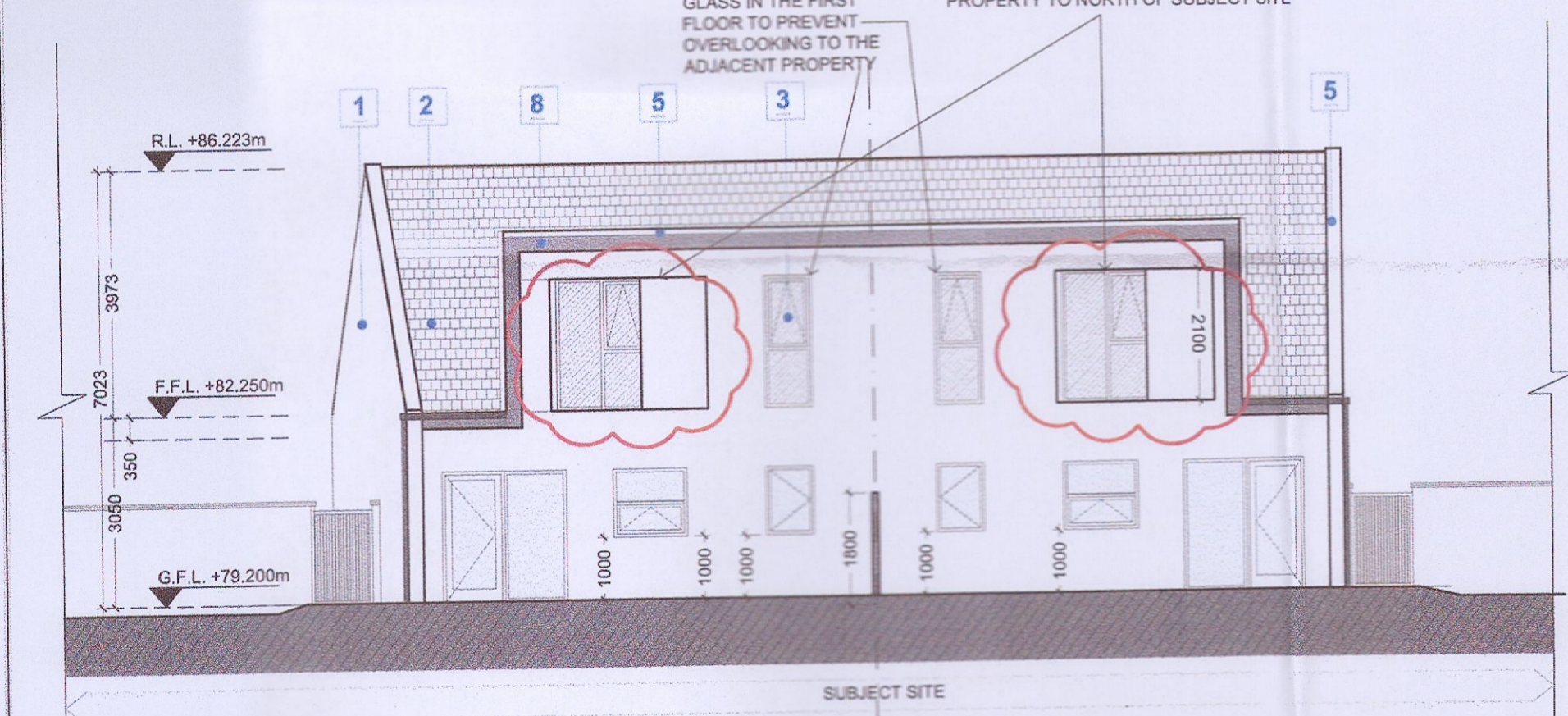


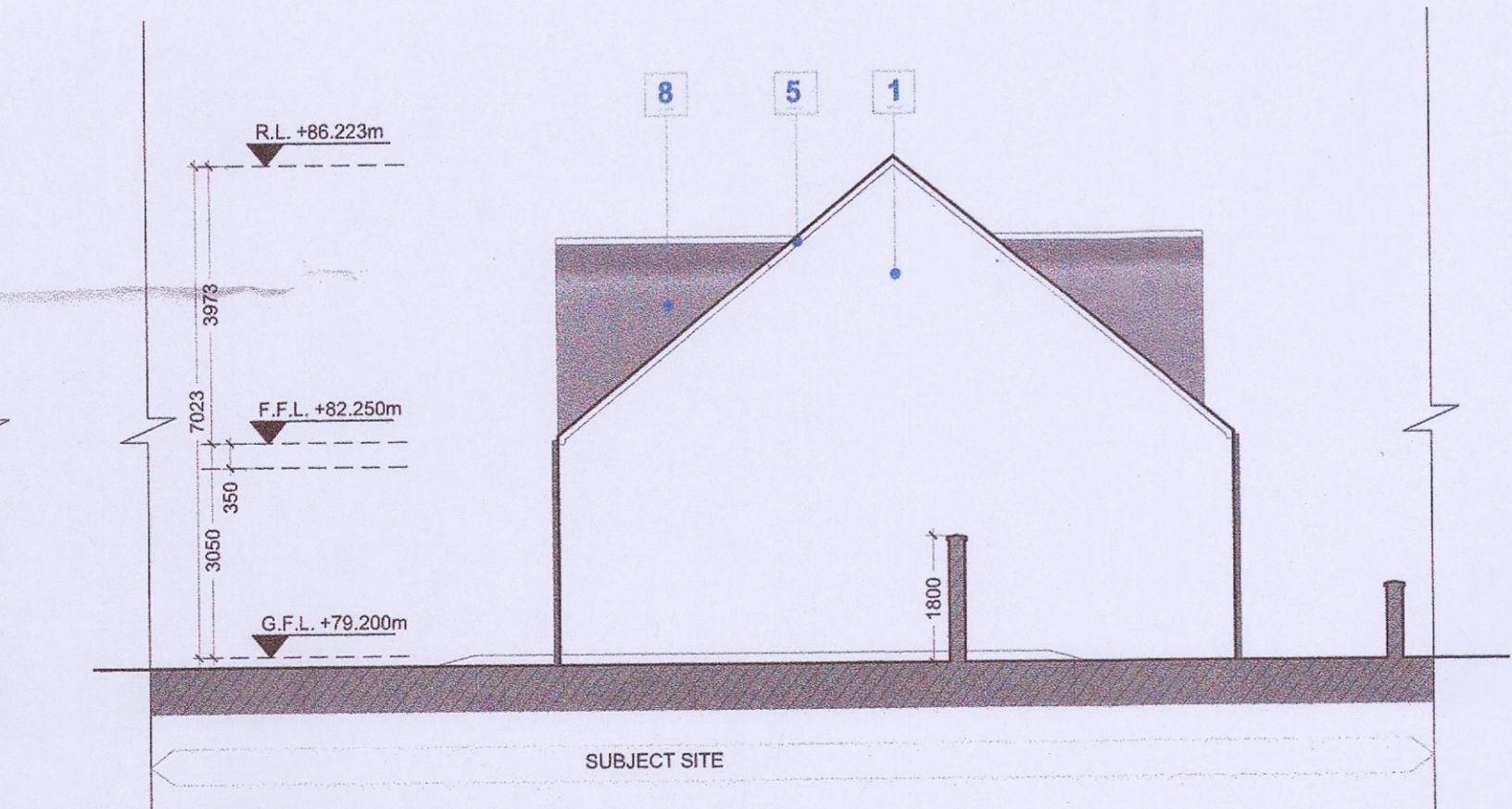
PROPOSED ELEVATION 1.1 (SOUTH ELEVATION)
Scale 1:100

PROPOSED WINDOWS WITH OBSCURED GLASS IN THE FIRST FLOOR TO PREVENT OVERLOOKING TO THE ADJACENT PROPERTY

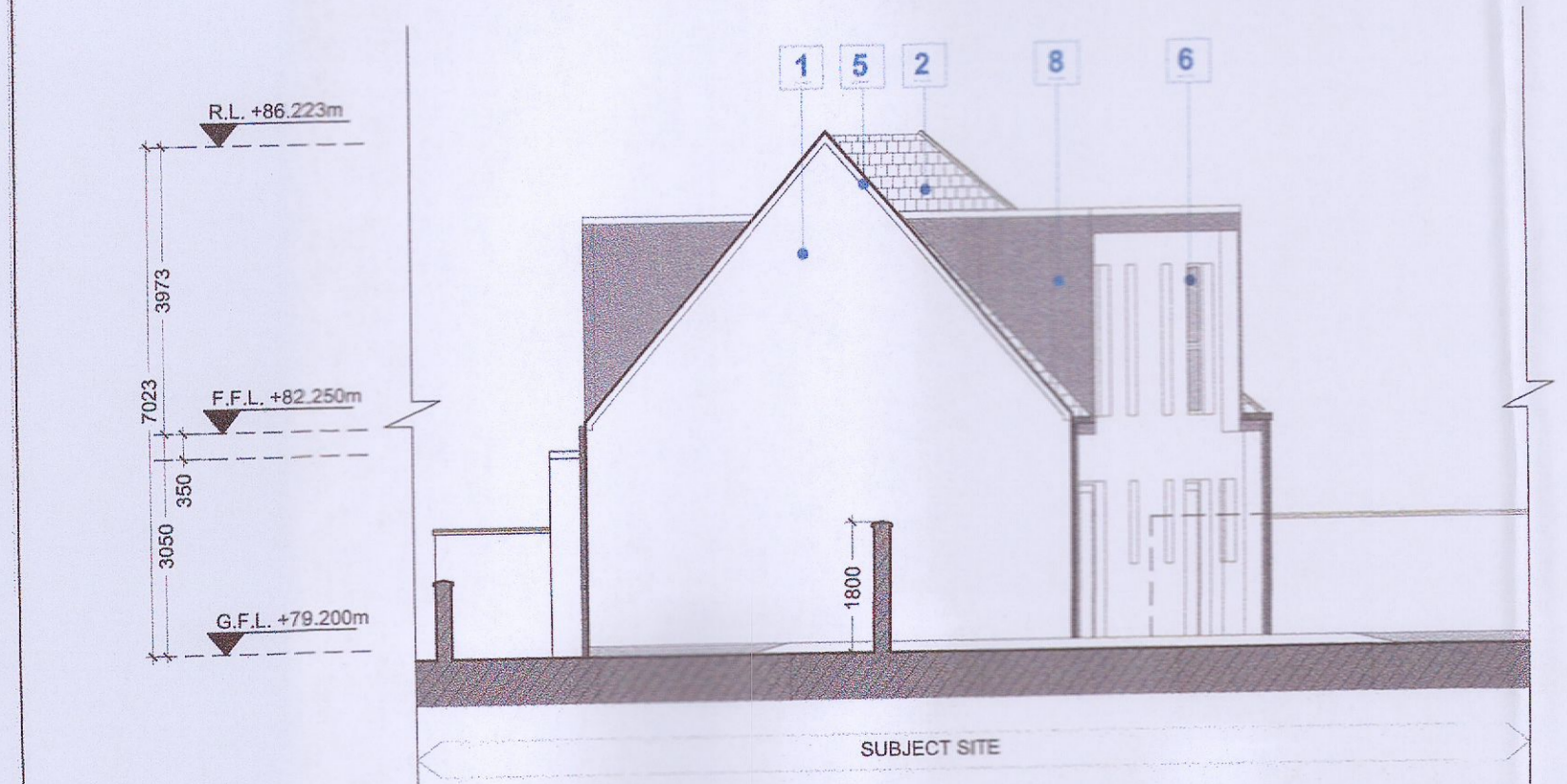
PROPOSED ANGLED WINDOWS TO PREVENT DIRECT OVERLOOKING ONTO PROPERTY TO NORTH OF SUBJECT SITE



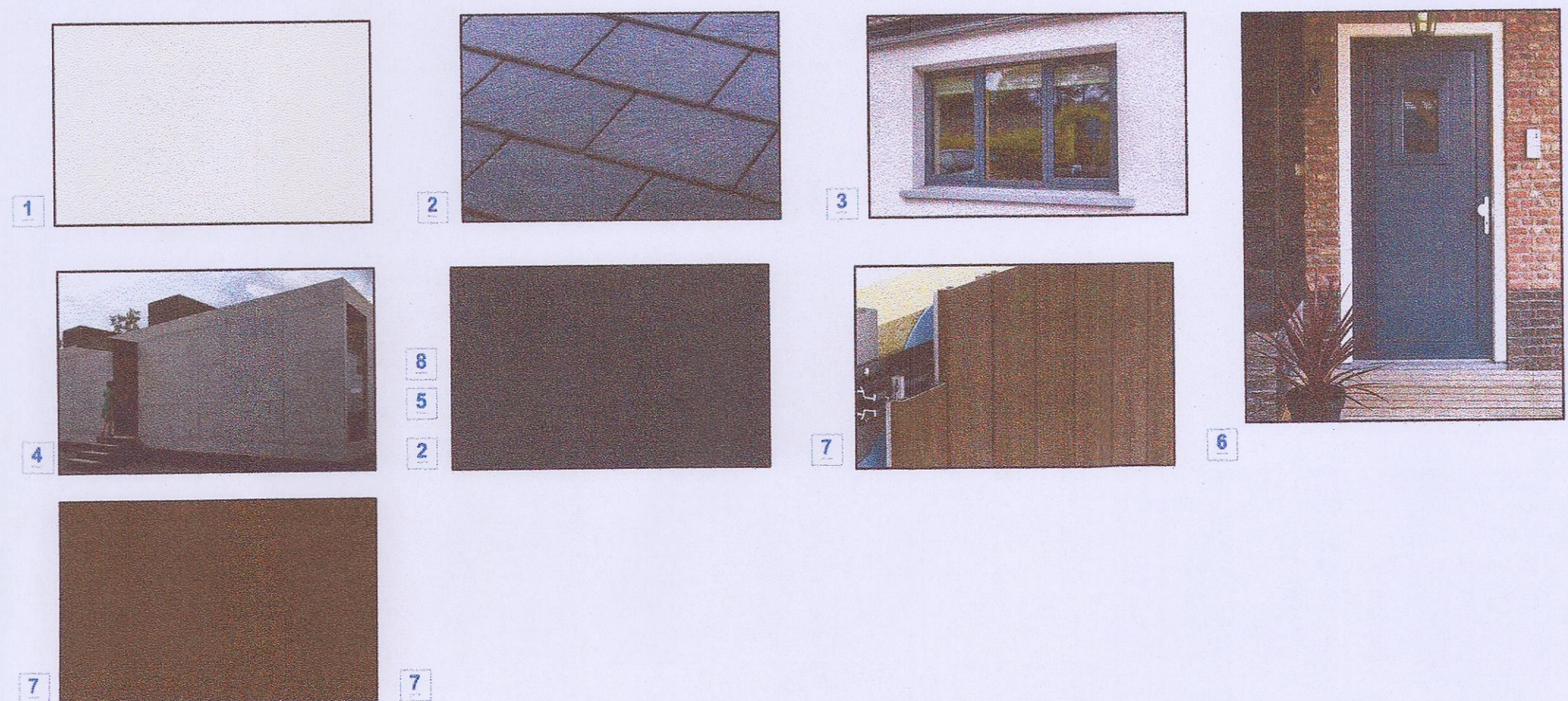
PROPOSED ELEVATION 2.2 (NORTH ELEVATION)
Scale 1:100



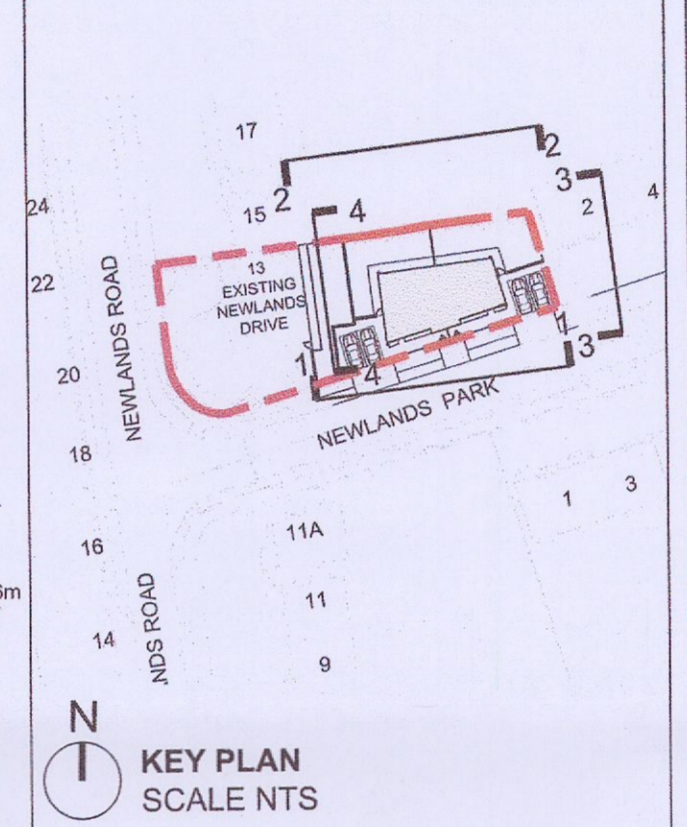
PROPOSED ELEVATION 3.3 (WEST ELEVATION)
Scale 1:100



PROPOSED ELEVATION 3.3 (EAST ELEVATION)



SITE BOUNDARY



- 1 RENDER FINISH IN RAL 9003 - SIGNAL WHITE OR SIMILAR
- 2 SLATE TILE TO PITCHED ROOF RAL 8014 - SEPIA BROWN OR SIMILAR
- 3 ALUMINUM WINDOW/DOORS OR SIMILAR RAL 7016 - ANTHRACITE OR SIMILAR
- 4 EXPOSED CONCRETE
- 5 POWDER COATED METAL CAPPING TO MATCH RAL 7016 - ANTHRACITE OR SIMILAR
- 6 MAIN DOOR WITH TIMBER
- 7 POWDER COATED ALUMINUM CLADDING RAL 8014 - SEPIA BROWN OR SIMILAR
- 8 RENDER FINISH IN - RAL 7016 - ANTHRACITE OR SIMILAR

PROPOSED WINDOWS WITH OBSCURED GLASS IN THE FIRST FLOOR TO PREVENT OVERLOOKING TO THE ADJACENT PROPERTY

REV	DATE	DESCRIPTION
A	15.08.2022	LC ANGLD WINDOWS PROPOSED TO REAR FIRST FLOOR WINDOWS TO PREVENT DIRECT OVERLOOKING

DO NOT SCALE FROM THE DRAWING. USE PROVIDED DIMENSIONS IN ALL CASES. VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS OFFICIAL AND MAY ONLY BE REPRODUCED WITH THE ARCHITECT'S PERMISSION.

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AN BORD PLEANALA	
JOB: PROPOSED RESIDENTIAL DEVELOPMENT AT THE REAR OF NO. 13 NEWLANDS DRIVE, CLONDALKIN, DUBLIN 22	DATE: AUGUST 2022
CLIENT: HJM INVESTMENTS LTD	DRN: VB
DRAWING TITLE: PROPOSED ELEVATION 1.1, 2.2, 3.3 & 4.4	SCALE: 1:100@A2
JOB NUMBER: 2018_137	DRAWING NUMBER: 3.1.200
	REVISION: A