

DEVELOPMENT TO BE BUILT ON THE INSIDE OF THE BOUNDARY, LINE OF THE BOUNDARY TO BE CONFIRMED PRIOR TO CONSTRUCTION BY THE CONTRACTOR, UNDERPINNING TO ENGINEER SPEC, NO ELEMENT OF THE CONSTRUCTION IS TO BE ENCROACHING ON THE NEIGHBOURS PROPERTY

ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND SPECIFICATIONS, COMPLIANCE OF SUCH TO BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR OF CLIENT IN ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK

DRAINAGE SUBJECT TO SITE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY

Foul line - - - - -  
Surface line - . . . . .

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DRAINAGE SUBJECT TO SITE INVESTIGATION AND IN ACCORDANCE WITH LOCAL AUTHORITY


Foul line - - - - -  
Surface line - . . . . .

**EXISTING SITE PLAN**  
scale 1:250 @ A3

**PROPOSED SITE PLAN**  
scale 1:250 @ A3

**Client**  
Ruth & David Carroll  
29 The Court,  
Cypress Downs,  
Templeogue,  
Dublin 6W

**Revisions**



Chartered Institute of Architectural Technologists

STATUS OF DRAWING

COMPLIANCE

**notes**

**JOE FALLON DESIGN** ARCHITECTURE  
First Floor, 6 Main Street, Dundrum, Dublin 14  
1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford

P: 01-5143688  
M: 087-2566808  
P: 053-9377633

**A3**

**project** extension to 29 The Court, Cypress Downs  
**drawing** site plans  
**job no.** 21048 **scale** as shown **date** 26.07.22 **drawn by** LK **stage** COMPLIANCE

**dwg no.** 21048 DN-01  
**checked by:** DOM

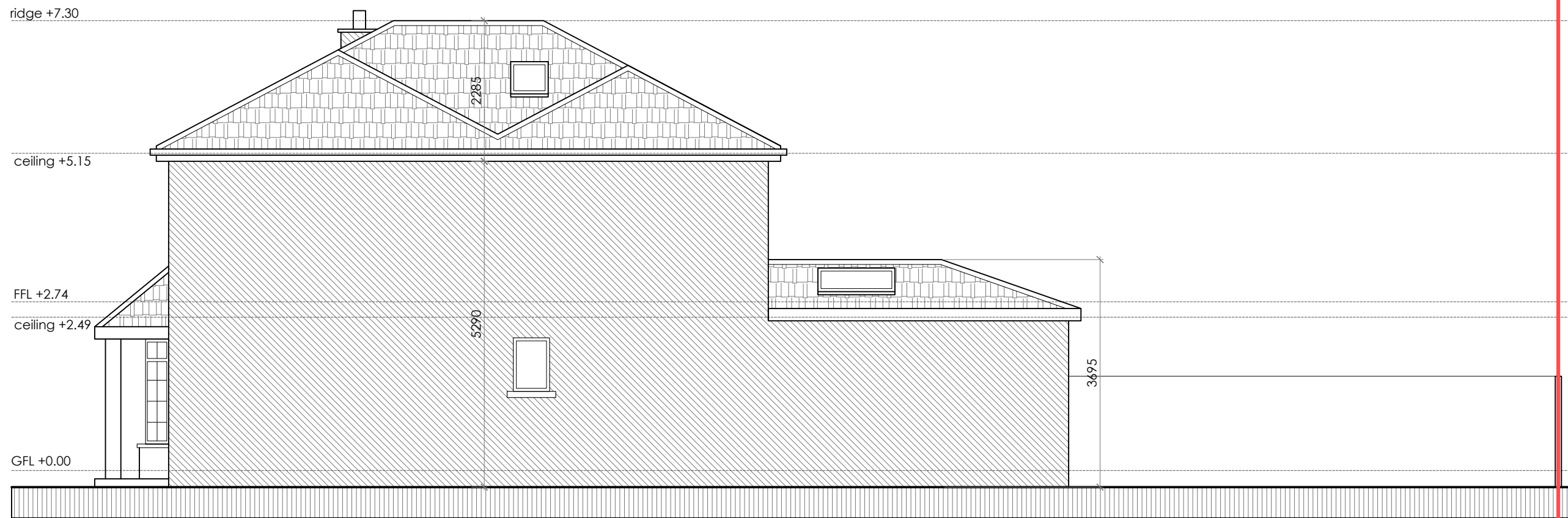
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSi

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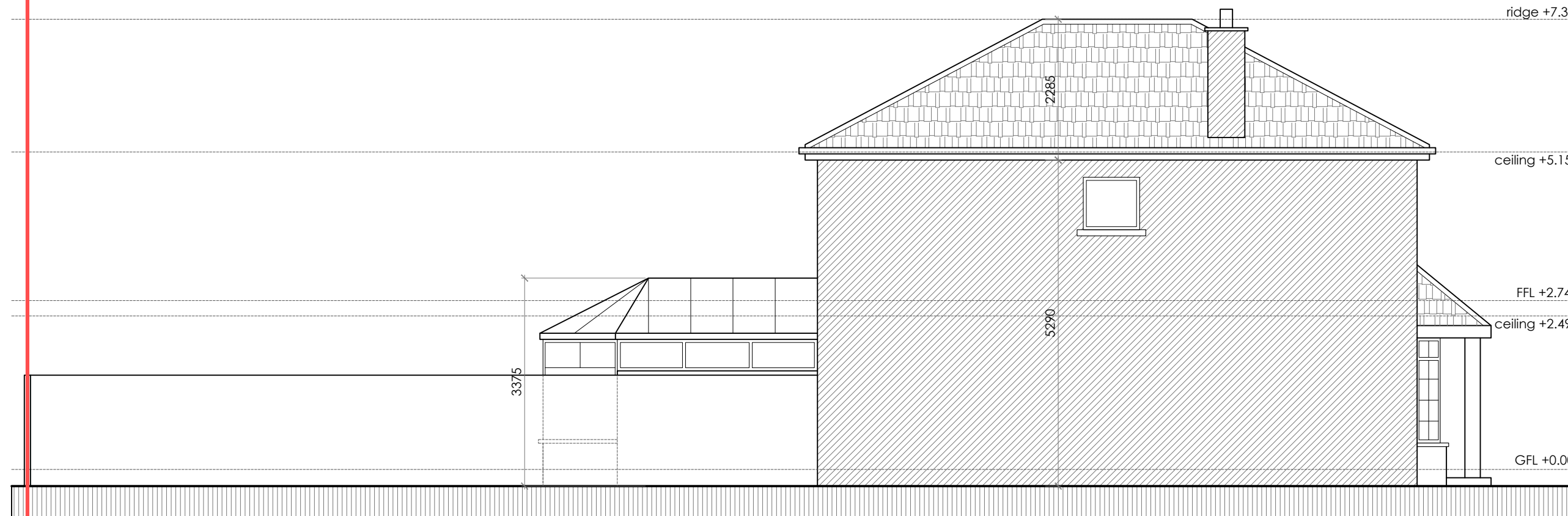


<b>EXISTING REAR ELEVATION (NE) No. 27</b> scale 1:75 @ A3		<b>No. 29</b>		<b>No. 31</b> ridge +7.30	
<b>EXISTING FRONT ELEVATION (SW)</b> scale 1:75 @ A3					
<b>Client</b> Ruth & David Carroll 29 The Court, Cypress Downs, Templeogue, Dublin 6W	<b>Revisions</b>	STATUS OF DRAWING <div style="border: 1px solid black; padding: 5px; display: inline-block;">COMPLIANCE</div>		<b>JOE FALLON DESIGN</b> ARCHITECTURE First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford P: 01-5143688 M: 087-2566808 P: 053-9377633	
		<b>notes</b>		<b>project</b> extension to 29 The Court, Cypress Downs <b>drawing</b> elevations <b>job no.</b> 21048 <b>scale</b> as shown <b>date</b> 26.07.22 <b>drawn by</b> LK <b>stage</b> COMPLIANCE UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSi	
				<b>dwg no.</b> 21048 DN-02 <b>checked by:</b> DOM <b>A3</b>	

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**EXISTING SIDE ELEVATION (SE)**  
scale 1:75 @ A3



**EXISTING SIDE ELEVATION (NW)**  
scale 1:75 @ A3

**Client**  
Ruth & David Carroll  
29 The Court,  
Cypress Downs,  
Templeogue,  
Dublin 6W

**Revisions**



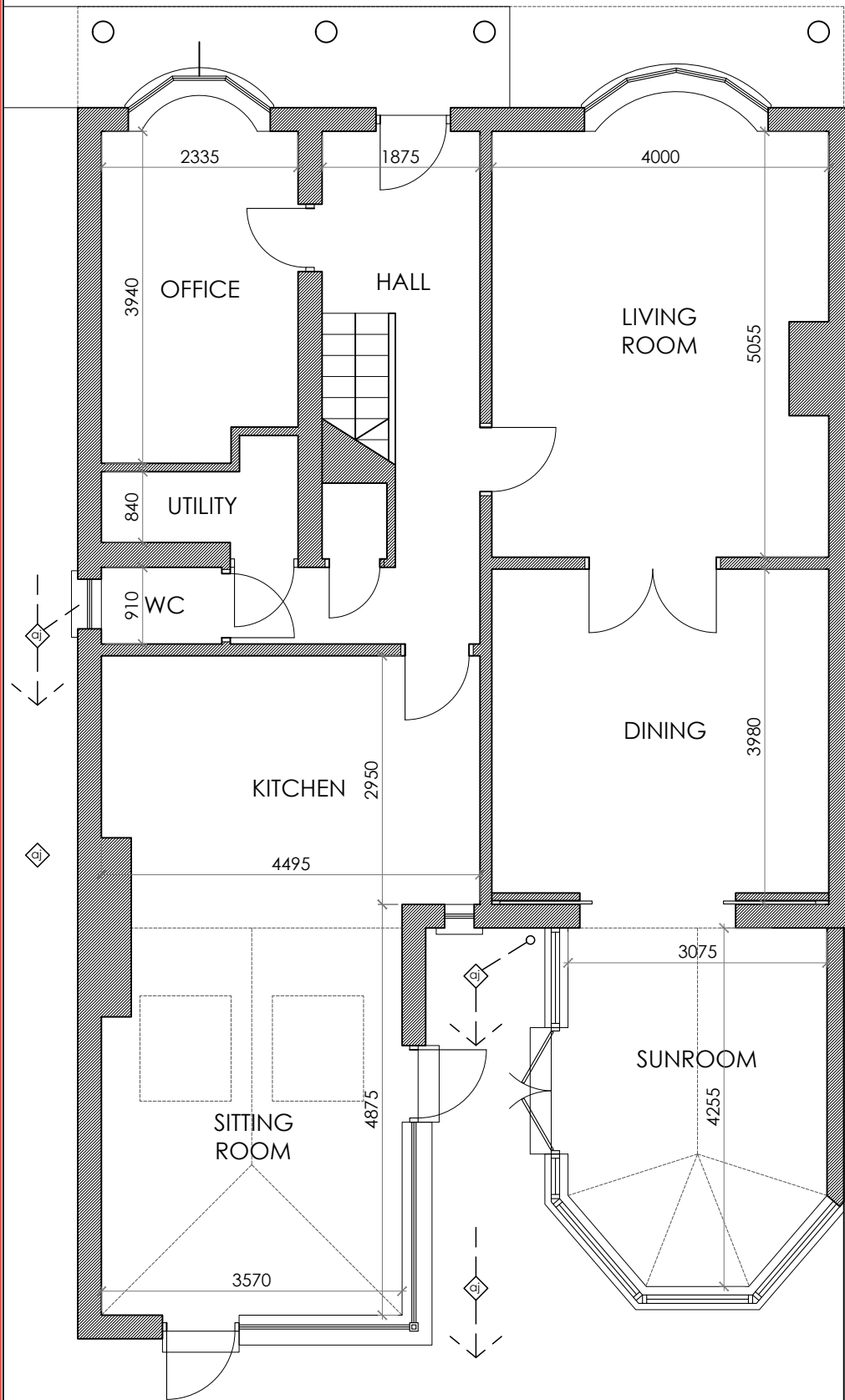
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STATUS OF DRAWING  
**COMPLIANCE**

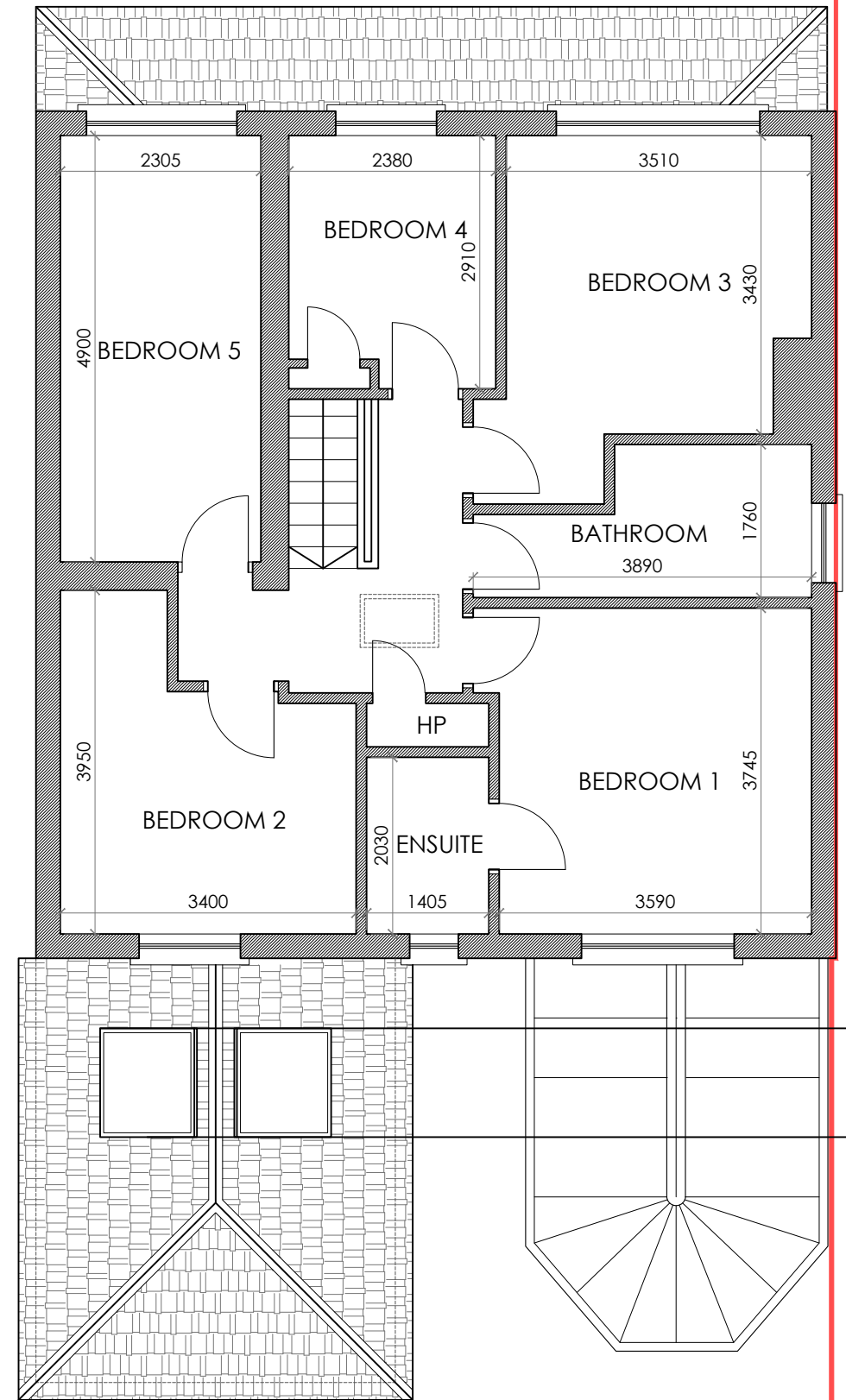
<b>JOE FALLON</b> DESIGN ARCHITECTURE		First Floor, 6 Main Street, Dundrum, Dublin 14 1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford	P: 01-5143688 M: 087-2566808 P: 053-9377633	<b>A3</b>
<b>project</b>	extension to 29 The Court, Cypress Downs		<b>dwg no.</b> 21048 DN-03	
<b>drawing</b>	elevations		<b>checked by:</b> DOM	
<b>job no.</b> 21048	<b>scale</b> as shown	<b>date</b> 26.07.22	<b>drawn by</b> LK	<b>stage</b> COMPLIANCE
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSi				

**notes**

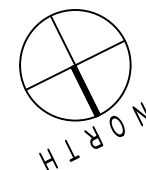
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**EXISTING GROUND FLOOR PLAN**  
scale 1:75 @ A3



**EXISTING FIRST FLOOR PLAN**  
scale 1:75 @ A3



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<b>project</b>	extension to 29 The Court, Cypress Downs		<b>dwg no.</b> 21048 DN-04	
<b>drawing</b>	plans		<b>checked by:</b> DOM	
<b>job no.</b> 21048	<b>scale</b> as shown	<b>date</b> 26.07.22	<b>drawn by</b> LK	<b>stage</b> COMPLIANCE
UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCS1				

ALL FLOOR, WALL AND CEILING FINISHES TO CLIENTS SPECIFICATION  
 KITCHEN, UTILITY UNITS & WHITE GOODS TO CLIENTS SPECIFICATION  
 ALL SANITARY WARE, FURNITURE & FITTINGS TO CLIENTS SPECIFICATION

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ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATION AND DETAILS

NEW WORKS HATCHED

ROOF, WINDOWS, GAS AND ENGINEER CERTS TO BE MADE AVAILABLE TO ARCHITECT AFTER COMPLETION

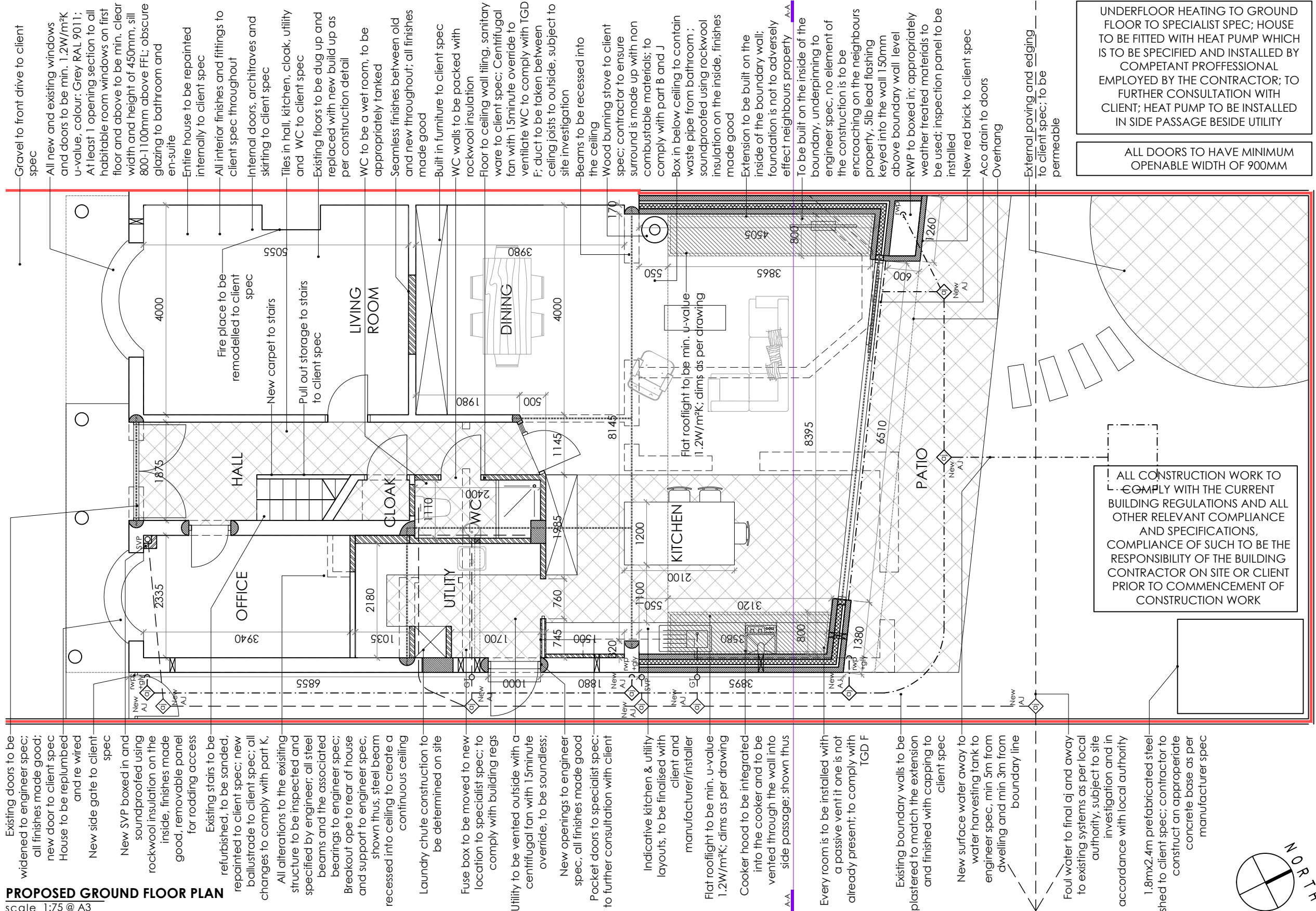
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EXISTING EXTERNAL WALLS TO BE DRYLINED WITH 100MM XTRATHERM THERMAL LINING INSULATION MUSHROOM FIXED ONTO INTERNAL FACE OF THE WALL + SKIM COAT FINISH

ALL EXISTING STRUCTURE TO BE INSPECTED BY THE ENGINEER, ANY ADDITIONS OR ALTERATIONS TO BE SPECIFIED BY THE ENGINEER

ALL DRAINAGE AND STRUCTURAL SUPPORT TO ENGINEERS SPEC  
 NEW FOUL AND SURFACE AWAY TO EXISTING SYSTEMS  
 ALL ALTERATIONS TO EXISTING STRUCTURE TO ENGINEERS SPEC

Permanent passive vent  
 Demolished  
 Foul line  
 Surface line  
 Insulation  
 New 100x44 stud, 12.5 slab+skim  
 Concrete block  
 Brick



Existing doors to be widened to engineer spec; all finishes made good; new door to client spec. House to be replumbed and re-wired and re-wired spec.

New side gate to client spec.

New SVP boxed in and soundproofed using rockwool insulation on the inside, finishes made good, removable panel for rodding access.

Existing stairs to be refurbished, to be sanded, repainted to client spec; new ballustrade to client spec; all changes to comply with part K.

All alterations to the existing structure to be inspected and specified by engineer; all steel beams and the associated bearings to engineer spec; Breakout ope to rear of house and support to engineer spec, shown thus; steel beam recessed into ceiling to create a continuous ceiling.

Laundry chute construction to be determined on site.

Fuse box to be moved to new location to specialist spec; to comply with building regs.

Utility to be vented outside with a centrifugal fan with 15minute override, to be soundless;

New openings to engineer spec, all finishes made good.

Pocket doors to specialist spec; to further consultation with client.

Indicative kitchen & utility layouts, to be finalised with client and manufacturer/installer.

Flat rooflight to be min. u-value 1.2W/m<sup>2</sup>K; dims as per drawing.

Cooker hood to be integrated into the cooker and to be vented through the wall into side passage; shown thus.

Every room is to be installed with a passive vent if one is not already present; to comply with TGD F.

Existing boundary walls to be plastered to match the extension and finished with capping to client spec.

New surface water away to water harvesting tank to engineer spec, min 5m from dwelling and min 3m from boundary line.

Foul water to final aj and away to existing systems as per local authority, subject to site investigation and in accordance with local authority.

1.8mx2.4m prefabricated steel shed to client spec; contractor to construct an appropriate concrete base as per manufacturer spec.

**Client**  
 Ruth & David Carroll  
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**Revisions**

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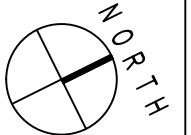
P: 01-5143688  
 M: 087-2566808  
 P: 053-9377633

**project** extension to 29 The Court, Cypress Downs  
**drawing** plan  
**job no.** 21048 **scale** as shown **date** 26.07.22 **drawn by** LK **stage** COMPLIANCE

**dwg no.** 21048 DN-05  
**checked by:** DOM

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**A3**



UNDERFLOOR HEATING TO GROUND FLOOR TO SPECIALIST SPEC; HOUSE IS TO BE FITTED WITH HEAT PUMP WHICH IS TO BE SPECIFIED AND INSTALLED BY COMPETANT PROFESSIONAL EMPLOYED BY THE CONTRACTOR; TO FURTHER CONSULTATION WITH CLIENT; HEAT PUMP TO BE INSTALLED IN SIDE PASSAGE BESIDE UTILITY

ALL DOORS TO HAVE MINIMUM OPENABLE WIDTH OF 900MM

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NEW WORKS HATCHED









ROOF, WINDOWS, GAS AND ENGINEER CERTS TO BE MADE AVAILABLE TO ARCHITECT AFTER COMPLETION

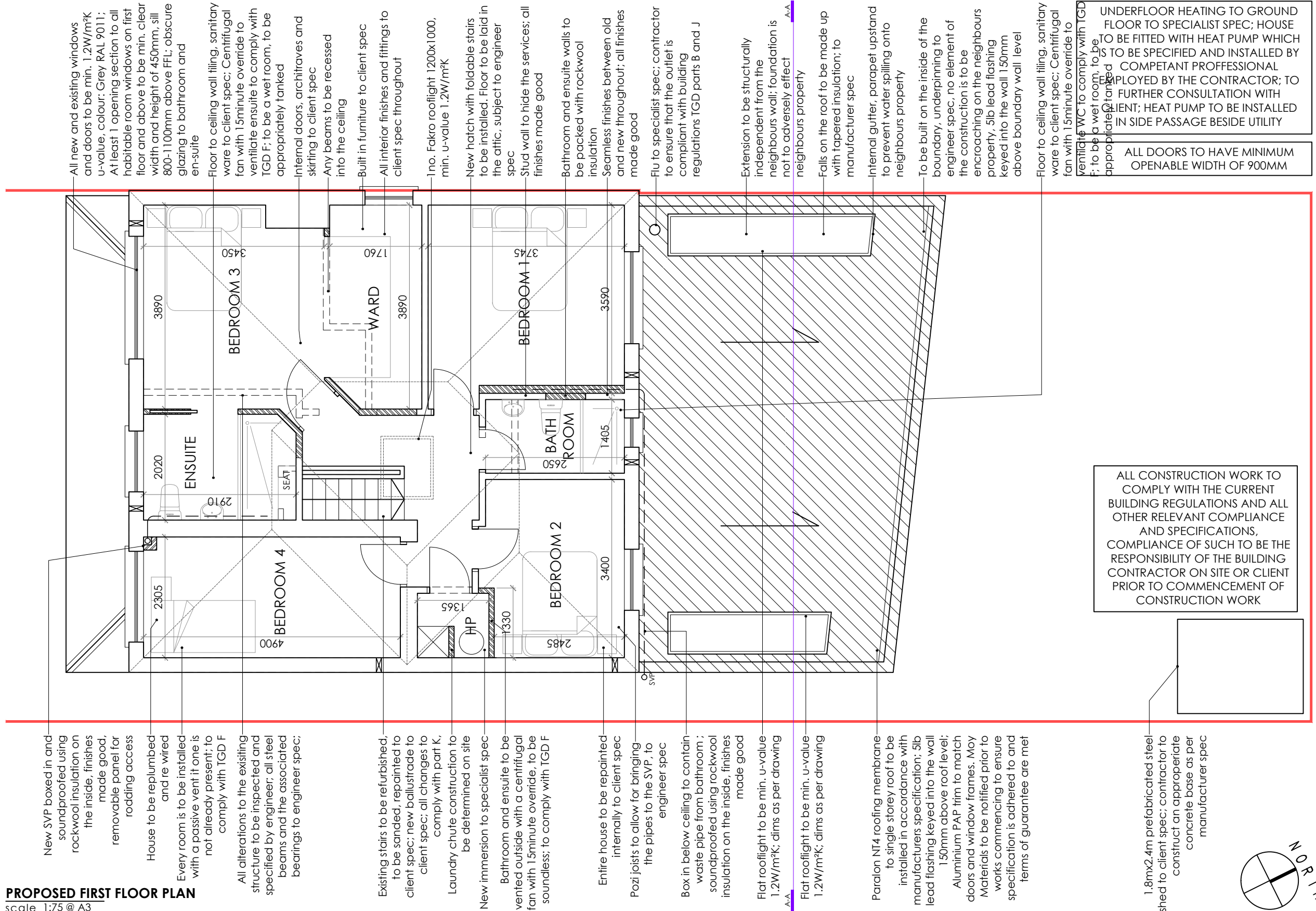
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 Demolished  
 Foul line  
 Surface line  
 Insulation  
 New 100x44 stud, 12.5 slab+skim  
 Concrete block  
 Brick



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 Dublin 6W

**Revisions**



Chartered Institute of Architectural Technologists

STATUS OF DRAWING  
**COMPLIANCE**

**JOE FALLON DESIGN** ARCHITECTURE  
 First Floor, 6 Main Street, Dundrum, Dublin 14  
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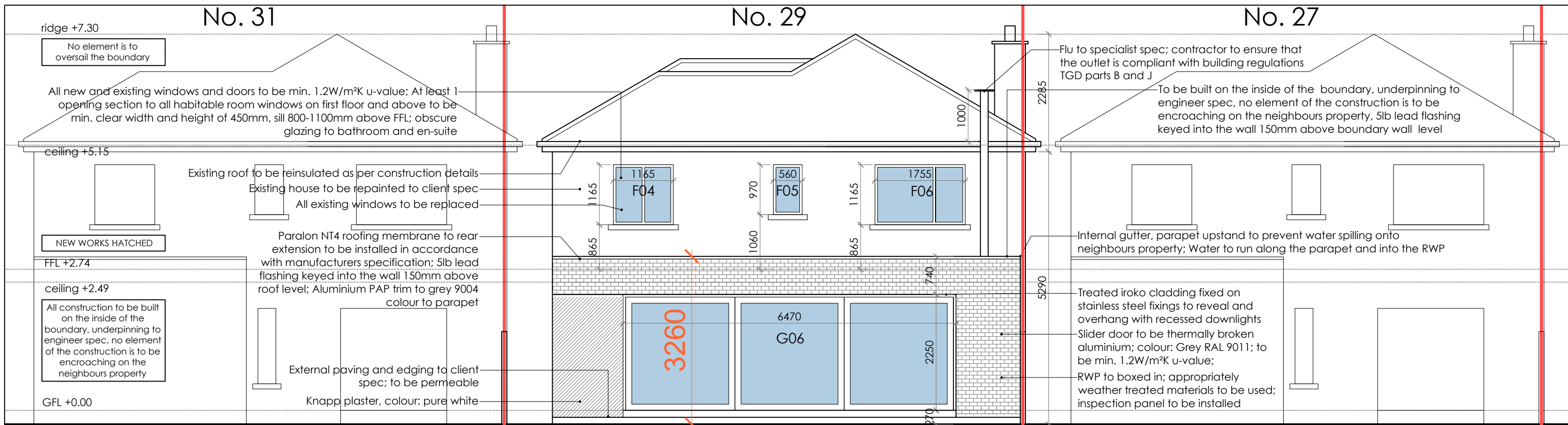
**project** extension to 29 The Court, Cypress Downs  
**drawing** plan  
**job no.** 21048 **scale** as shown **date** 26.07.22 **drawn by** LK **stage** COMPLIANCE

**dwg no.** 21048 DN-06  
**checked by:** DOM

P: 01-5143688  
 M: 087-2566808  
 P: 053-9377633


**A3**

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**Revisions**

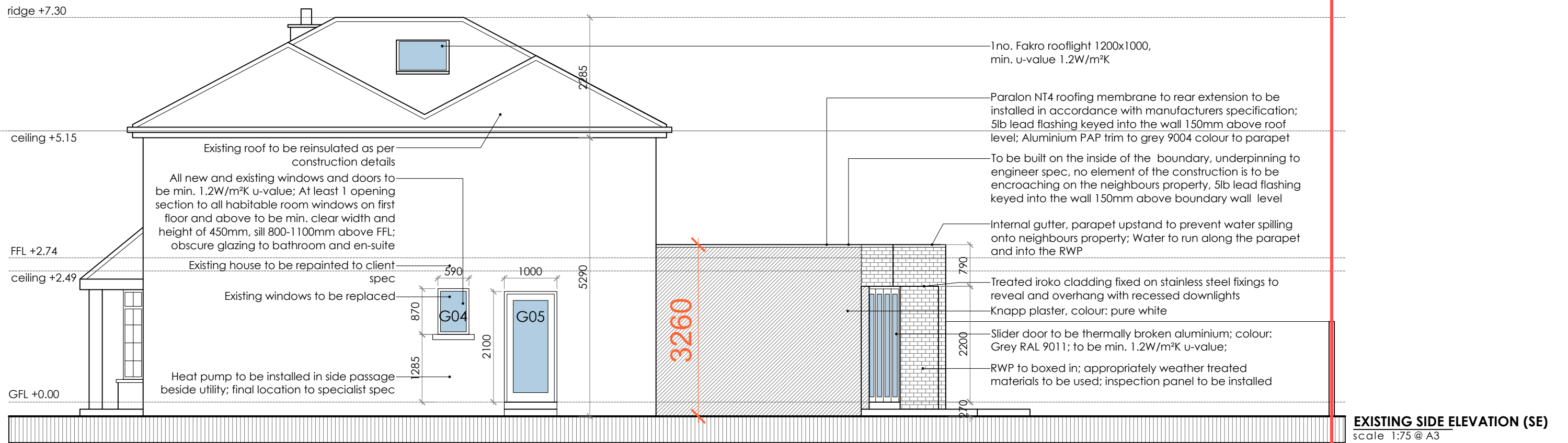


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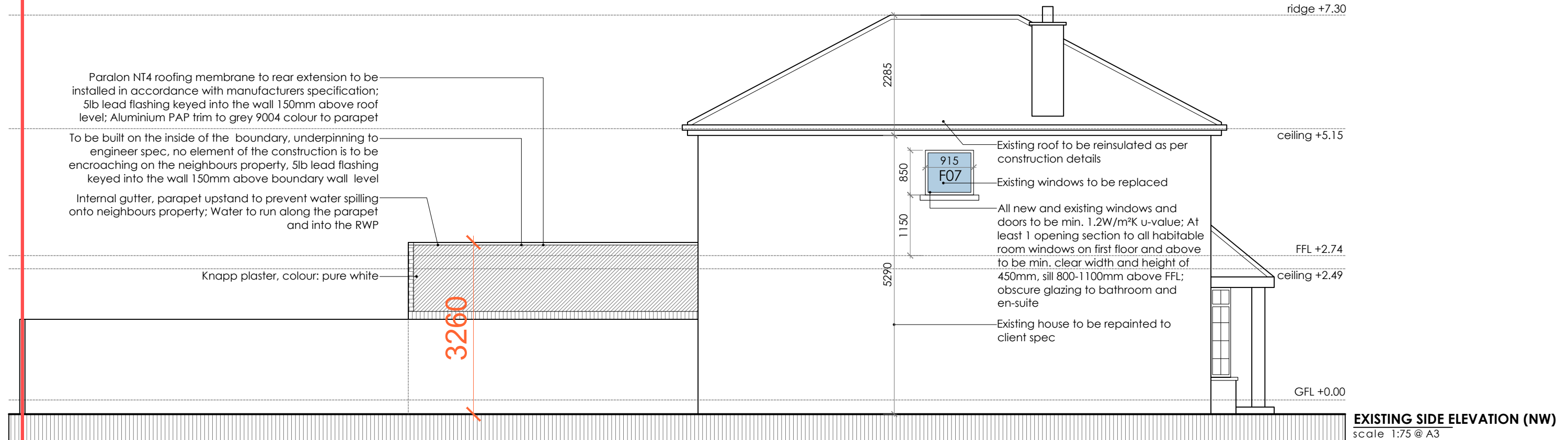
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<b>project</b>	extension to 29 The Court, Cypress Downs		<b>dwg no.</b> 21048 DN-07	
<b>drawing</b>	elevations		<b>checked by:</b> DOM	
<b>job no.</b> 21048	<b>scale</b> as shown	<b>date</b> 26.07.22	<b>drawn by</b> LK	<b>stage</b> COMPLIANCE
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scale 1:75 @ A3



**EXISTING SIDE ELEVATION (NW)**  
scale 1:75 @ A3

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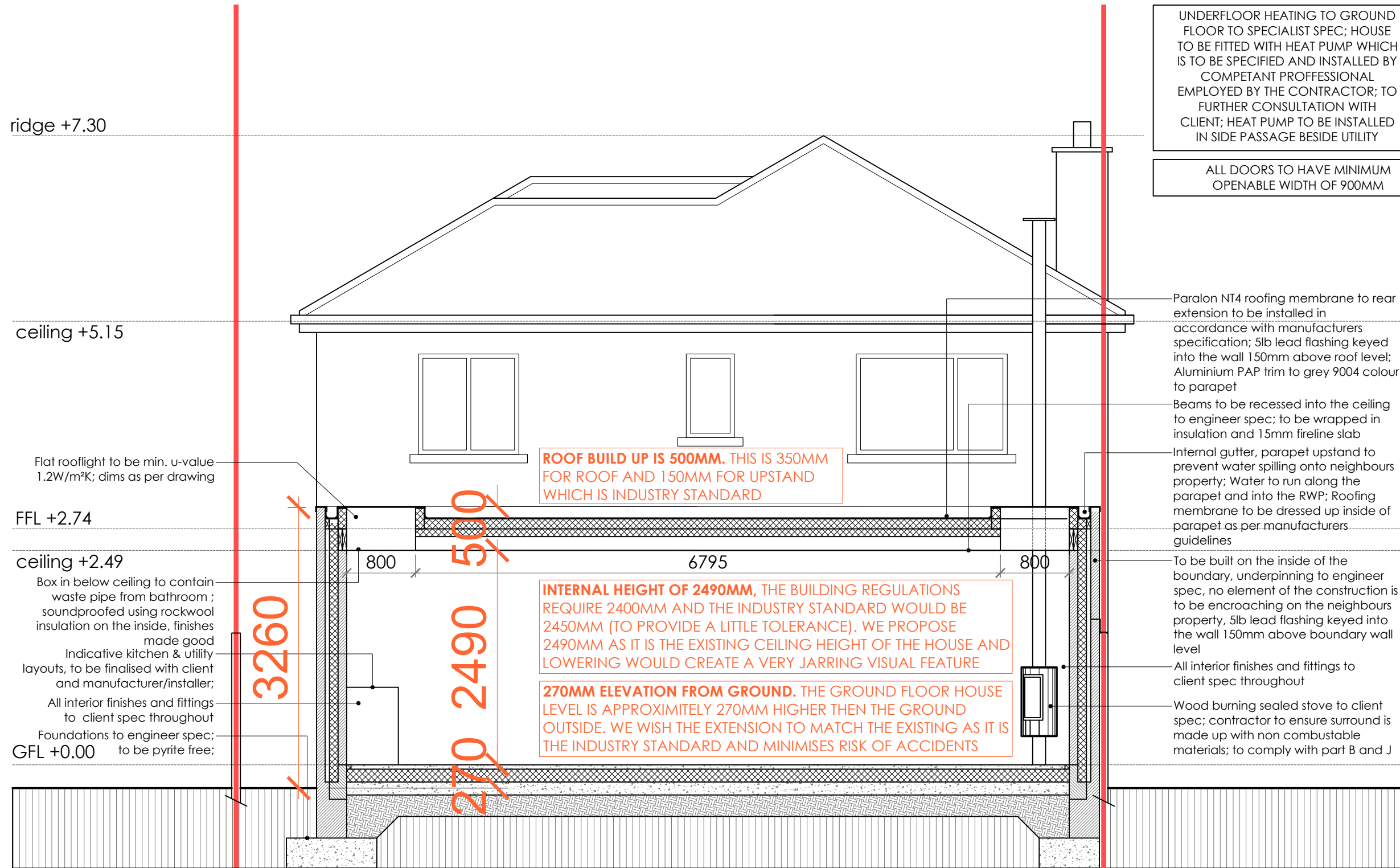
**A3**

**project** extension to 29 The Court, Cypress Downs  
**drawing** elevations  
**job no.** 21048 **scale** as shown **date** 26.07.22 **drawn by** LK **stage** COMPLIANCE  
**dwg no.** 21048 DN-08  
**checked by:** DOM

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KITCHEN, UTILITY UNITS & WHITE GOODS TO CLIENTS SPECIFICATION  
ALL SANITARY WARE, FURNITURE & FITTINGS TO CLIENTS SPECIFICATION

DEVELOPMENT TO BE BUILT ON THE INSIDE OF THE BOUNDARY, LINE OF THE BOUNDARY TO BE CONFIRMED PRIOR TO CONSTRUCTION BY CONTRACTOR. UNDERPINNING TO ENGINEER'S SPECIFICATION. NO ELEMENT OF THE CONSTRUCTION TO BE ENCROACHING ON THE NEIGHBOUR'S PROPERTY.

ALL DRAINAGE TO BE CONFIRMED ON SITE, ALL DRAINAGE, BOTH NEW AND EXISTING, TO BE SPECIFIED AND INSPECTED BY ENGINEER

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATION AND DETAILS

NEW WORKS HATCHED

ROOF, WINDOWS, GAS AND ENGINEER CERTS TO BE MADE AVAILABLE TO ARCHITECT AFTER COMPLETION

ALL ROOMS TO BE FITTED WITH A PASSIVE VENT AS PER PART F

EXISTING EXTERNAL WALLS TO BE DRYLINED WITH 100MM XTRATHERM THERMAL LINING INSULATION MUSHROOM FIXED ONTO INTERNAL FACE OF THE WALL + SKIM COAT FINISH

ALL EXISTING STRUCTURE TO BE INSPECTED BY THE ENGINEER, ANY ADDITIONS OR ALTERATIONS TO BE SPECIFIED BY THE ENGINEER

ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING REGULATIONS AND ALL OTHER RELEVANT COMPLIANCE AND SPECIFICATIONS, COMPLIANCE OF SUCH TO BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR ON SITE OR CLIENT PRIOR TO COMMENCEMENT OF CONSTRUCTION WORK

Paralon NT4 roofing membrane to rear extension to be installed in accordance with manufacturers specification; 5lb lead flashing keyed into the wall 150mm above roof level; Aluminium PAP trim to grey 9004 colour to parapet

Beams to be recessed into the ceiling to engineer spec; to be wrapped in insulation and 15mm fireline slab

Internal gutter, parapet upstand to prevent water spilling onto neighbours property; Water to run along the parapet and into the RWP; Roofing membrane to be dressed up inside of parapet as per manufacturers guidelines

To be built on the inside of the boundary, underpinning to engineer spec, no element of the construction is to be encroaching on the neighbours property, 5lb lead flashing keyed into the wall 150mm above boundary wall level

All interior finishes and fittings to client spec throughout

Wood burning sealed stove to client spec; contractor to ensure surround is made up with non combustable materials; to comply with part B and J

ROOF BUILD UP IS 500MM. THIS IS 350MM FOR ROOF AND 150MM FOR UPSTAND WHICH IS INDUSTRY STANDARD


INTERNAL HEIGHT OF 2490MM, THE BUILDING REGULATIONS REQUIRE 2400MM AND THE INDUSTRY STANDARD WOULD BE 2450MM (TO PROVIDE A LITTLE TOLERANCE). WE PROPOSE 2490MM AS IT IS THE EXISTING CEILING HEIGHT OF THE HOUSE AND LOWERING WOULD CREATE A VERY JARRING VISUAL FEATURE

270MM ELEVATION FROM GROUND. THE GROUND FLOOR HOUSE LEVEL IS APPROXIMATELY 270MM HIGHER THEN THE GROUND OUTSIDE. WE WISH THE EXTENSION TO MATCH THE EXISTING AS IT IS THE INDUSTRY STANDARD AND MINIMISES RISK OF ACCIDENTS

SECTION A-A  
scale 1:50 @ A3

**Client**  
Ruth & David Carroll  
29 The Court,  
Cypress Downs,  
Templeogue,  
Dublin 6W

**Revisions**



Chartered Institute of Architectural Technologists

STATUS OF DRAWING  
**COMPLIANCE**

**JOE FALLON DESIGN** ARCHITECTURE  
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1A Ryland Street, Bunclody, Enniscorthy, Co. Wexford

P: 01-5143688  
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**project** extension to 29 The Court, Cypress Downs  
**drawing** elevations  
**job no.** 21048 **scale** as shown **date** 26.07.22 **drawn by** LK **stage** COMPLIANCE

**dwg no.** 21048 DN-09  
**checked by:** DOM

UNDER THE BUILDING CONTROL ACT 2007, JOE FALLON IS A REGISTERED ASSIGNED CERTIFIER. REG NO. B0244 SCSJ

**notes**  
All work to be carried out in accordance with the current Building Regulations and Technical Guidance Documents. These documents take precedence over any dimensions / notes / specifications on these drawings. The contractor / client is to make a thorough inspection of the site and make themselves fully aware of any peculiarities pertaining there to. The contractor is entirely responsible for the proper setting out of works on site. Written dimensions are to be used in preference to scaling. **Contractor / client is to check all dimensions prior to planning stage / construction. Any discrepancies to be reported before work is in hand.** Contractor is deemed to have included for everything required to finish off project to a satisfactory condition though not specifically described on drawings. All work to be supervised and signed off by suitably qualified persons with up to-date insurance and proper Health and Safety. All drainage works to comply with Local Authority Regulations - if in doubt contact Authority. All works must be carried out using proper materials that are fit for the use for which they are intended and for the conditions in which they are to be used; if in doubt, refer to the harmonised technical specifications. All materials and products to be fitted as per manufacturers instructions.