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**ROGERS BRASSIL
ASSOCIATES**

CHARTERED ENGINEERS

- Design ♦ Project Management
- Planning ♦ Certification
- Legal ♦ Energy

Land Use, Planning & Transportation Department,
 South Dublin County Council,
 County Hall, Belgarde Square North,
 Tallaght, County Dublin
 Co. Dublin.
 Date: 8th. July 2022.

Re: Additional/Further Information ref. SD22B/0156, for Ray & Lorna Malone, to:

Land Use Planning & Transportation
 12 JUL 2022
 South Dublin County Council

- (1) extend the first-floor bedroom to the rear with a rear-facing dormer window*
- (2) convert the roof space to a storage area with a rear-facing dormer window*
- (3) provide a high-level gable window to the stairwell*
- (4) construct a front porch*

at 6, Templeroan Lodge, Scholarstown, Dublin 16 (D16H2W5).

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Dear Sir/Madam,

Please find attached 6 copies of the Additional/Further Information requested on 13th. June 2022.

We submit the following in support our client's application:

1. We have included a roof plan showing the alterations to the roof and the inclusion of the dormers.
2. We have adjusted the site levels and associated drawings of the adjoining properties to reflect the changes in levels at the site and to indicate the relationship between neighbouring dwellings.
3. We have set back the rear building line of the dormers by 500mm at first floor level and an additional 500mm at attic level to highlight the differentiation between the various levels.

In general terms we submit that we have complied with the request of SDCC and also addressed the concerns expressed by their neighbours and adjacent property owners.

We note that #7 has 2no. rear-facing roof-lights at attic level (*higher than the roof level in #6*) which could in turn be deemed to overlook #6 (*note: this is not and never has been an issue for our clients*).

Regarding the proposed gable window we have now reduced it substantially and proposed opaque glazing – we note that the gable/landing window in #7 is opaque and therefore no overlooking of their first floor level is/was possible in any event. There is no line of effective sight between the gable window of #6 and the garden of #7, given that it is a landing window close to its neighbor in #7.

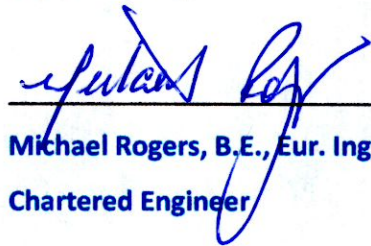
In terms of the variation in ground garden levels – there is clearly more overlooking possible from the higher vantage point i.e. #7 over #6 rather than the other way around as indicated in the submissions, *again this is not and never has been an issue for our clients*.

On behalf of our clients we believe and submit that we have done our utmost to provide the additional storage space which these compact dwellings require with a

clear eye to the aesthetics of the development generally and noting our clients' firm insistence that we do not impinge on the amenity or value of any of their neighbour's homes.

We look forward to your decision in due course.

Yours sincerely,



Michael Rogers, B.E., Eur. Ing., C.Eng., FIEI.
Chartered Engineer