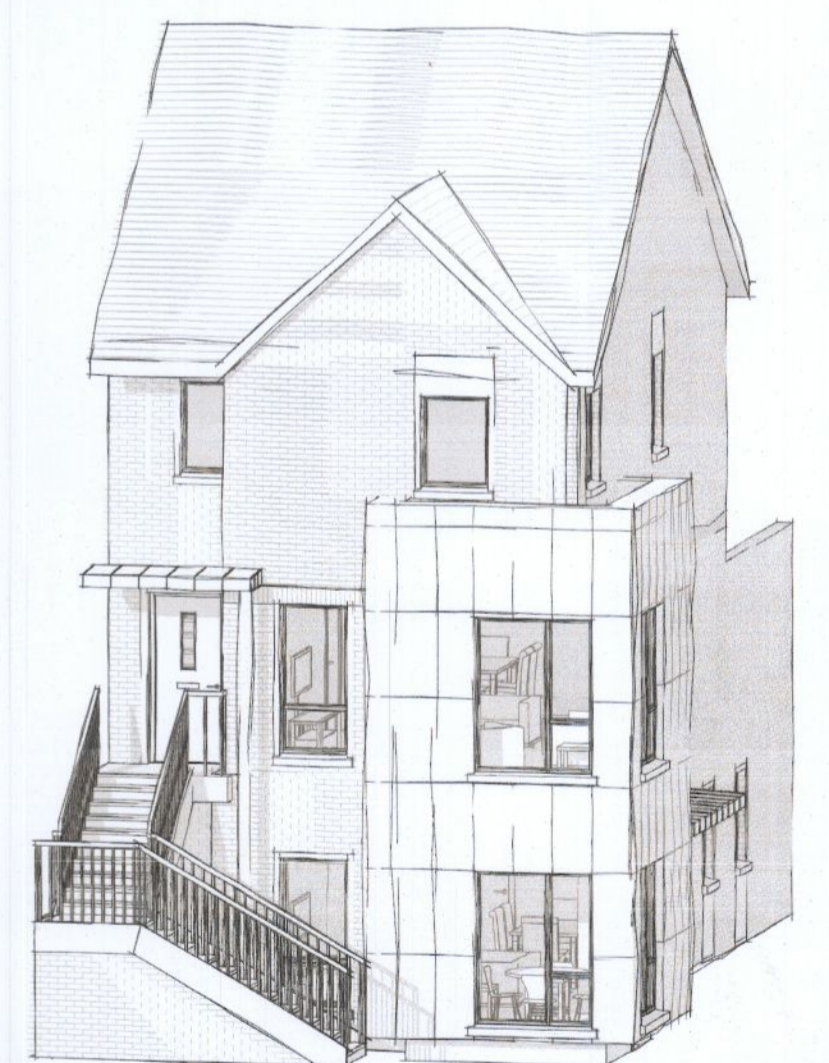
7 DUPLEX F7_REAR ELEVATION
1:100



8 DUPLEX F7_SIDE ELEVATION
1:100



9 DUPLEX F7_SECTION X-X
1:100



NOTES / LEGEND

TYPE DUPLEX F7 LANDMARK:

TOTAL GIFA GROUND FLOOR UNIT = 84 SQM

TOTAL GIFA UPPER 2 FLOORS UNIT = 115 SQM

MATERIALS LEGEND:

Walls: Selected brick / Self-coloured render; colour TBC

Roof: Selected concrete flat roof tile

Rain Water Goods: Dark-coloured fascia, soffit, gutter and downpipes

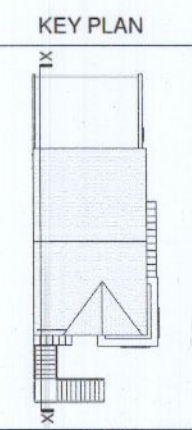
Doors: Selected double-glazed system
Metal canopy as indicated on the drawings

Windows: Selected double-glazed system
Reconstituted sills to front and visible gable facades
Concrete sills to rear
Obscure glazing to all bathroom / en-suite windows

GENERAL NOTE:

-Refer to site plans for the location and levels of these house types.

-House type numbering (i.e. XX.1, XX.2) refers to variations in material finishes to elevations and roof profiles, where applicable. Plans are the same where materials and roof profiles differ.



Rev: 00 Date: 26/06/2022 Description: RFI RESPONSE By: MOLA

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Note: Do not scale. Use figured dimensions only. This drawing is to be read in conjunction with all relevant specifications and drawings. All dimensions to be checked on site. In the event of any discrepancies between drawings, the contractor is to inform the Architect immediately.

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PLANNING

Client: QUINTAIN DEVELOPMENTS IRELAND LTD

Project: TANDY'S LANE DEVELOPMENT PHASE 2, ADAMSTOWN, LUCAN, DUBLIN

Drawing: DUPLEX TYPE F7 - LANDMARK

Date: JULY 2022 Scale: @A1 Int. Job No: 21024

Drawing No: TL2- 2- 02- PX- ZZ- DR- MOLA- AR- 0480 Status: Revision: 02 00