

SITE ANALYSIS

SD22A/0005

1 Watermeadow Drive,

DEMOLITION OF SINGLE STOREY EXTENSION AND BUILDING
TWO, TWO STOREY DWELLING HOUSES ON SITE

Best Practice Design manual criteria

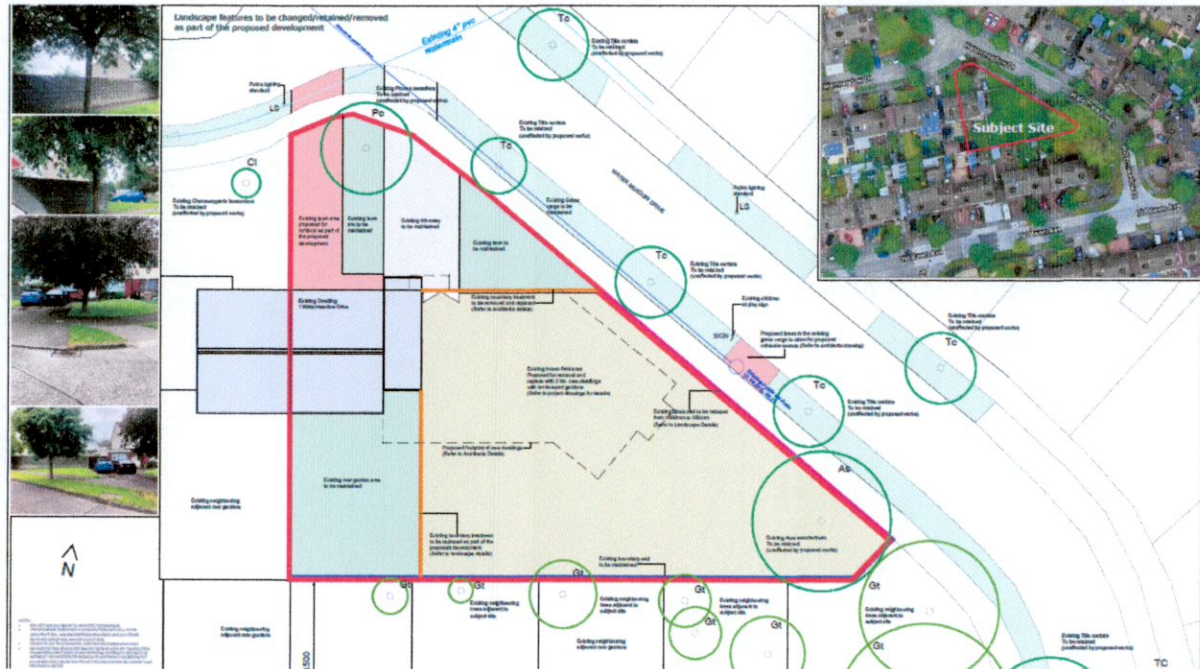
1.Context, 2. Connections, 3. Inclusivity, 4. Varsity, 5. Efficiency, 6. Distinctiveness,
7.Layout, 8. Public Realm, 9. Adaptability, 10. Privacy/Amenity, 11.Parking,
12.Detailed Design

Gary Anderson

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Context, Efficiency, Distinctiveness, Layout, Public realm, Privacy:



Description of Site and Surroundings

Site Description

The site comprises the side garden of a two storey, semi-detached dwelling with pitched roof and with attached single storey side extension with window and flat roof. The site is broadly triangular in shape with an Area of c.804m². The rear gardens of c.4 dwellings back onto the southern boundary of the site. There are 3 no. street trees on the adjacent grass verge to the front and to the side of the subject site. There is a mature tree in the front and rear garden of the subject site. The site is bound to the eastern side by a c.1.8m high block wall along a straight stretch of Watermeadow Drive. There is no boundary treatment to the front of subject site. The land on the site is overgrown and unused in appearance. The surrounding area is of an established residential character with a mainly uniform building line.

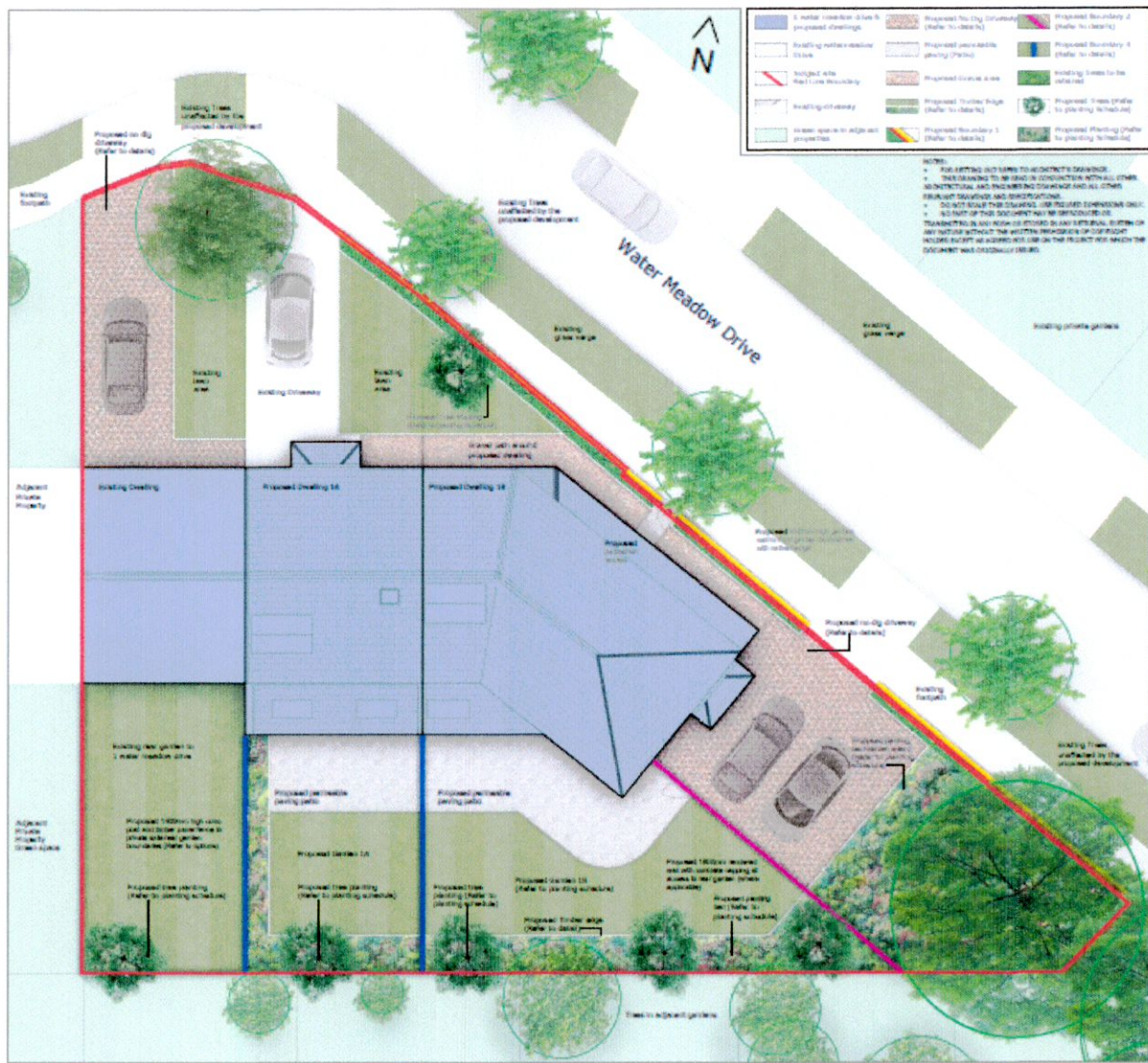


Figure 1: Proposed overview of the developed site

Scale of the Proposal

The proposed development would comprise of:

- Demolition of single storey side extension, c.17.21 m².
- Construction of 2 two storey dwellings in the side garden of No. 1 Watermeadow Drive to create a terrace with No.1 (existing dwelling).
 - 1 three bed dwelling house. House 1A, To be the primary principal residence of Alannah Anderson (Sister) of Glenasmole, Bohernabreena, Tallaght, Dublin 24.
 - 1 four bed dwelling house. House 1B, To be the primary principal residence of Gary Anderson (Brother) of 40 John Street South, Dublin 8.
- New 3.5m vehicular access, with a no dig driveway to be added for No.1. Space available for two cars front to back.
- 1A to utilise the existing driveway of No.1, Space available for two cars front to back.
- 1B to create a new 3.5m vehicular access to the East of the site. This will incorporate a side garden consisting of space to park two cars and lawn, retention of the existing mature tree. The boundary wall to the road will be lowered to 850mm for vision exiting onto the public road. Side garden area including parking c.109m². New 1.8m boundary to be built between the side garden and private open space with side gate for access.

- House 1A measures c.118.4sq.m.
 - Private open space to the rear c.65m².
 - Storage, 2.8m² internal ground floor, c.4m² external garden shed. c.26m² attic storage.
- House 1B measures c.184.93sq.m.
 - Private open space c.134m².
 - Storage c. 6.7m² ground floor, c.1m² first floor landing, c.53m³ attic storage
- Total proposed works measure c.313sq.m.

This development will add two new family homes to a mature residential area which will meet and/or exceed the minimum requirements for floor area for bedrooms and living space, storage, private open area, parking and energy efficiency.

The proposed provision of a long elevation for 1B ensure the continuity of the roof line and footprint of the dwelling to the North of the site, giving a distinct feature while fully utilising the triangular shape of the site. The Southern aspect to the rear the property can be fully taken advantage of. This provides ample usable roof area on the South side of the property for the installation of Solar panels and heat recovery ventilation in the attic space. In contrast on North and North East side the close proximity with windows overlooking the public realm improve both passive surveillance and Dual frontage (but will be set back at first floor level). The Southern aspect of the back garden improves the aesthetic and usability of the garden for the occupants and large windows to the rear of the property will allow natural light to flood into the main kitchen and living space.

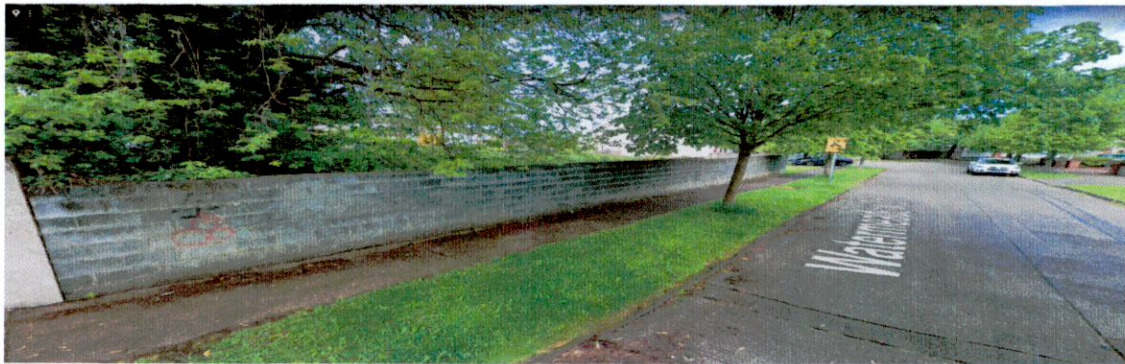


Figure 2: Side garden of 1 Watermeadow drive, (google 2022)

The proposed side garden(House 1B) and lower boundary wall of 850mm high render finish and red brick coping will integrate with the aesthetic of the opposite side of the road and eliminate the existing long blank façade of the 1.8m boundary wall.

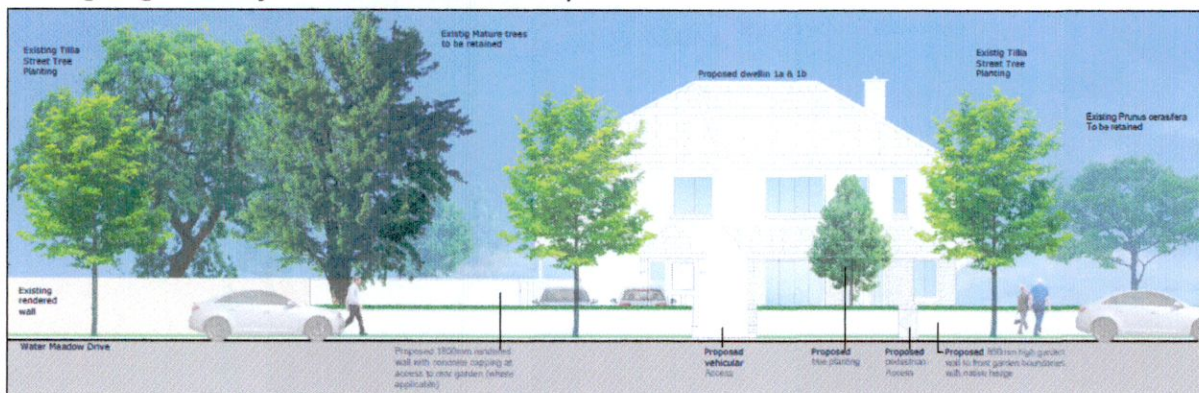




Figure 3: Render of propose finished side elevation


The side garden will also be used as separation between the public realm and private open space with access to the main living area via a side door to improve security and accessibility to car parked in the driveway.

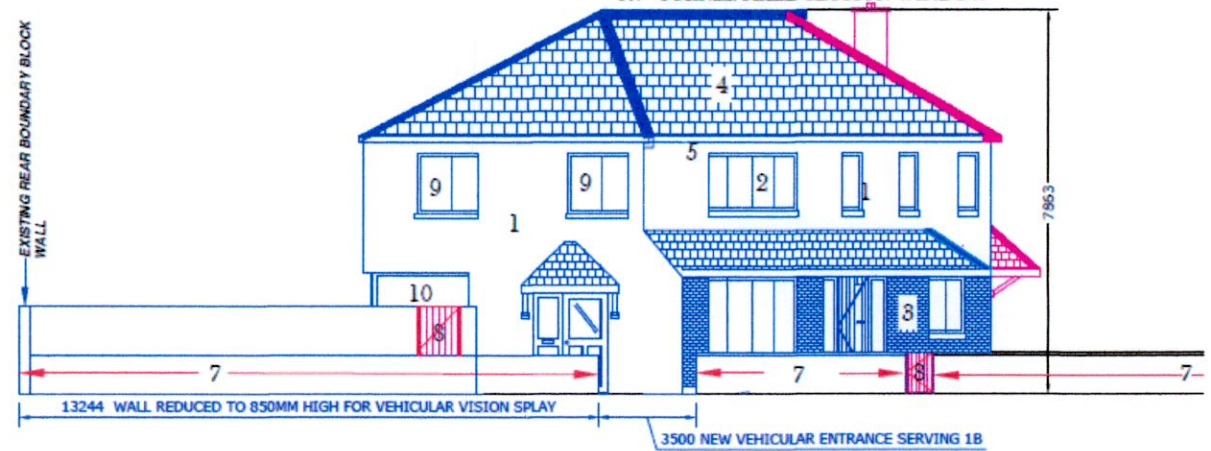
A corner window will allow a full unobstructed view from the house to the side gate to the far corner of the private rear garden from the main living area of 1B.

- 1: WET DASH RENDER APPLICATION
- 2: GREY PVC WINDOWS & EXTERNAL DOOR UNITS
- 3: RED BRICK TO GROUND FLOOR WINDOW HEAD LEVEL TO FRONT AND SIDE ELEVATIONS
- 4: ROLLED CONCRETE ROOF TILES TO MATCH EXISTING IMMEDIATE NEIGHBOURING HOUSES
- 5: PVC FASCIA, SOFFIT, GUTTERS AND DOWNPIPES
- 6: PLINTH TO MATCH IMMEDIATE NEIGHBOURING DWELLINGS
- 7: EXISTING BLOCK WALL ALTERED TO 850MM HIGH, 215MM THICK BLOCK BOUNDARY WALL RENDERED BOTH SIDES
- 8: EXISTING BLOCK WALL ALTERED TO 850MM HIGH 215MM THICK BLOCK WALL RENDERED BOTH SIDES ALONG EAST FACE FROM REAR BUILDING LINE OF 1B RUNNING NORTH (SEE SITE LAYOUT PLAN)
- 9: PEDESTRIAN HARDWOOD GATES BUILT INTO 850MM HIGH WALL AND 1800MM HIGH WALL RESPECTIVELY (SEE SITE LAYOUT PLAN)
- 10: WINDOWS AT FIRST FLOOR LEVEL IN GABLE CAN BE OBSCURED IF REQUIRED BY PLANNING AUTHORITY
- 10: CORNER FIXED SECTION WINDOW

EXISTING WORK 

NEW WORK 

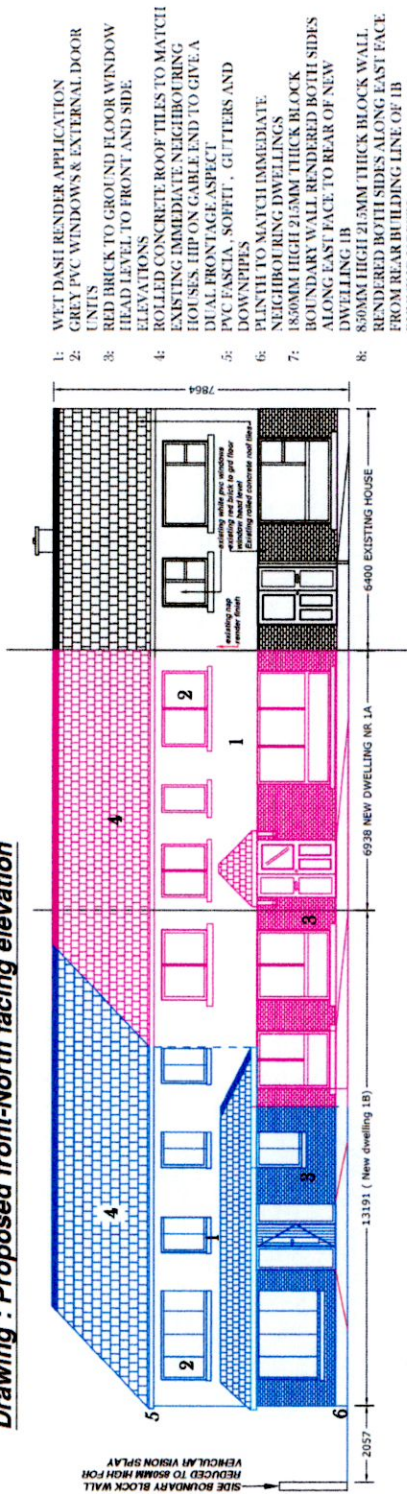
SPLAYED SECTION OF 1B 



Drawing : Proposed Side East-facing Elevation street scape

Figure 4: East elevation including integration notes

Drawing : Proposed front-North facing elevation



- 1: WET DASH RENDER APPLICATION
- 2: GREY PVC WINDOWS & EXTERNAL DOOR UNITS
- 3: RED BRICK TO GROUND FLOOR WINDOW HEAD LEVEL TO FRONT AND SIDE ELEVATIONS
- 4: ROLLED CONCRETE ROOF TILES TO MATCH EXISTING IMMEDIATE NEIGHBOURING HOUSES. HIP ON GABLE END TO GIVE A DUAL FRONTAGE ASPECT.
- 5: PVC FASCIA, SOFFIT, GUTTERS AND DOWNPIPES
- 6: PLINTH TO MATCH IMMEDIATE NEIGHBOURING DWELLINGS.
- 7: 180MM HIGH 91.5MM THICK BLOCK BOUNDARY WALL RENDERED BOTH SIDES ALONG EAST FACE TO REAR OF NEW DWELLING 1B
- 8: 800MM HIGH 215.5MM THICK BLOCK WALL. RENDERED BOTH SIDES ALONG EAST FACE FROM REAR BUILDING LINE OF 1B RUNNING NORTH
- 9: WINDOWS @ FIRST FLOOR LEVEL ON GABLE WALL CAN BE OBLSCURED IF REQUIRED BY PLANNING AUTHORITY
- 10: CORNER GLAZED SCREEN
- 11: BED 2 AND ENSUITE WINDOWS TO BE OBLSCURED

Drawing : Proposed Rear South facing elevation

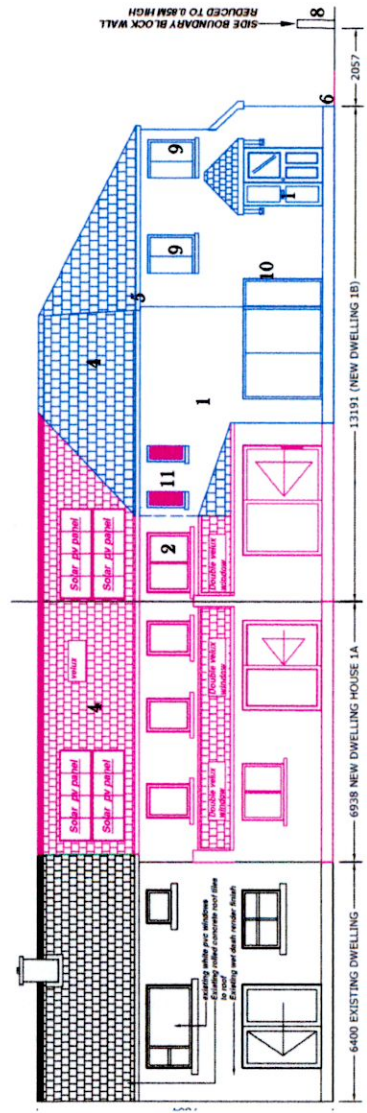


Figure 5: North and South Elevations

Connection Inclusivity, Variety, Amenity:

This is an established neighbourhood, 1 Watermeadow drive is conveniently located between a primary and secondary school making it ideal for two young family homes. There is close proximity to local amenities such as Sean Walsh park and pedestrian access via a footbridge to the Square shopping centre. There are an abundance of local sports clubs and facilities which can be availed of for young families.

From the square there are multiple options for public transport with connectivity across , with several bus routes across Dublin including the airport and tram services via the red luas line. There are also access to bus stops on the Old Bawn road and Seskin view road to the east of the estate.

Driving there are two routes out of the estate. To the East (Firhouse Road West) and West (Old Bawn Road) along Old Bawn Avenue. These routes are well connected to main arteries such as the N81, M50, M7.

Adaptability:

Consideration has been given to accessibility of the external approach, internal circulation and visitable WC facilities, all designed in conjunction with part M of the technical guidance documents. This should ensure the adaptability of these family homes to accommodate all household circumstances and be adaptable for elderly/persons with a disability if so needed in the future.

Parking:

As seen in Figure 1. The off-street parking will be increased to accommodate the addition of two new family homes.

No. 1 Watermeadow drive will have a new two car no dig driveway installed at the boundary with No.3.

House 1A will utilise the existing driveway suitable for two cars.

House 1B will create a new side garden including provision for two car spaces with a no dig driveway. The driveway for 1B starts c. 13m from the boundary of 31 Old bawn avenue where there is a slight turn in the road. The boundary wall has been lowered to 850mm for visibility. There is sufficient space within the driveway to turn a car allowing a safer forward exit onto the main road.

An Rannóg Talamhúsáide, Pleanála agus Iompair
Land Use, Planning & Transportation Department
Telephone: 01 4149000 Fax: 01 4149104 Email: planning.dept@sdublincoco.ie

Gary and Alannah Anderson
1 Watermeadow Drive,
Old Bawn,
Tallaght,
Dublin 24.

**PLANNING & DEVELOPMENT ACT, 2000 (as amended) AND PLANNING
REGULATIONS THEREUNDER**

Decision Order Number: 0294	Date of Decision: 07-Mar-2022
Register Reference: SD22A/0005	Registration Date: 10-Jan-2022

Applicant: Gary and Alannah Anderson
Development: Demolition of side garage and building 2 two storey dwelling houses on site, using existing vehicular access to public roadway to serve 1 new dwelling, forming 2 new vehicular access to public roadway to serve other new dwelling and existing dwelling.
Location: 1 Watermeadow Drive, Old Bawn, Tallaght, Dublin 24.
Application Type: Permission

Dear Sir /Madam,

With reference to your planning application, received on 10-Jan-2022 in connection with the above, I wish to inform you that before the application can be considered under Section 33 of the Planning & Development Act 2000, six copies of the following **ADDITIONAL INFORMATION** must be submitted.

1. The applicant is requested to submit the information below to address requirements for Roads Section.
 - (a) A revised plan drawing showing the new vehicular accesses not entering the public road on the bend.
 - (b) The wall in the vicinity of the vehicle access for unit 1B shall be lowered to a height of 900mm in order to have adequate forward visibility.
(All boundary walls at vehicle access points shall be limited to a maximum height of 0.9m, and any

- boundary pillars shall be limited to a maximum height of 1.2m, in order to improve forward visibility for vehicles).
- (c) A sightline envelope analysis (visibility display) of each vehicle access shall be carried out to demonstrate adequate forward visibility at all proposed vehicle accesses.
 - (d) A topographical survey of all trees and utilities that will affect the location of accesses and the forward visibility at the access points.
 - (e) Revised drawings in plan and elevation clearly showing that the maximum width of all vehicle entrances shall be limited to 3.5m.
2. The proposed arrangement for private open space for House 1B would not be acceptable. It would not provide for satisfactory amenity space and will have traffic safety issues for vehicular visibility on egress. The applicant is requested to submit revised drawings in plan and elevation clearly showing how it will provide for satisfactory private open space for House 1B.
 3. (a) A site analysis has not been submitted as part of this application to address the scale, siting and layout of the proposed development taking account of the local context. A site analysis should accompany all proposals for infill development as per Section 11.3.2 (i). Infill Development of the SDCC Development Plan 2016-2022. Therefore, the applicant is requested to submit a site analysis to take account of the above.
(b) The proposed provision of a long elevation for House 1B so close to the road edge, as part of an infill site, would not be considered to integrate architecturally with existing development. Although there is a proposed separation distance of c.1m to be provided from the public footpath the Planning Authority would require a further set-back at first floor level. Therefore, the applicant is requested to submit revised drawings in plan, section and elevation to address this matter.
 4. Drawings submitted show a shortfall in dedicated storage. House 1A will only provide for c.1.17sq.m. for storage and House 1B will only provide for c.3.14sq.m. This would not comply with the minimum storage area requirements as per the Quality Housing for Sustainable Communities, Best Practice Guidelines for Delivering Homes Sustaining Communities 2007. A minimum of 4sq.m of dedicated storage space should be provided for a 3 bed, 4 person, 2 storey house. Therefore, the level of storage to be provided would not comply with the above policy. The applicant is therefore requested to submit revised drawings clearly showing that the required levels of dedicated storage will be provided for both proposed dwellings, House 1A and House 1B.
 5. Boundary treatment for proposed House 1A and House 1B is not clear. Therefore, the applicant is requested to submit clear boundary treatment details in both plan and elevation for all front, rear and all side boundaries including boundary treatment that may separate the private open space of House 1B from the 2 proposed car parking spaces adjacent to the new proposed vehicular entrance. All proposed boundary treatment details should comply with the SDCC Development Plan 2016-2022.

NOTE: The applicant should note that any submission made in response to the above will be examined and MAY be deemed to be SIGNIFICANT ADDITIONAL INFORMATION by the Planning Authority. In this event the applicant(s) will be subsequently notified and requested to publish a notice in an approved newspaper and erect or fix a site notice on the land or structure to which the further information relates and to submit copies of the both the newspaper and site

notices to the Planning Authority in accordance with Article 35 (1) (a) and (b) of the Planning and Development Regulations 2001 (as amended).

Note: The applicant must submit the Further Information within **6 months** of the **date of decision**. If the information is not received within this period the planning authority shall declare the application to be withdrawn.

Please ensure that your reply to this Request for Additional Information is accompanied by a covering letter marked "ADDITIONAL INFORMATION" and that the Planning Register Reference Number given above is quoted on the covering letter.

Signed on behalf of South Dublin County Council

Register Reference: SD22A/0005

Date: 08-Mar-2022

Yours faithfully,


for Senior Planner