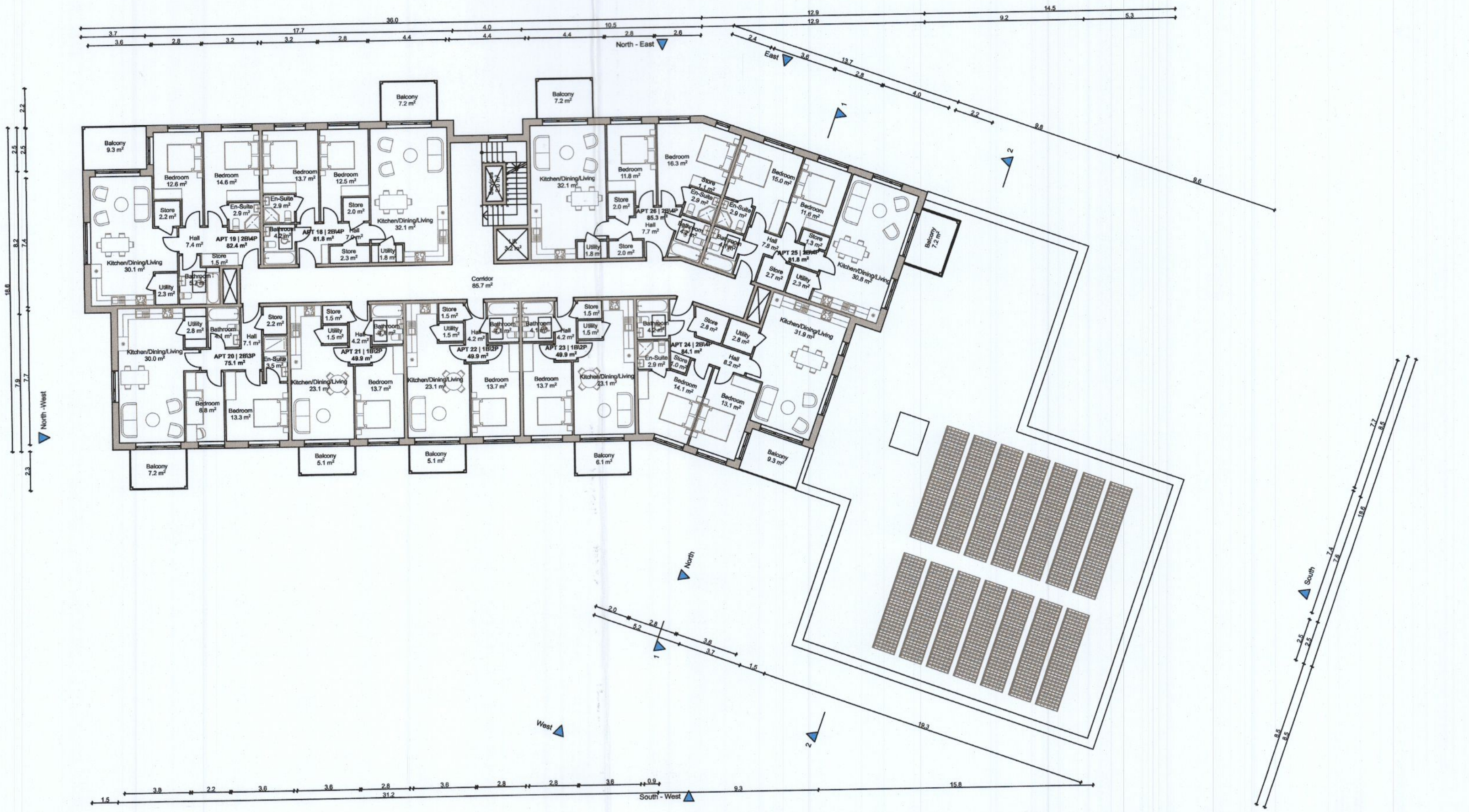
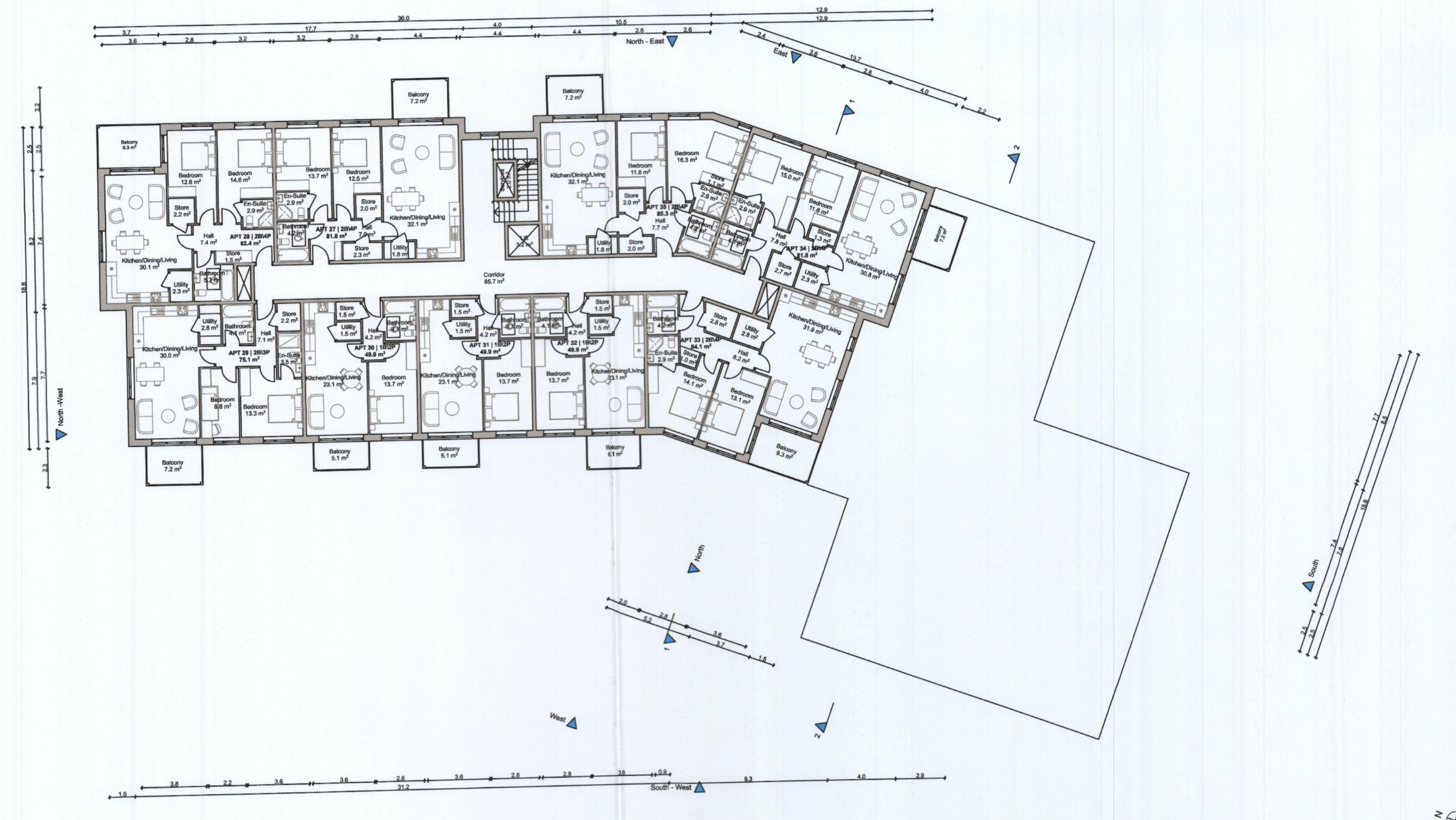


APARTMENT BLOCK A
Total Number of Units - 50 | Total GFA - 4,375.7 m²



02-Second Floor



03-Third Floor

Apartment 18 & 27		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
2 Bed Unit / 4 Person	81.8 m ²	73.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	26.2 m ²	24.4 m ²
Aggregate Living Area	32.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.1 m ²	6.0 m ²
Apartment 19 & 28		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
2 Bed Unit / 4 Person	82.4 m ²	73.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	27.2 m ²	24.4 m ²
Aggregate Living Area	30.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²
Apartment 21, 22, 23, 30, 31 & 32		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
1 Bed Unit / 2 Person	49.9 m ²	45.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	13.7 m ²	11.4 m ²
Aggregate Living Area	23.1 m ²	23.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	3.0 m ²	3.0 m ²
Apartment 24 & 33		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
2 Bed Unit / 4 Person	84.1 m ²	73.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	27.2 m ²	24.4 m ²
Aggregate Living Area	31.9 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.6 m ²	6.0 m ²
Apartment 25 & 34		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
2 Bed Unit / 4 Person	81.8 m ²	73.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	26.6 m ²	24.4 m ²
Aggregate Living Area	30.8 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.3 m ²	6.0 m ²
Apartment 26 & 35		
Gross Internal Area		
Area Type	Proposed Area	DoHPCLG Area Min.
2 Bed Unit / 4 Person	85.3 m ²	73.0 m ²
Space Provision & Room Sizes		
Aggregate Bedroom Area	28.1 m ²	24.4 m ²
Aggregate Living Area	32.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.9 m ²	6.0 m ²
Total 50 No. of Units		
1 Bed Apartment / 2 Person	Total 14 No. of Units	
2 Bed Apartment / 3 Person	Total 6 No. of Units	
2 Bed Apartment / 4 Person	Total 30 No. of Units	

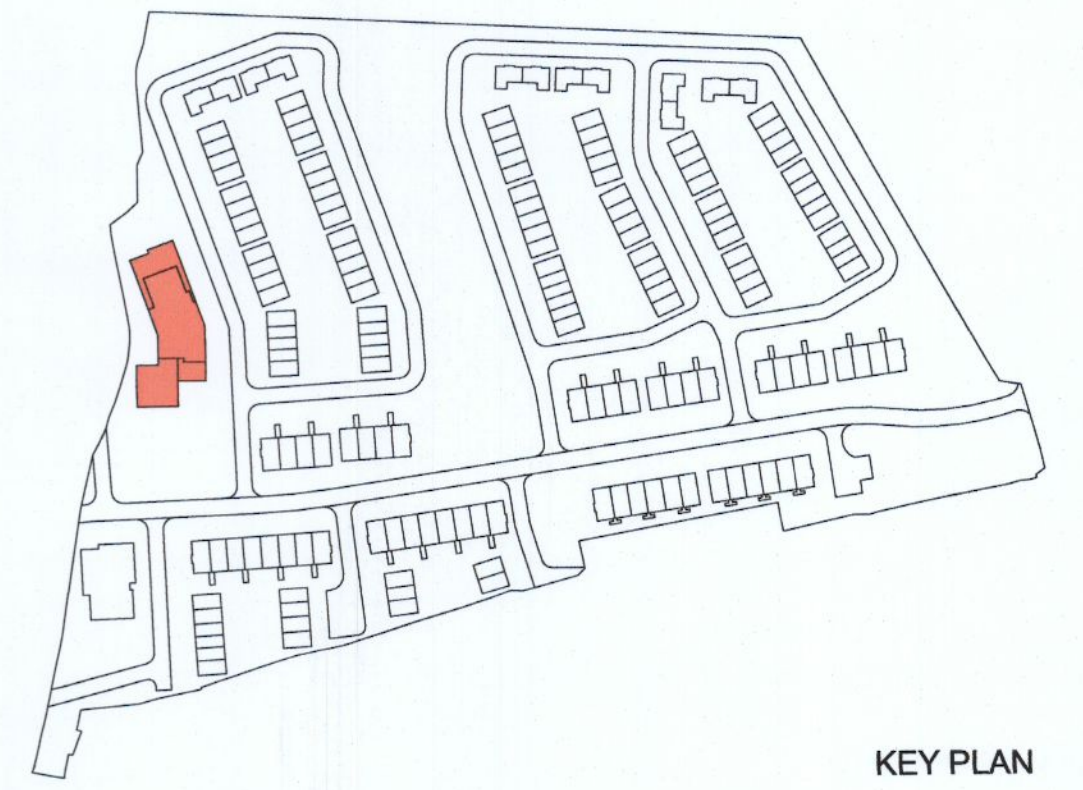
Refer to Site Plan for:
 - Finished floor levels to survey datum
 - Orientation
 - Handing of type for each unit

Notes

Do not scale from this drawing.
 Use figured dimensions only.
 All errors and omissions to be reported to the Architect.
 This drawing is to be read in conjunction with relevant consultant's drawings.
 All dimensions are in millimetres and all levels are in meters to match Datums unless otherwise noted.

This drawing is for planning purposes only and not for construction.
 This drawing or design may not be reproduced without permission.

NOTES ON FINISHES:	
ROOF:	CAPPING TO BE ALUMINIUM POWDER COATED TO SELECTED COLOUR.
WALLS:	SELECTED CLAY BRICKWORK WHERE INDICATED OTHERWISE SELECTED SELF-COLOURED RENDER
JOINERY:	ALL WINDOWS AND DOORS, FRAMES AND LEAFS TO BE ALUMINIUM POWDER COATED TO APPROVED COLOUR OR UPVC OR PAINTED TIMBER TO APPROVED COLOUR. OBSCURE GLAZING WHERE INDICATED TO SENSITIVE WINDOWS.
RAINWATER GOODS:	GUTTERS, DOWNPIPES AND FIXINGS TO BE UPVC OR ALUMINIUM POWDER COATED TO SELECTED COLOUR TO MATCH ROOF CAPPING.
SOLAR PANELS:	INDICATIVE SOLAR PANEL POSITION, FINAL SOLAR PANEL POSITION DEPENDS ON HOUSE ORIENTATION. THE SOLAR PANELS INDICATED ARE A PROVISIONAL OPTION TO SATISFY RENEWABLE ENERGY REQUIREMENTS OF BUILDING REGULATIONS PART L. SOLAR PANELS MAY BE OMITTED IN FAVOUR OF ALTERNATIVE RENEWABLE ENERGY OPTIONS.



KEY PLAN

RIAI	Plans Proposed	DAVEY + SMITH ARCHITECTS
DAVEY + SMITH ARCHITECTS Unit 10, THE SEAPORT BUILDING, 44-45 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447638 EMAIL: info@davey-smith.com WEB: www.davey-smith.com		
Layout ID: PH 008	Scale: 1:200	Job No: 2004
Project: Clonburris, K1	Series: PLANNING	Date: 28/06/2022
Drawing Name: Apartment Block A - Second & Third Floor Plan	Status: Planning	Revision: