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ARCHITECTURAL IMPACT ASSESMENT/DESIGN RATIONALE



**32 ST PATRICKS COTTAGES,
RATHFARNHAM, DUBLIN 14**

ADDITIONAL INFORMATION RESPONSE TO PLANNING REF SD21B/0641

August 2022



Prepared by:
Graham McNevin MRIA.PSDP

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Project Particulars

Local Authority: South Dublin County Council

Reg. Reference: SD21B/0641

Submission Type: Request Additional Information Response

Response Date: August 2022

Agent Details: Graham McNevin MR1A1.PSDP, Mc Nevin Design 3 Kilakee Gardens, Firhouse, Dublin 24

Proposed Development: Domestic extension to side and rear of existing property including first floor extension partially over existing ground floor extension to rear and two storey extension to side of existing dwelling with internal alterations and all associated site works. Location: 32, St. Patrick's Cottages, Rathfarnham, Dublin 14

Applicant Name: Gail & Ronan Carey Application Type: Permission

Introduction

This report has been prepared by McNevin Design Ltd on behalf of their client and applicant to this planning application (SD21B/0641) and subsequent 'Additional Information Response' to South Dublin County Council for works to St Patrick's Cottages Rathfarnham, Dublin 14.

It is the intention of the applicants is to extend and fully renovate the house to suit modern family living but enhance and restore the buildings existing features and character. The property has been extended and renovated over the years by previous occupants and nearly all original features have been removed, blocked up or damaged beyond repair. Externally the front façade has had the original brick painted over many times and the windows had been replaced with what was a modern style of glazing at the time of fitting. The applicant had to change the windows even before our proposed building works commenced and changed the existing windows to a heritage window as the previous ones did not allow escape in the event of a fire. The existing roof structure has been examined and there is sign of dry rot and woodworm in places particularly to the rear of the main building.

The property has been extended twice with two flat roof extensions both of which are showing signs of rising damp, mold growth & have historically had issues with leaks on both roofs. These roofs have been recovered and repaired numerous times over the years but need an overhaul now. The extensions in their current form need a substantial upgrade which shall be part of the overall works.

The layout of the building currently has the family split at night-time which is not ideal with a young family who can need tending to during these times and are most certainly out of ear shot currently. The layout also has the main bathroom located at ground floor which forces occupants of the upstairs to have to travel through the Kitchen and living areas to get back to the bedroom after using the facilities. The applicants have requested that a more cohesive plan is set out and part of the works.

Design Brief

Applicants Design Brief to McNevin Design was:

- First and foremost, repair rather than replace where possible.
- Design new layout that works for the families current & future needs.
- Bring back original houses character by repairing original features where possible.
- Strip back poorly constructed areas of original house.
- Establish what if any original features may remain and can be salvaged.
- Strip back entire original roof and establish extent of damage to roof structure.
- Repair/replace structure, rebatten & reslate using existing slate or slate to match.
- Strip back all layers of paint from original brick, repoint brick using acceptable mortar.
- Repair damage to original render, make good all areas and repaint.
- Replace windows with heritage range glazing to original house. (done)
- Overhaul of extended areas of the house to create modern eco-friendly building.
- New areas to be minimalist design with similar finishes to enhance original building.
- Set back extension to reduce any impact on streetscape.
- Upgrade electrical & heating systems in the house.

Site Context

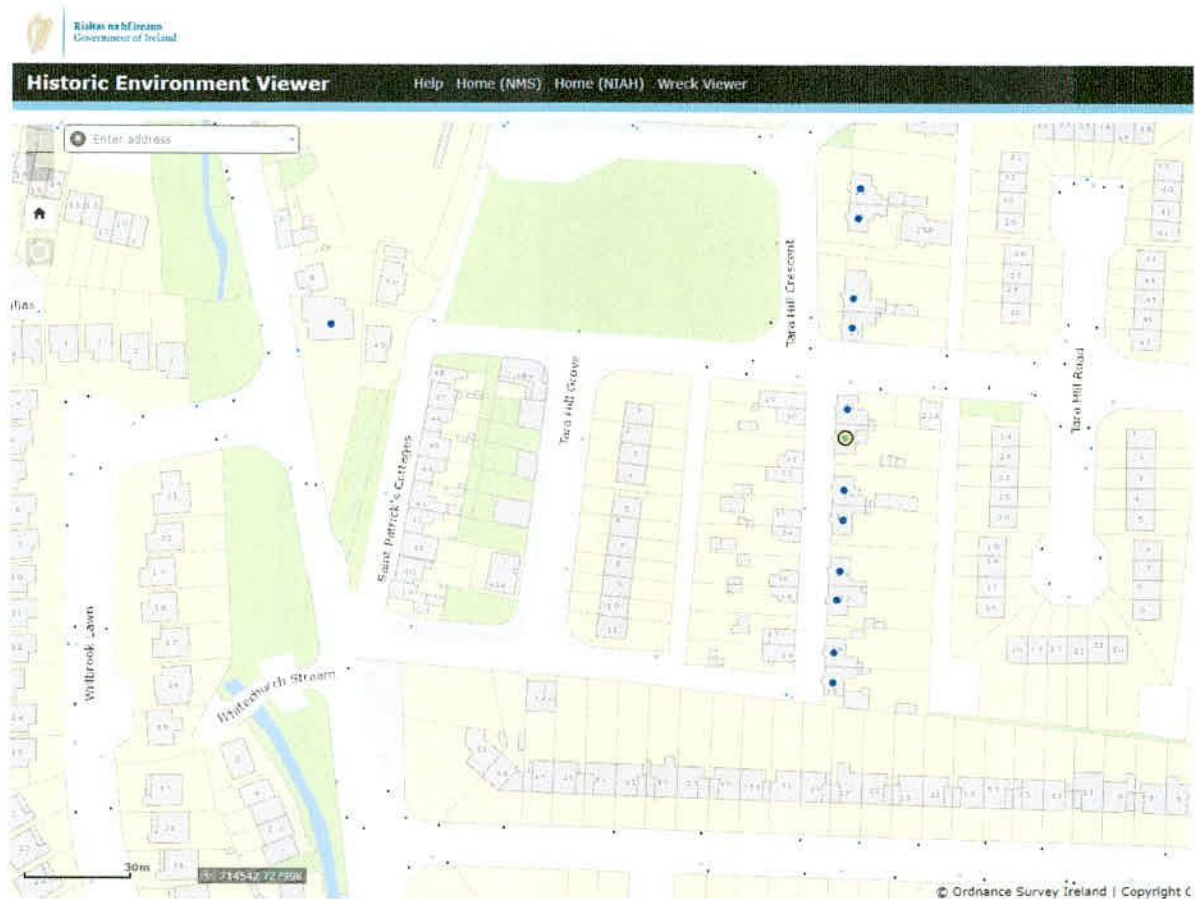
The applicant's property is in St Patrick's Cottages in Rathfarnham, Dublin 14. The Zoning for the property is 'RES' - 'To protect and/or improve residential amenity'. A residential extension is 'Permitted in Principle' under this zoning objective.

The subject site is also located within the St Patrick's Cottages, Grange Road, Rathfarnham Architectural Conservation Area (ACA).

St Patrick's Cottages in a row of similar dwellings on one side of the street and similar small cottages facing them. These single-storey cottages facing the applicants dwelling are all listed on the National Inventory of Architectural Heritage.

Properties on both sides of the applicant's street have renovated and extended their properties with varying sizes and styles of rear/side extensions. The surrounding area is residential in nature.

As per Chief Executives Order created for this application *'It is noted that a similar property on St Patrick's Cottages to the south has constructed a two-storey extension however, there is no planning history for this development'*. This development has no record of planning permission but is constructed for many years now and is established on the streetscape as do all the other extensions on St Patrick's Cottages.



Taken from National Inventory of Architectural Heritage

1st Edition 6 Inch Historic Map

CENTRE COORDINATES:
 ITM 714352,728109
PUBLISHED: 16/08/2022
ORDER NO.: 50285762_1
MAP SERIES: 6inch BW ED01
MAP SHEETS: DN022

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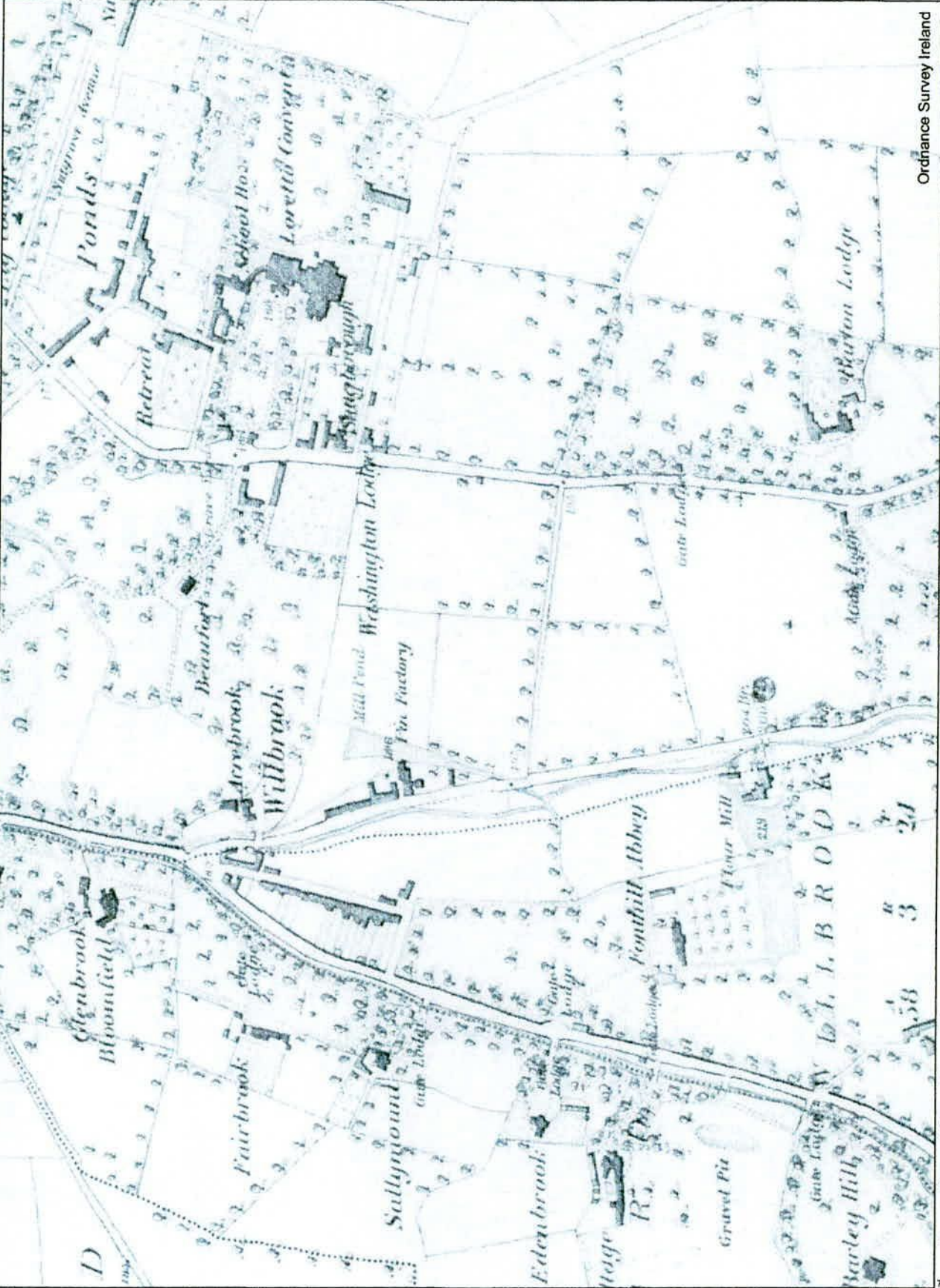
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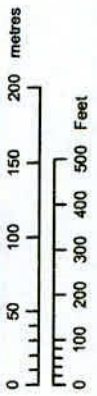


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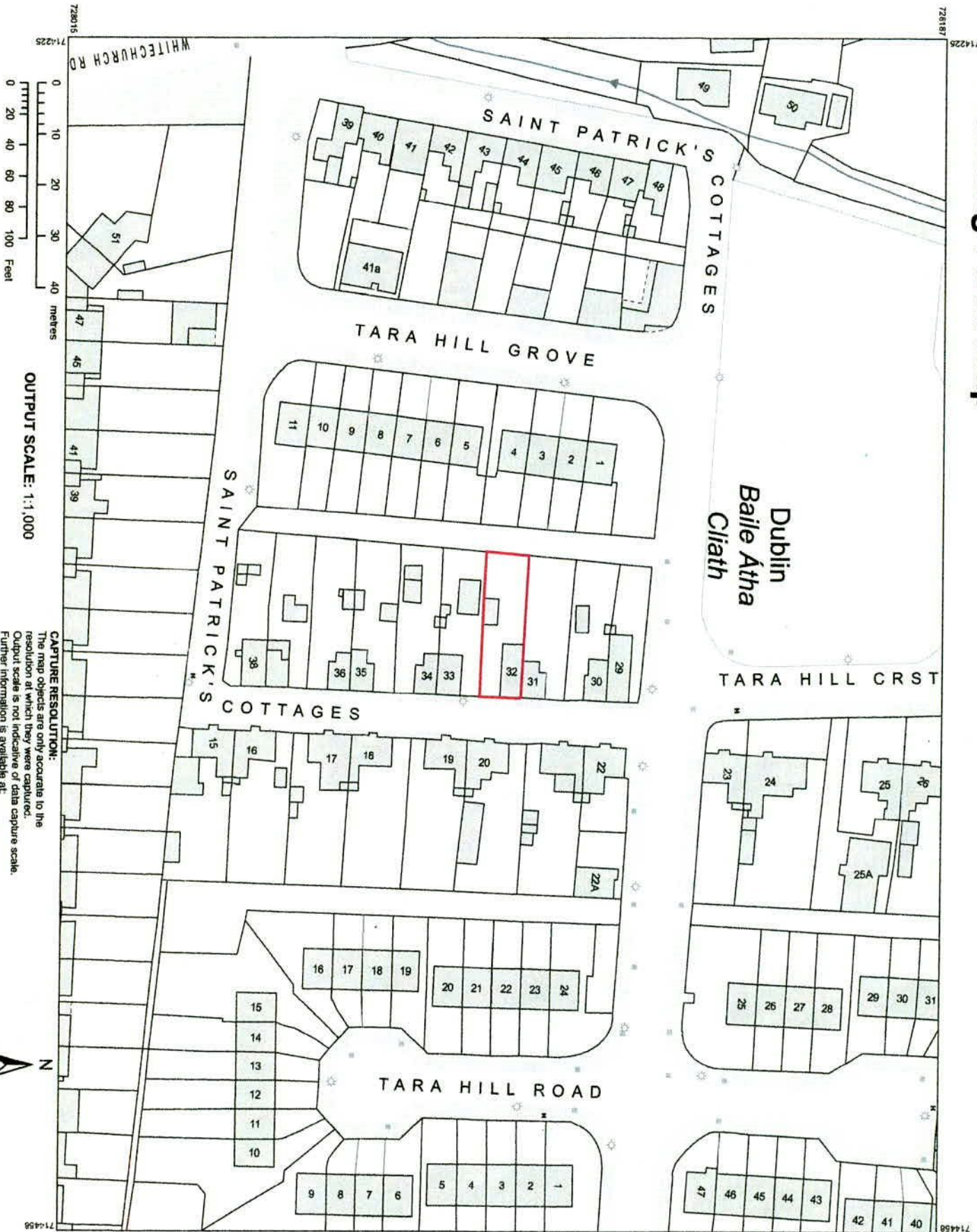
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Planning Pack Map

Dublin
Baile Átha
Cliaith



CENTRE COORDINATES:
ITM 714342,728101

PUBLISHED: 17/09/2021
ORDER NO.: 50220639_1

MAP SERIES: 1:1,000
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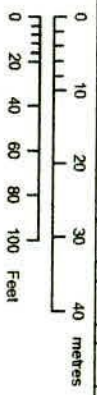
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Architectural Impact /Design Rationale

Policies noted below are extracted from South Dublin County Council Development Plan 2016-2022 unless otherwise stated.

Section 9.1.3 Architectural Conservation Areas Policy HCL4 Architectural Conservation Areas states *'It is the policy of the Council to preserve and enhance the historic character and visual setting of Architectural Conservation Areas and to carefully consider any proposals for development that would affect the special value of such areas. HCL4 Objective 2: To ensure that new development, including infill development, extensions and renovation works within or adjacent to an Architectural Conservation Area (ACA) preserves or enhances the special character and visual setting of the ACA including vistas, streetscapes and roofscapes.'*

It is also noted that the Architectural Conservation Officer has stated;

'The applicant should also consider any changes to the design and scale of the proposed 2- storey extension in order to less any visual impacts identified in the Architectural Impact Assessment. Given the sites location within the ACA and the heritage value attached to St Patrick's Cottages, it is considered appropriate to request the recommended additional information to ensure the special character of the ACA and neighbouring properties are not negatively impacted by the proposed development.'

Response:

We feel that we have provided a minimalist design that has evolved based on the feedback from this 'Additional Information Request'. We hope that the Planning Department & Architectural Conservation Officer will see that this development shall not only provide some much-needed family space but will bring No. 32 Patrick's Cottages back closer to its formal glory as this development is not only to extend but refurbish the existing building. We feel that with the Local Authority we have the opportunity to set the standard on the street, with any further refurbishments seeing the benefits of spending time and money on the original building as we plan to do.

See below what we feel the Architectural Impact & our Design Rationale for the project is. We are of course happy to make suitable alterations by way of condition to a grant of permission.

As part of the overall works, it is the objective of the applicant to bring the front/side façade of the existing dwelling closer to its original state. The applicant shall incorporate a repair rather than replace principle where possible. It is only where salvaging existing elements is not viable where the replacement principle shall be used. As previously stated, the interior of the existing building has previously been decorated and the full scope of works to be undertaken internally is not yet known. However, many original features are either gone or have been covered by previous occupants. Once the full scope of works to the internal element of the original house is known a full plan of action shall be made.

The external façade scope of works is generally accepted, and a plan of action has been set. A specialist contractor shall be employed to carefully remove the many years of paint from the brick, seal & repaint. The existing render to the house in is reasonable condition, however it is the applicants wish to get it cleaned by a specialist contractor and any areas of concern to be identified and made good.



Front/Side façade of 32 St Patricks Cottages

The original windows from the property were removed quite some time ago and there have probably been a couple of replacement windows prior that would not fit the character of the original build. The applicant was forced to replace the windows that were in situ as they did not provide escape from the bedrooms in the event of a fire. These windows have already been removed, and Heritage grade windows have been installed to the existing opes.



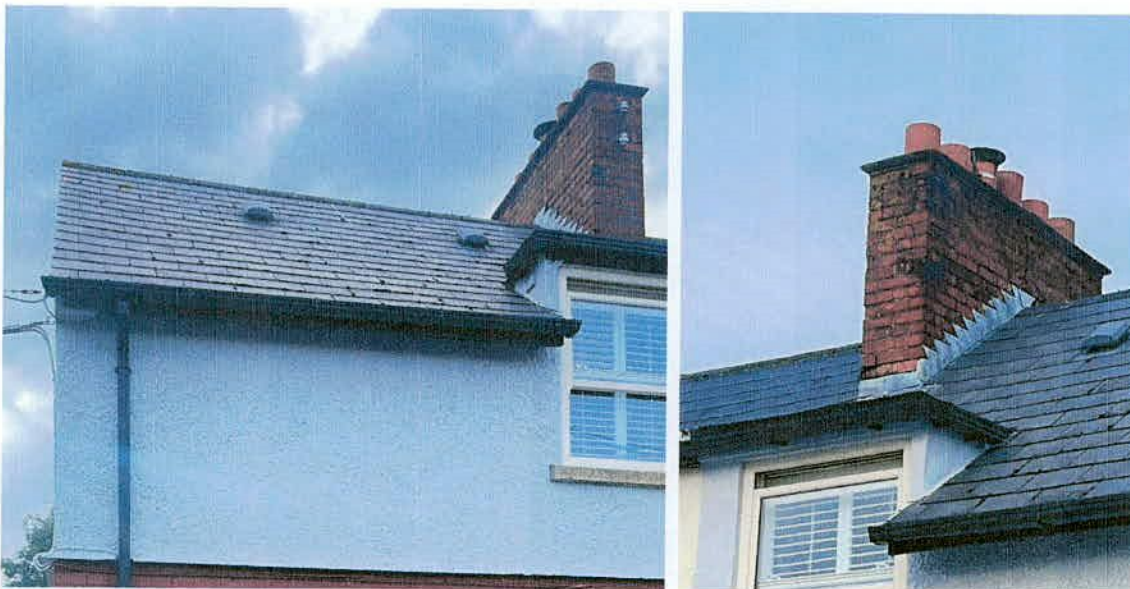
Windows prior to change



Heritage Glazing System

The existing slate roof is currently allowing water egress into the loft space and into the rooms below causing damage to the building fabric. There has been some remedial works to try and improve the situation recently but it is noted the slate is not of good quality and it is envisaged a specialist heritage roofing contractor shall strip and dispose of the existing non-original roof slate. The existing roof structure shall be inspected once the roof has been stripped and remedial/treatment works shall be made where necessary. There is evidence of rot & infestation in areas to the rear these areas may be beyond repair and may have to be removed. This area is also the area that connects the new build with the existing. It is the applicants wish to only remove a limited section to allow for adequate head height here. This shall be agreed with the structural Engineer on site prior to construction works to this element. The roof to the front & back shall be felted, battened and re-slatted using natural slates.

The chimney stack shall also be inspected repointed and reflashed as part of the works etc and all rain-water goods repaired/replaced with where necessary.



Non-natural slate in place sagging evident, stack to be repointed & flashing redone

There is evidence of rising damp in both the original and extended areas which would indicate failed or no DPC. The applicant shall ensure that all these walls have been injected with liquid DPC once all walls have been stripped back. Any structural issues can be identified and remedied at this stage.



Sample of Rising Damp



DPC injection proposed



Roof to previously constructed extensions of poor quality and in need of constant repair.

The design brief set out that the existing buildings priority on the streetscape was to be maintained and that any addition should be set back from the street that it would not detract from the original building. Any additional build should complement and enhance the original houses character. This design rationale is based on the amended design which was changed as part of this additional information request.

We as designers wished to create this additional space that is clearly identifiable as 'additional space' and is not original building. We have used the modern flat geometrical form and tied the buildings together using building materials that complimented the original build.

The main building materials on the original house would have been;

- Slate Roof
- Brick façade
- Rendered Façade
- Traditional style windows

The materials on the proposed shall be;

- Brick façade
- Rendered Façade
- Traditional style windows

We are proposing to use three out of the four main materials in our proposed extension.

These materials shall not necessarily match colour or even texture but shall compliment the original house and shall only be chosen once the original house has been brought back to its original state post remedial works. The glazing in the original house has been upgraded with a 'Heritage Style' glazing system but the extension is using a simpler form which compliments the existing but does not seek to take away from it.

We have amended the design of the building façade by removing the floating effect provided by the modern glazed system at ground floor and brought the brick down to 'ground' the extension and remove this modern element. The glazing that remains although large shall be a simple classic frame. This element is not visible when the gates are closed.

The additional information request has raised concerns on the proximity of the extension to the adjoining neighbour. We have revised the design and increased the separation between the boundary and the extension to 2 metres thus reducing the overall size of the extension as per South Dublin County Councils request. We have changed the proposed construction method also to reduce the overall height of the extension.

Section 11.3.3 states Additional Accommodation

(note: only relevant points have been noted below)

(i) Extensions

The design of residential extensions should accord with the South Dublin County Council House Extension Design Guide (2010) or any superseding standards Rear extensions

- *Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise.*

Response:

As detailed above to try to compliment the style of a house of this vintage is folly and we have instead tried to create a modern extension with building materials to compliment the original house.

- Make sure enough rear garden is retained

Response:

Ample rear garden remains (see site plan).

Side Extensions

- Respect the style of the house and the amount of space available between it and the neighbouring property, for example:

- if there is a large gap to the side of the house, and the style of house lends itself to it, a seamless extension may be appropriate;

if there is not much space to the side of the house and any extension is likely to be close to the boundary, an ancillary style of extension set back from the building line is more appropriate;

Response:

We have set back the extension from the front façade and the boundary (see site plan).

The space between the original houses remains the same and the extension further back is still set back from the boundary giving access to the rear garden from here. Should the neighboring property mirror's this design there would be a 2-metre gap between buildings.

- Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise.

Response:

See responses above.

- Where the style and materials do not seamlessly match the main house, it is best to recess a side extension by at least 50cm to mark the change.

Response:

See responses above.

- Leave a gap of at least 1m between the extension and the side party boundary with the adjoining property to avoid creating a terraced effect. A larger gap may be required if that is typical between properties along the street.

Response:

See responses above.

- Do not include a flat roof to a prominent extension unless there is good design or an architectural reason for doing so.

Response:

See responses above. In addition, we feel that in its current state the interaction with the existing build is minimised. Our initial designs with pitched roofs in lieu of flat roof design required additional areas of the original build/roof to be affected and more of the building envelope needed to be altered to tie the buildings together and adequately weather them.

- Do not incorporate blank gable walls where extensions face onto public footpaths and roads.

Response:

Although this is not entirely relevant to our scenario we did remove the blank gable wall by introducing alternative materials and obscure glazing to try mitigate any adverse effects caused by the build.

- Avoid the use of prominent parapet walls to the top of side extensions

Response:

We have reduced our parapets to 150mm and now introduce a pressed metal capping to further reduce the height on our extension.

Services

Electrical

The building has been partially upgraded over the years section by section. Some of the wiring is estimated to be over 70years old. It is intended to fully rewire the building and bring in new technologies to make the building perform better and use less energy.

Plumbing

As above with the electrical services the plumbing has been partially upgraded over the years section by section. There is evidence of leaks throughout the house. It is intended to fully replumb the building and bring in new technologies to make the building perform better and use less energy.

Drainage

Please see the drainage calculations from Coughlan Consulting Engineers which have been provided as part of this Additional Information Request response.

Conclusion

Having read the Additional Information Request and the Executives Order we have amended the design and provided more detail on the proposed works.

The design has now been amended to ensure a 2 metre separation from the adjoining property and the overall area of the extension has been reduced. The construction method has been changed to further reduce the height of the extension. The modern materials have been removed and only traditional materials/styles shall be used. The impact on the existing building has been reduced and all works are to the rear of the building although the extension does come to the rear/side of the building. An architectural impact assessment/design rationale has been provided to try portray the applicants understanding of their responsibilities in upgrading a building such as this and their willingness to try make No. 32 Patricks Cottages the new Benchmark on the road for any further works. We have also provided all drainage details as requested.

Additional Information Request/Response

1. The applicant is requested to amend the size of the first floor rear extension to ensure that 2m is maintained to the southern site boundary, in the interests of protecting the residential amenity of the neighbouring property.

Response: Revised drawings submitted, 2m now maintained

2. In order to fully assess the proposed development it is considered that an architectural impact assessment should be provided to include a design rationale. The applicant should also consider any changes to the design and scale of the proposed 2-storey extension in order to less any visual impacts identified in the Architectural Impact Assessment.

Response: Architectural Impact Assessment/Design Rationale submitted

3. Consideration should be given to the new proposed rear and side extension and the impact of the twostorey elements on the existing building and the neighbouring properties and overall character of the ACA. Consideration should also be given to how the new extension connects to the existing dwelling and any impacts on the original built fabric and materials.

Response: Connection Details submitted

4. There are no soil percolation test results, design calculations or dimensions submitted for the proposed soakaway. The applicant is requested to submit a report showing site specific soil percolation test results and design calculations for the proposed soakaway in accordance with BRE Digest 365 – Soakaway Design.

Response: Drainage Details submitted

5. The applicant is requested to submit a revised drawing showing plan & cross-sectional views, dimensions, and location of proposed soakaway. Any proposed soakaway shall be located fully within the curtilage of the property and shall be: (i) At least 5m from any building, public sewer, road boundary or structure. (ii) Generally, not within 3m of the boundary of the adjoining property. (iii) Not in such a position that the ground below foundations is likely to be adversely affected. (iv) 10m from any sewage treatment percolation area and from any watercourse / floodplain. (v) Where practical soakaways must include an overflow connection to the surface water drainage network.

Response: Drainage Details submitted