

PROSPECT HOUSE: DWELLING RENOVATION + RESIDENTIAL DEVELOPMENT ON LANDS AT PROSPECT HOUSE, STOCKING LANE, RATHFARNHAM, DUBLIN 16,

May 2022

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02 | CONTEXT

HISTORICAL CONTEXT

Rathfarnham: The subject site is located at Rathfarnham, a South Dublin village where the existing records shows to have activities since the Anglo-Norman invasion in 1199 when its surrounding lands were granted to Milo le Bret.

From great castles and historical churches during the Middle Ages to rebellions and the paper industry in the 17 and 18th centuries, Rathfarnham is now a middle class suburban village with a series of housing developments and a ever-increasing population density.

Prospect House: According to South Dublin County Libraries, the Prospect House "is a detached five-bay two-storey over basement house, c.1820. Smooth rendered front wall, slate hung to sides and rere. Single-pane timber sash windows. Timber panelled door with flanking side lights and timber surround, all under wide plain fanlight. Approached by flight of steps. Hipped slate roof with two central rendered chimney stacks. Two-storey smooth rendered section to rere. Gateway entrance with small ruinous lodge to west. Although surrounded by modern housing, this handsome Georgian house retains much original fabric including its many outbuildings. The open parkland to the front allows a fuller appreciation of its imposing presence, offering a suggestion of its former dominance in the landscape."



IMAGES : Rathfarnham Village



IMAGES : Prospect House

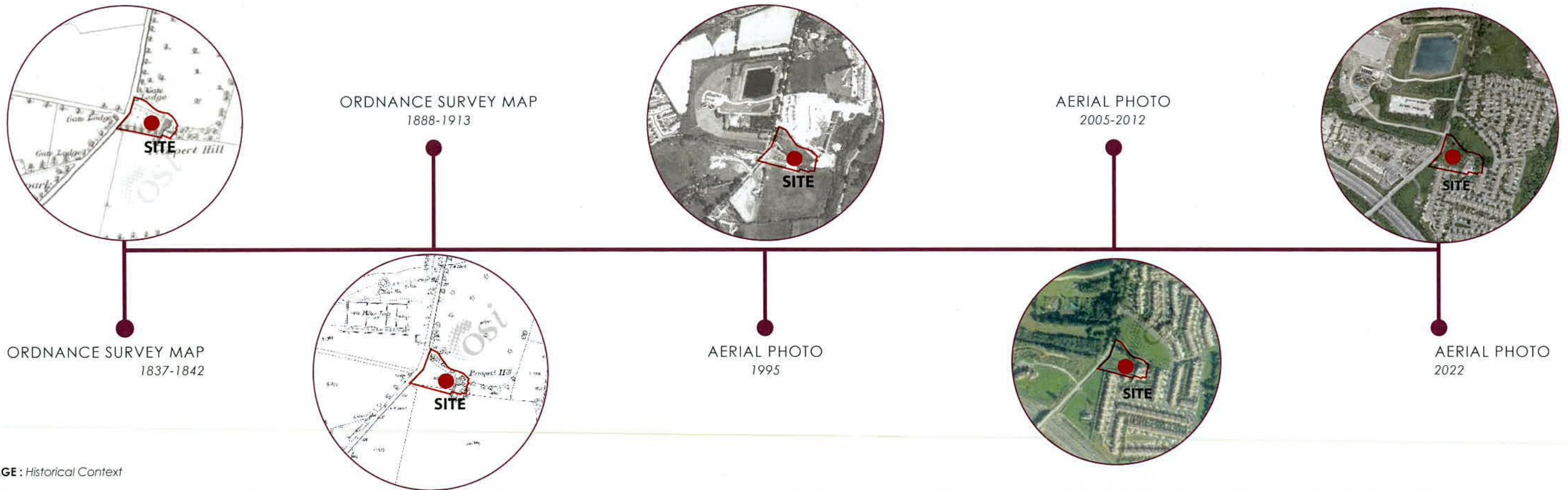


IMAGE : Historical Context

SITE CONTEXT

The new development should not only improve on the existing situation, but also to be sensitive to its context. Indeed, how well a development responds to its context is a pivotal marker for assessing the likely success of a scheme.

Thus, a thorough site analysis, context review, and appropriate response is considered as the pathway to a collaborative design process involving developers, their agents, local authorities and the community. This process eventually leads to creation of a unique environment that capitalises on existing assets and responds to its setting, enhances economic viability and deliverability.

As it can be seen in the figure to the right, the site is surrounded by mostly residential developments, including Prospect Manor, Airpark Square, and Boden Park. As it can be seen in figures in page 10, these residential developments are low-density detached and semi detached houses. They all share a similar palette of brick and tiled roof materials, which contributes to the residential character of the area. A new development, Scholarstown Wood, is also under construction to the north west of the site comprising mainly more 2 & 3 storey houses

The area is also characterised by mature green spaces most notably the parkland area immediately north of Prospect House. Additionally, Ballyboden reservoir is close to the subject site on the opposite side of Stocking Lane. There is also a church and a health centre in close proximity to the site to south across the M50.



IMAGE: Site Context - not to scale

LAND USE ZONING



The site is located north of the M50, off Stocking Lane. The site is bounded by a high stone wall with vehicular access in the north west of the site. A long driveway following the northern boundary leads to the front of the house, facing north and continues around to the south of the house where there is a walled yard without buildings.

A walled garden is located to the west of the house and this has pedestrian access only from the driveway through a small gate and also from one of the out houses via a door. There is also a ruined gate lodge inside the vehicular entrance which is overgrown and inaccessible at the moment. To the south of the site there is a private lane that accesses a yard that would originally have formed part of Prospect House but is now in separate ownership and entirely separated by a wall.

Prospect House is identified as a Protected Structure (RPS. Ref. No. 340) under the provisions of the South Dublin

County Development Plan. Accordingly, it is the policy of the Council to conserve and protect buildings, structures and sites contained in the Record of Protected Structures and to carefully consider any proposals for development that would affect the special character or appearance of a Protected Structure including its historic curtilage, both directly and indirectly.

The property, zoned as residential development under the South County Dublin Development plan, comprises a detached two-storey over basement handsome Georgian House. "Prospect House" is a listed building which occupies the eastern corner of the site. The house, built circa 1821-1835, is approached by a flight of granite steps and retains much of its original features, including: timber panelled door with flanking side lights and timber surround, corniced ceilings, timber sash windows and marble fireplaces.

USE CLASSES RELATED TO ZONING OBJECTIVE - RES

Permitted in Principle

Housing for Older People, Nursing Home, Open Space, Public Services, Residential, Residential Institution, Retirement Home, Shop-Local, Traveller Accommodation.

Open for Consideration

Advertisements and Advertising Structures, Allotments, Agriculture, Bed & Breakfast, Betting Office, Camp Site, Car Park, Caravan Park-Residential, Cemetery, Childcare Facilities, Community Centre, Crematorium, Cultural Use, Doctor/Dentist, Education, Embassy, Enterprise Centre, Funeral Home, Garden Centre, Guest House, Health Centre, Hotel/Hostel, Home Based Economic Activities, Industry-Light, Live-Work Units, Motor Sales Outlet, Office-Based Industry, Offices less than 100 sq.m, Offices 100 sq.m - 1,000 sq.m, Off-Licence, Petrol Station, Place of Worship, Primary Health Care Centre, Public House, Recreational Facility, Recycling Facility, Restaurant/Café, Service Garage, Shop-Neighbourhood, Sports Club/Facility, Stadium, Veterinary Surgery.

Not Permitted

Abattoir, Aerodrome/Airfield, Boarding Kennels, Concrete/Asphalt Plant in or adjacent to Quarry, Conference Centre, Fuel Depot, Heavy Vehicle Park, Hospital, Industry-Extractive, Industry-General, Industry-Special, Nightclub, Offices over 1,000 sq.m, Outdoor Entertainment Park, Refuse Landfill/Tip, Refuse Transfer Station, Retail Warehouse, Rural Industry-Food, Science and Technology Based Enterprise, Scrap Yard, Shop-Major Sales Outlet, Social Club, Transport Depot, Warehousing, Wholesale Outlet, Wind Farm.

TABLE: Use Class of Land-Use Zoning

Under the current South Dublin County Council Development Plan 2016-2022, the subject site is zoned 'Objective RES' and has a Record of Protected Structures:

Objective RES

"To protect and/or improve residential amenity"

Protected Structure No.340

"To preserve and enhance Recreation and Amenity areas."

The proposed development is permitted in principle under the zoning 'Objective - RES', and is consistent with the objectives of the zoning designation as well as the objectives of the South Dublin Development Plan 2016-2022.

PLANNING HISTORY

Downey Planning have carried out an examination of the planning history of the subject site which determined that there have been a number of planning applications made on the overall landholding for which this proposal relates. The most relevant planning history on the lands is as follows:

- **Reg. Ref. SD19A/0312 - REFUSED**

Applicant: Sequana Assets Limited

Decision date: 27th November 2019

Description: An application for 29 residential units (11no. 1-bed apartments, 17no. 2-bed apartments and 1no. 3-bed apartment) was submitted to South Dublin County Council on 3rd October 2019 by Downey Planning. The scheme incorporated a four-storey, articulated apartment block consisting of 25 units, with 3 units provided within Prospect House itself and a further unit within an existing outbuilding. The proposed block was designed in a contemporary idiom that would complement Prospect House. Set backs at roof-level were incorporated so as to maintain an appropriately subservient relationship to the host building. Furthermore, the materiality of the proposed blocks was informed by the materiality of Prospect House itself.

It was proposed to remove part of the wall along Stocking Lane in order to increase the visibility of Prospect House within public views, provide access for service vehicles into

the site, and provide occupants with access to a car and cycle parking area at basement level.

With due regard given to local, regional and national planning policies, it was asserted that the proposal would be of an appropriate scale and density for this suburban location. It would also result in the restoration and re-use of a vacant Protected Structure, to the benefit of both the visual amenity of the surrounding area and the value of this heritage asset.

In their assessment, officers noted that the revised scheme was materially different from the previous proposal. It was found that the revised design would not cause any harm to neighbouring occupants to the south in terms of overlooking. However, the scale of the apartment block was still considered to be oversized in relation to Prospect House, with additional concerns raised regarding the loss of the stone boundary wall along Stocking Lane. It was also considered that the conversion of Prospect House and the nearby outbuilding to form four new units would constitute overdevelopment.

Officers also expressed concern regarding the quality and quantity of open space for future occupants, and noted that insufficient information was submitted in relation to surface water drainage, bin storage, construction and demolition waste management, and noise mitigation.



IMAGE: Refused Planning Application Site Layout Plan - Reg Ref: SD19A/0312

• **ABP. Ref. ABP-306282-REFUSED**

Applicant: Sequana Assets Limited

Decision date: 19th November 2020

An appeal against the Council's decision was lodged with An Bord Pleanála on 23rd December 2019. As part of the appeal, a noise assessment was submitted in support of the proposal and the basement apartment was omitted within a revised drawing set. In their report, the Inspector stated that competing arguments over density were misplaced on a small infill site such as the subject site:

"The issue of density is not the critical consideration in this case, but impact on the immediate and surrounding area and how does the development integrate into its setting."

Regarding the impact of the proposal on the heritage value of Prospect House, the Inspector's views can be summarised as follows:

- Lack of detail regarding the gatehouse, lighting and electricity substation
- Reuse of Prospect House is welcomed but lack of detail/methodology/justification regarding interventions on built fabric
- Gardens particularly affected – "In effect, the gardens will be removed in their entirety and built over

except for the areas of open space provided... I am not convinced that the proposed layout and design ensure the character of the Protected Structure is retained"

- Proposed apartment block would erode character of Prospect House in views from the north. Due to its height, apartment block would become the dominant structure on the site

- While attempt has been made to reduce bulk from previously refused scheme, the proposal would still appear as a large monolith block when viewed from the north.

In reaching their conclusion, the Inspector noted the difficulty of the site and the improvements of the proposal over the previous scheme, but found that some issues were still outstanding:

"The applicant has provided a significant amount of information in their application, however there are a number of omissions and inconsistencies in the information provided as outlined throughout this report. This is a somewhat difficult site to develop and very consideration is required to be taken in any proposal. Although this is a better proposal than that previously submitted and for which permission was refused following appeal, it unfortunately does not provide for a suitable development of this site having regard to the established character of the area."

PLANNING HISTORY OF SURROUNDING ENVIRONS

Downey Planning + Architecture have carried out an examination of planning applications on surrounding areas near to the subject site, which determined that there is a number of planning applications pending decisions.

The most relevant planning applications are described on next page:

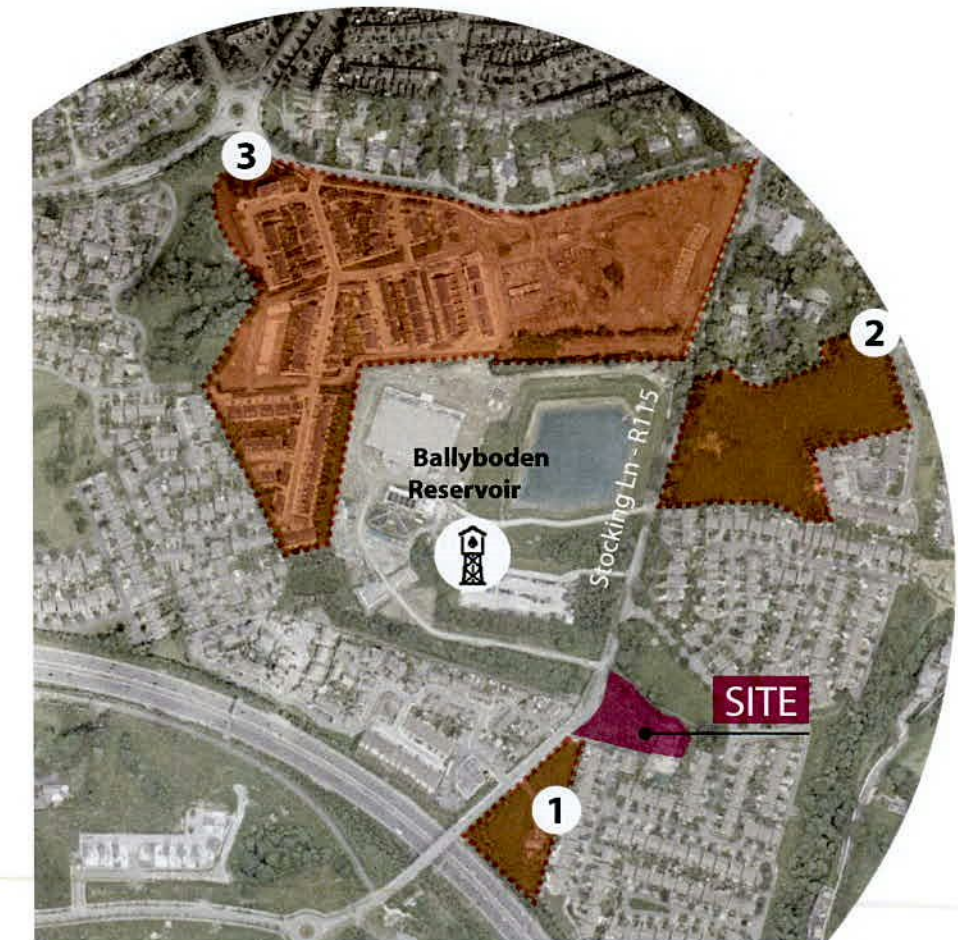


IMAGE: Key Plan - not to scale

03 | SITE ANALYSIS

VIEWS OF THE SUBJECT SITE

As it can be seen in images below and on the next page, the subject site is bounded by a public open space to the north, and the best views of the house are across this open spaces viewed from Prospect Drive (see Views F-G, next page). However, the existing entrance to the house is from Stocking Lane, from where the house currently lacks presence and there is no view of the house to passing traffic, due to the very high stone wall around the garden and mature trees at the entrance which block any view of even the side of the house. (See views A-E) The House therefore addresses a northerly aspect to the Prospect Drive development rather than the main road to the west of the site and the wider neighbourhood.



IMAGE: Site Views



View A

IMAGE: Site Views



View B



View D



View C



View E

GENERAL CONNECTIONS

The subject site is located in Stocking Lane which is a secondary road, providing the site with good vehicular access to Scholarstown Wood with an onward connection to M50 and Ballyboden.

Additionally, the site is integrated within the Dublin city bus network through bus stops which are located within walking distance giving access to bus no. 15b (stops 6298 & 6325), which according to Dublin Bus Website is a high frequency urban bus (i.e. minimum 10 minute peak hour frequency), that goes to Merion Square (Dublin City Centre) to the North and comes to Stocking Ave to the southwest. There is also a cycle route alongside Stocking Lane.

Stocking Lane is set out to be improved according to South Dublin County Council Development Plan 2016-2022, it is to be updated over the "Medium to Long Term Road Objectives".

Ballyboden Road/ Stocking Lane (R115) Upgrade of existing road. To enhance pedestrian and cycling facilities and exploit the tourist potential of the route.



URBAN STRUCTURE

IMAGE : Streets and Blocks

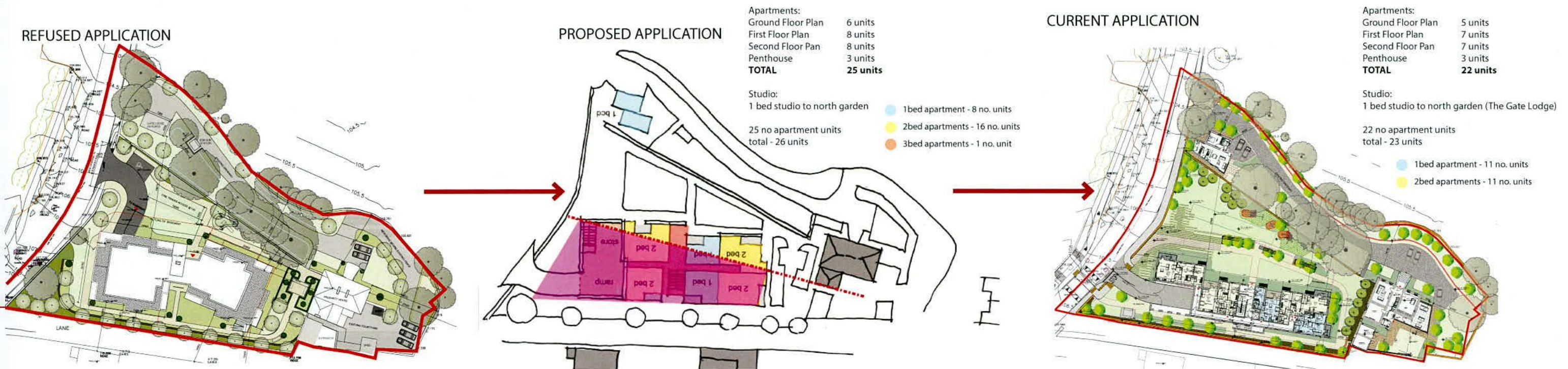


IMAGE : Green Spaces



04 | DESIGN EVOLUTION

BLOCK APARTMENTS EVOLUTION



- As demonstrated in the accompanying drawings, an apartment block comprising 22 units is now proposed within the grounds of Prospect House.
- Unlike the irregular, splayed footprint of the previous scheme which partly aligned with the front building line of Prospect House, the revised block would be set back behind Prospect House and would extend to the west at an angle.
- A more regular geometry is proposed aligning the new building with the southern boundary wall. This siting would result in a triangular landscaped area which would broadly match the proportions of the existing walled garden, with much of the bulk of the block set away from the Protected Structure.

PREVIOUS APPLICATION

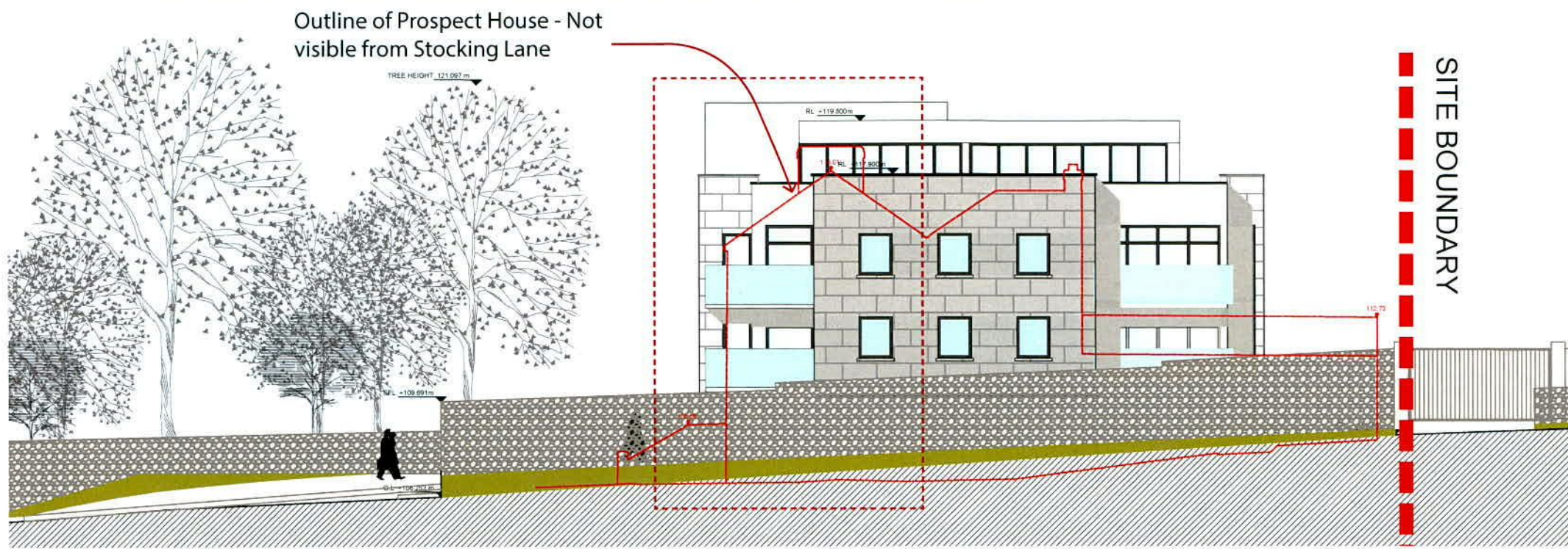


IMAGE : Previous Application CGI

IMAGE : Site Section of Previous Refused Application - Prospect House + Block of Apartments

CURRENT APPLICATION

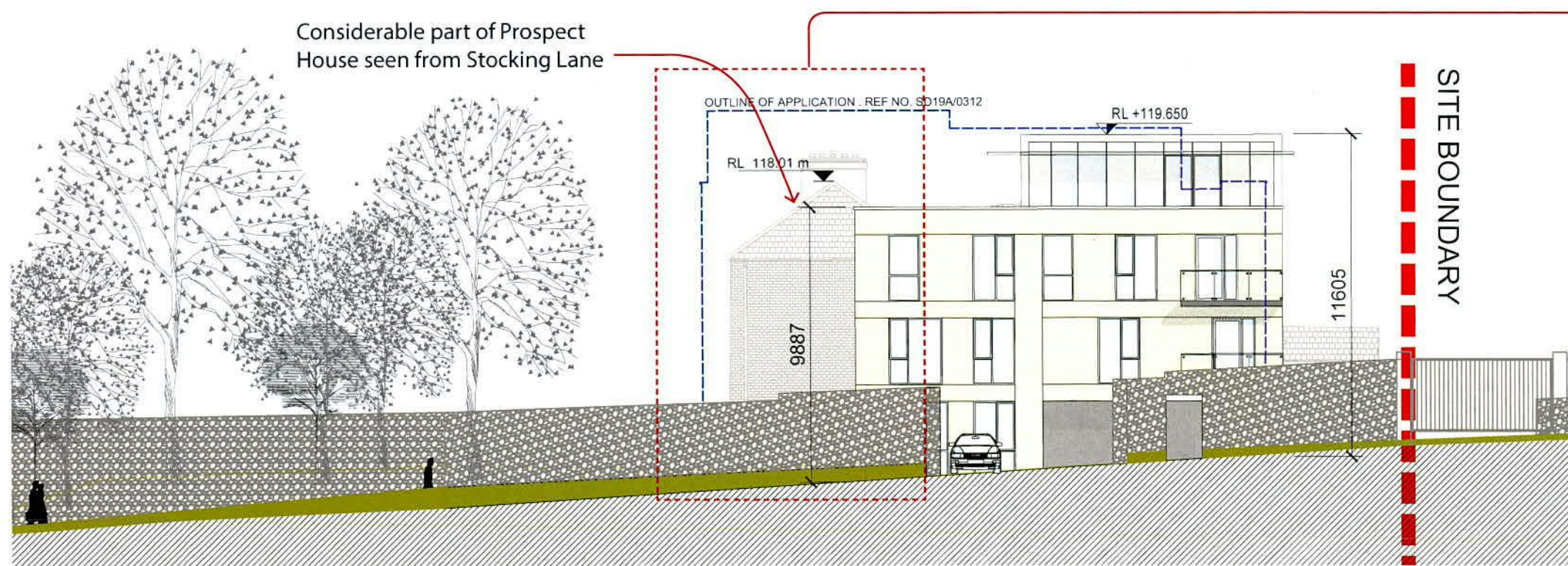


IMAGE : Current Application CGI

IMAGE : Proposed Site Section of Current Application - Prospect House + Block of Apartments

The bulkiness of previous block of apartments scheme has been reduced significantly due to change in its angle and the decreasing on its overall width.

We have addressed the issue of scale within the apartment design in that we have created a series of 3 contemporary style panels each related in scale and proportion to the existing protected house with clear distinguishable parapet heights sitting in the garden as pavilions.

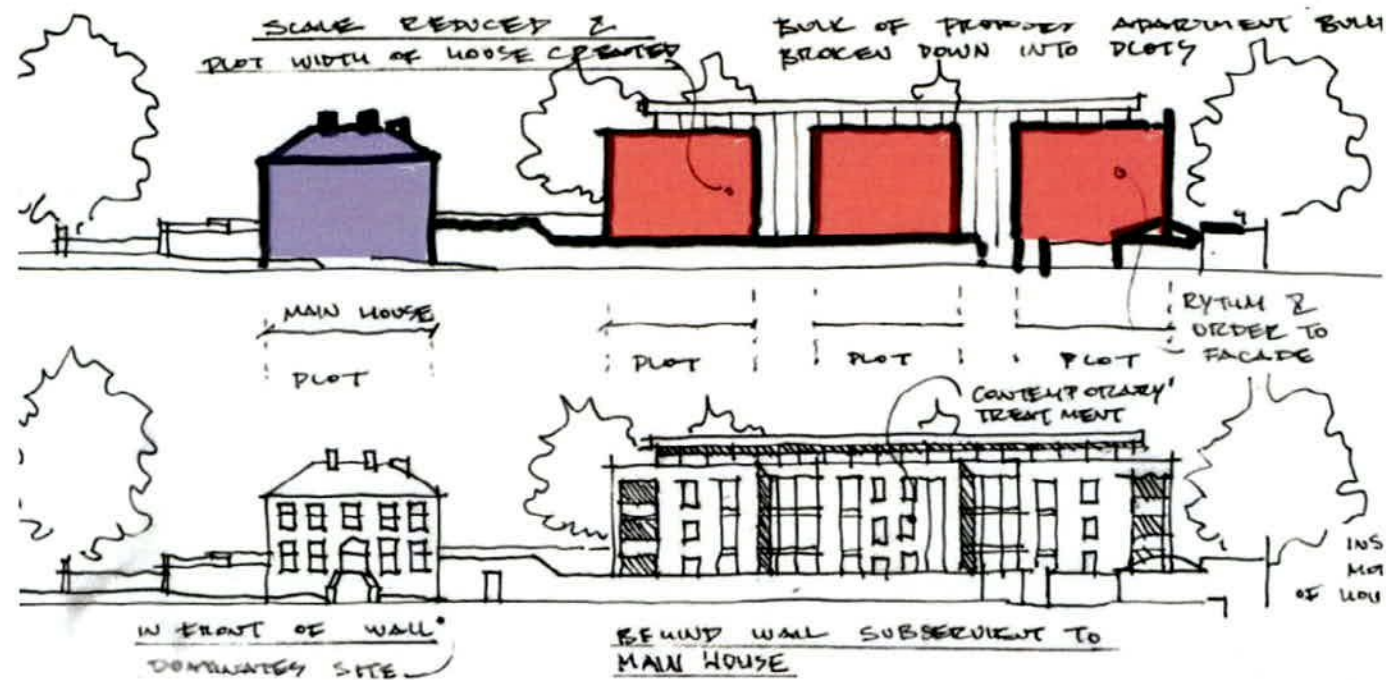


IMAGE : Diagrammatic Section - Relationship between New Block and Prospect House

These panels are finished in cut Portland stone. The darker shingles material on the gable of the existing house is picked up in a contemporary fashion with aluminum cladding and glazing panels to the penthouse which is set back from the stone facades, tight to the southern boundary.

The extra height in the building is more appropriate to this section of the site as the adjacent houses are at a higher level, dominating the site visually when viewed from Prospect Drive. The proposal would also screen any ad-hoc residential development to the rear, thereby improving the setting of the Protected Structure.

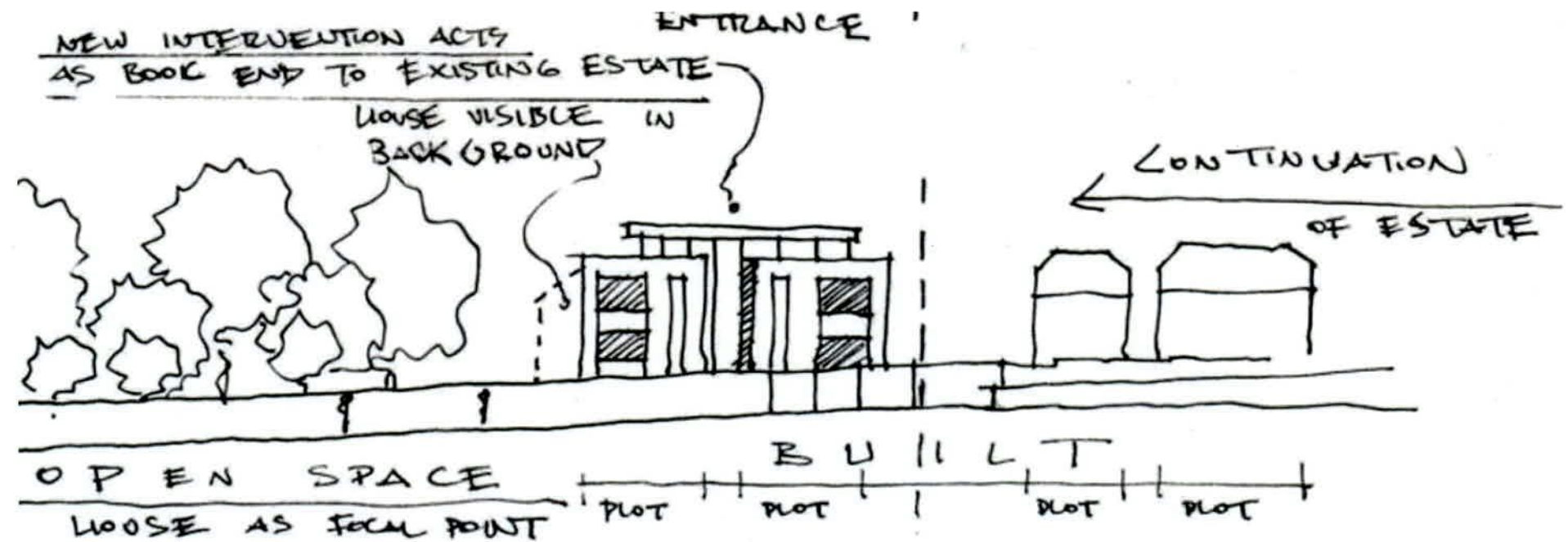


IMAGE : Diagrammatic Section - Relationship between New Block, Prospect House and Stocking Lane

05 | DESIGN STRATEGY

CONCEPT

The proposed development is set out to ensure the reintegration of existing Prospect House into its site context and the wide community, also to achieve a reasonable density to a site located at the South Dublin area, near to great facilities and Dublin City centre.

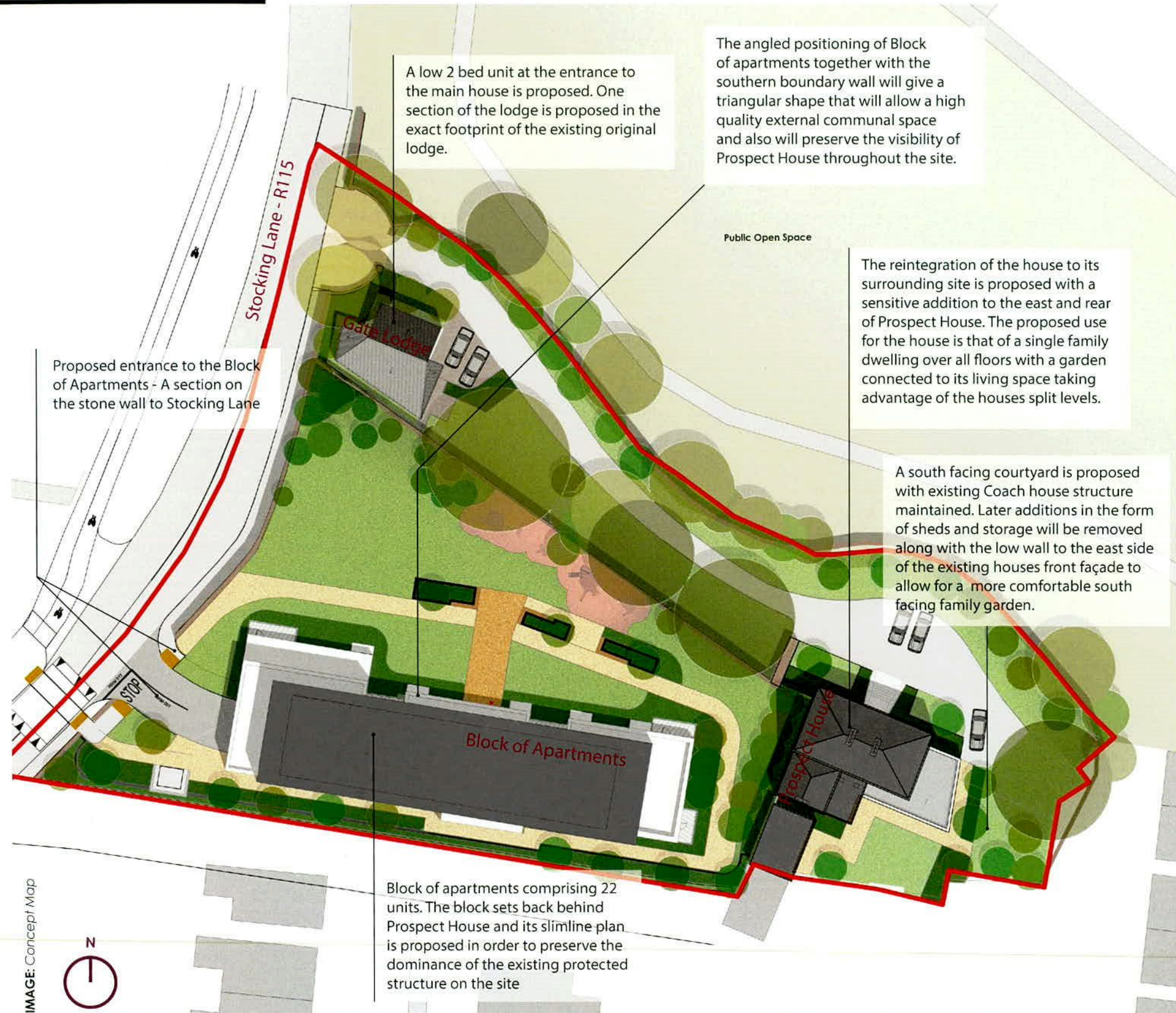
The key objectives embedded in the design approach from the outset were: to provide an improved layout and add new features to the historical Prospect House with the insertion of a living/ dining rear extension linked to a south facing private external area;

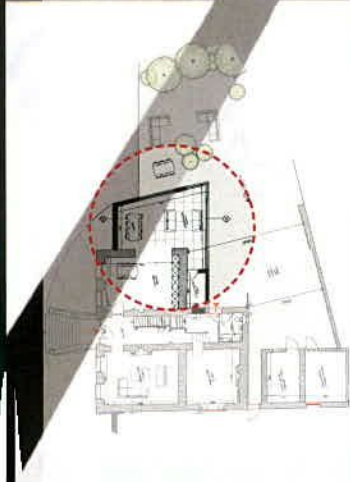
To take advantage of the The Gate Lodge ruins to build a 2bedroom separate house within its original footprint and add a contemporary volumetric to it (similar strategy as the Prospect House);

To complement the variety of typologies, a single 4-storey block comprising 22 apartments (50% 1bed and 50% 2bed types) is also proposed with a high quality landscape design proposed, containing passive recreational areas; permeability and ease of access; biodiversity enhancement; and appropriate screening of the development.

The layout has been developed in response to the site's location and surrounding environs, the exploitation of optimum orientation, and the unique site features.

In relation to access to the proposed development, vehicular, bicycle and pedestrian access is via Stocking Lane, located at the western part of the site. This ensures that the development is not car dominated, enabling the areas around the buildings to provide a range of private/semi-public green areas, plazas and footpaths, thus encouraging pedestrian use and is cycle friendly, connecting the proposed site with existing roads, bike paths and pedestrian walks.





Adjacent the main entrance it is proposed to convert the front room with large windows into a family kitchen with breakfast table. As one progresses east down the steps there is a glazed extension proposed in light grey render to match the existing house with metal roof. A living room and dining table is located down the steps from the kitchen which connects at level access to the east and south facing garden through aluminum glazing.



IMAGE: Internal CGIs - Glazed extension



A south facing courtyard is proposed with existing Coach house structure maintained. Later additions in the form of sheds and storage will be removed along with the low wall to the east side of the existing houses front façade to allow for a more comfortable south facing family garden.



THE GATE LODGE

The original Gate lodge is currently in ruins. Demolition of remaining structure and a single storey 2 bed unit at the entrance to the main house is proposed. Main points of the proposed intervention are:

- The proposal seeks to 'rebuild' the gate lodge. With one section of the proposal within the exact footprint of the original Gate Lodge. A partial stone façade is proposed to reference the original building.
- Two types of roof materials are proposed, a tiled roof for the rectangular footprint of the old gate lodge and a metal roof for the 'extension', formed around the footprint. The two roof finishes helps to distinguish between the two elements.

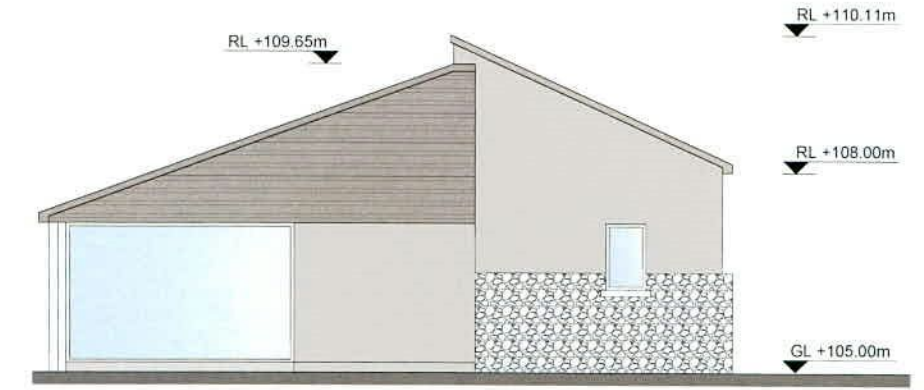


IMAGE: East Elevation

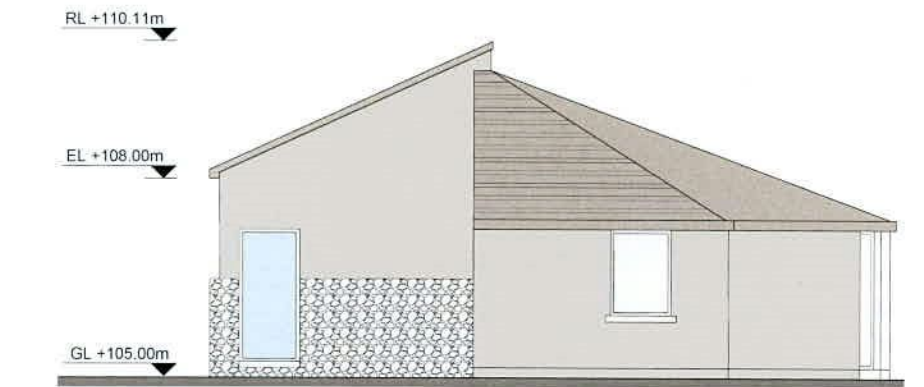


IMAGE: Ground Floor Plan - Gate Lodge

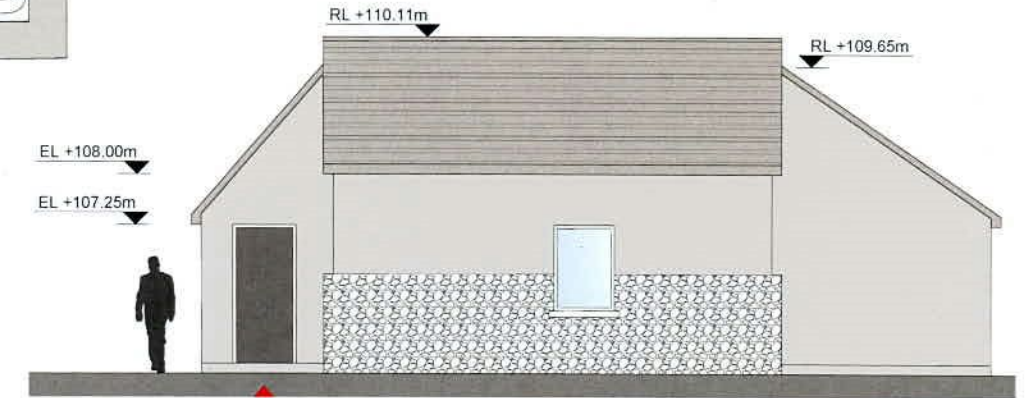


IMAGE: South Elevation

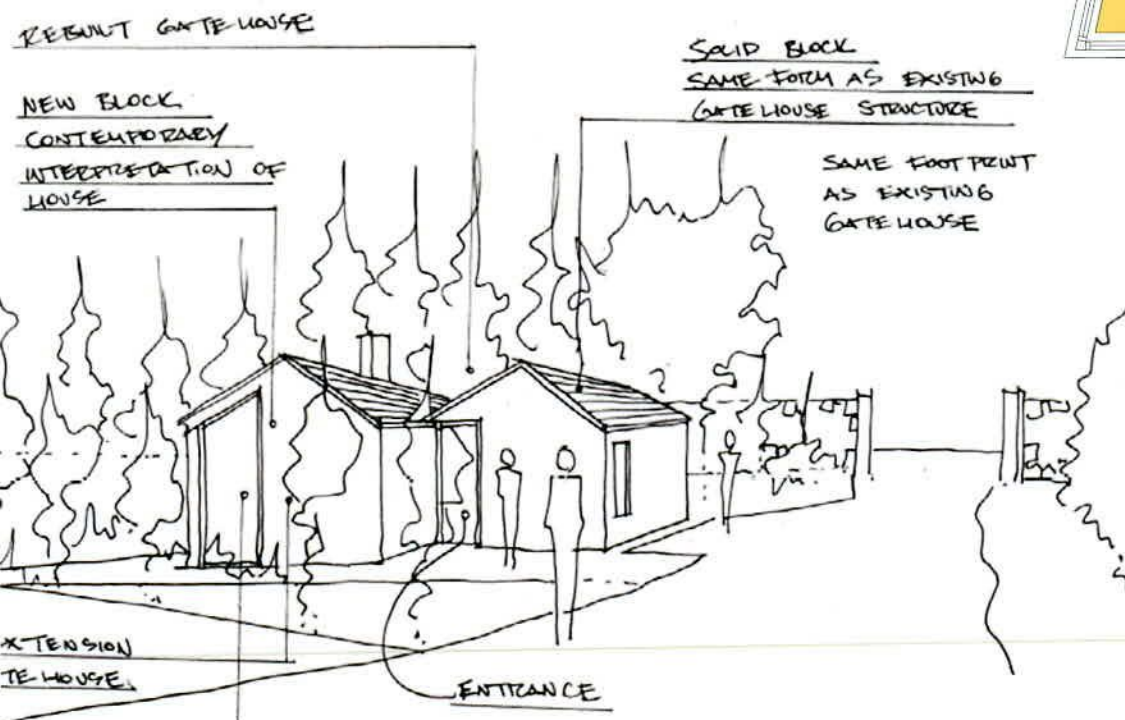


IMAGE: Conceptual Sketch of Gate Lodge



IMAGE: Current Gate Lodge - In ruins

Ground Floor Area	71.4 sq.m
TOTAL	71.4 sq.m
Private Rear Garden	100 sq.m



COMMUNAL & PRIVATE AREAS

The proposed residential scheme provides for communal + private amenity areas:

- 1) Communal Open Space with seating areas for Block of Apartments
- 2) Pedestrian walk and cycle path along the site in individual accesses to Block of apartments and The Gate Lodge + Prospect House
- 3) Planted buffer zone screening southern wall and private balconies at ground floor to apartment residents
- 4) Private Rear Gardens for Prospect House and The Gate Lodge

1) The communal open space is well designed and inviting with high quality landscape proposed within this area encouraging communal living and outdoor activities.

2) It is proposed to demolish two sections of the protected western boundary wall in order to provide both pedestrian and car/bike entrance to the basement for apartment residents, while the existing entrance is set out to be a private entrance for The Gate Lodge and Prospect House. Thus, a wider and comfortable pedestrian walk can be offered to apartment residents, giving a sense of safety and security by passive surveillance of common areas, while keeping privacy to The Gate Lodge + Prospect House residents.

3) The development southern wall and private balconies on ground floor will be generously screened by a planted buffer zone. This will not limit passive surveillance by pedestrians as the same time as it increases the quality of common areas for residents.

4) The Gate Lodge and Prospect House will have a rear private open space area which will be securely screened from neighbouring properties.



COMMUNAL OPEN SPACE STRATEGY

A communal open space will be provided between the block of apartments and the existing wall to the north (before proposed The Gate Lodge), which will be fully accessible to all residents at the ground floor units and it will be opened to all units belonging to the proposed development.

Open spaces and gardens will be furnished with planters, bench seating, tree and shrub planting. They have been specially designed to create both open and semi-private social areas for residents.

A play area for children will also be provided, containing outdoor play equipment to provide a space for interaction and leisure.

HARD LANDSCAPE MATERIALS

The public realm will be paved with a contemporary pattern of Tobermore Mayfair 'Silver' paving flag, Hardscape Hydro Lineo Solution 0-40% growable area, Tobermore Sienna 'Silver' path at the entrance, asphalt to the internal roads and Engineered Tiger mulch playground surfacing to EN safety standards to be used on the Northeast play area. These materials aim to complement the modern look of the proposed buildings at the same time they bring a neutral appearance to the historical Prospect House.

Timber bench seating will be provided throughout the scheme. To communal areas, areas of attractive open space will create an attractive meeting / resting space for residents. Green areas will be less formal in feel, with shrubs and varied high quality landscape design, helping to create a homely space for residents.



IMAGE: Landscape Map

play area reference images



benches precedent



Hardscape Palette

08 | DETAILED DESIGN

HOUSING GUIDELINES (2007)

According to the Quality Housing for Sustainable Communities - Guidelines 2007, the proposed scheme should accommodate the minimum Space Requirements and Room Sizes as follows:

"5.3.2) Space Requirements and Room Sizes

Space requirements and room sizes are primarily determined by the uses of individual rooms and spaces. Adequate floor areas and room sizes are important considerations but do not necessarily create good quality living spaces. Living room and bedroom spaces should be well proportioned, in terms of floor shapes and ceiling heights, so as to provide a good quality living environment for the occupants.

Space provision should be adequate to accommodate appropriate furniture and equipment in each room while allowing free circulation within that area. In general, adequate space should be provided for the following:

- the normal range, and typical arrangement of, furniture for each room;
- a reasonable degree of freedom of circulation, appropriate to the likely activities;
- the movement of larger items of furniture into and between rooms;
- space for family gatherings, including occasional visitors;
- working area and storage facilities appropriate to the likely activities;
- door swings which do not interfere with other doors, furniture or circulation routes;
- and
- the location of heating radiators and other service fittings in a way that does not limit the arrangement of furniture within a room.

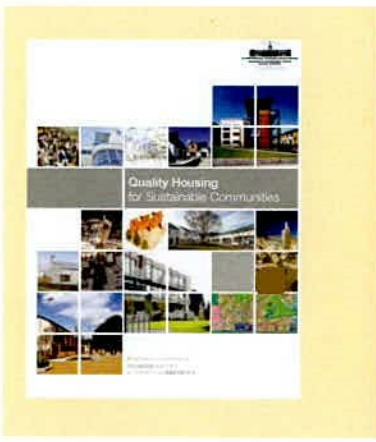


IMAGE : Cover Quality Housing for Sustainable Communities - Guidelines (2007)

Table 5.1: Space provision and room sizes for typical dwellings

DWELLING TYPE	TARGET GROSS FLOOR AREA (m ²)	MINIMUM - MAIN LIVING ROOM (m ²)	AGGREGATE LIVING AREA (m ²)	AGGREGATE BEDROOM AREA (m ²)	STORAGE (m ²)
Family Dwellings - 3 or more persons					
4BED/7P House (3 storey)	120	15	40	43	6
4BED/7P House (2 storey)	110	15	40	43	6
required provided PROSPECT HOUSE	433.25	34.6	137.9	62	59.13
4BED/7P House (1 storey)	100	15	40	43	6
4BED/7P Apartment	105	15	40	43	11
3BED/6P House					
3BED/6P House (3 storey)	110	15	37	36	6
3BED/6P House (2 storey)	100	15	37	36	6
3BED/6P House (1 storey)	90	15	37	36	6
3BED/6P Apartment	94	15	37	36	10
3BED/5P House					
3BED/5P House (3 storey)	102	13	34	32	5
3BED/5P House (2 storey)	92	13	34	32	5
3BED/5P House (1 storey)	82	13	34	32	5
3BED/5P Apartment	86	13	34	32	9
3BED/4P House					
3BED/4P House (2 storey)	83	13	30	28	4
3BED/4P House (1 storey)	73	13	30	28	4
3BED/4P Apartment	76	13	30	28	7
2BED/4P House					
2BED/4P House (2 storey)	80	13	30	25	4
2BED/4P House (1 storey)	70	13	30	25	4
2BED/4P Apartment	73	13	30	25	7
required provided APARTMENTS	73.7-95.5	-	29-38	24.1-26.3	5.7-20.6
2BED/3P House (2 storey)	70	13	28	20	3
2BED/3P House (1 storey)	60	13	28	20	3
required provided GATE LODGE	71.4	-	32.7	21.6	3
2BED/3P Apartment	63	13	28	20	5
1BED/2P House					
1BED/2P House (1 storey)	44	11	23	11	2
1BED/2P Apartment	45	11	23	11	3
provided APARTMENTS	45.6-55	-	22.4-35.7	10.9-13	3-3.7

OBSERVATION: apartments were designed based on "Apartment Guidelines (2020)" that can be found on next page.

TABLE: 5.1 - Space Provision and room sizes for typical dwellings - table extracted from "Quality Housing for Sustainable Communities - Guidelines 2007" - Pg 49.

4) Floor to Ceiling Height - Specific Planning Policy Requirement 5

"Ground level apartment floor to ceiling heights shall be a minimum of 2.7m and shall be increased in certain circumstances, particularly where necessary to facilitate a future change of use to a commercial use."

current application proposal: 3m height - Ground level floor to ceiling.

5) Lift and Stair Cores - Specific Planning Policy Requirement 6

"A maximum of 12 apartments per floor per core may be provided in apartment schemes. [...]"

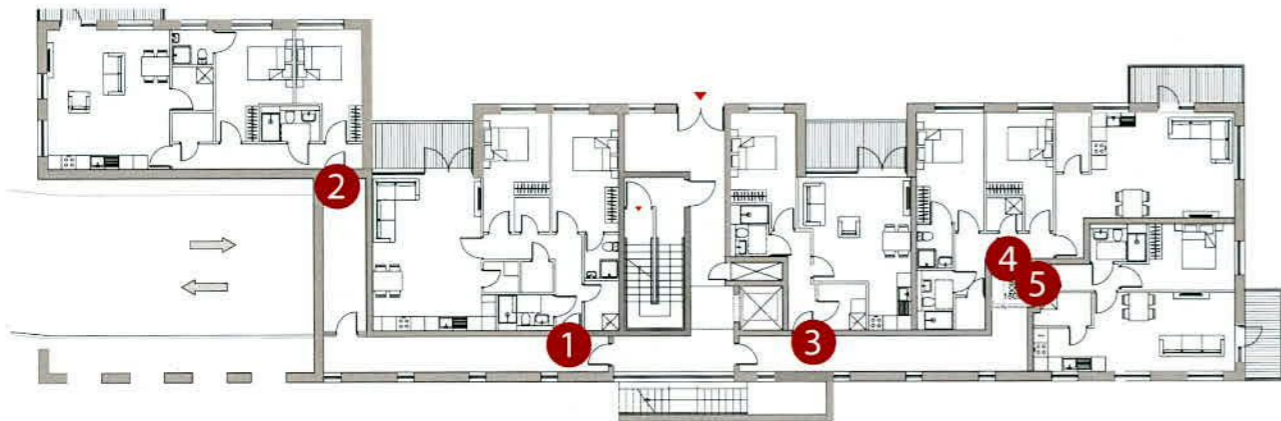


IMAGE: Ground Floor Plan

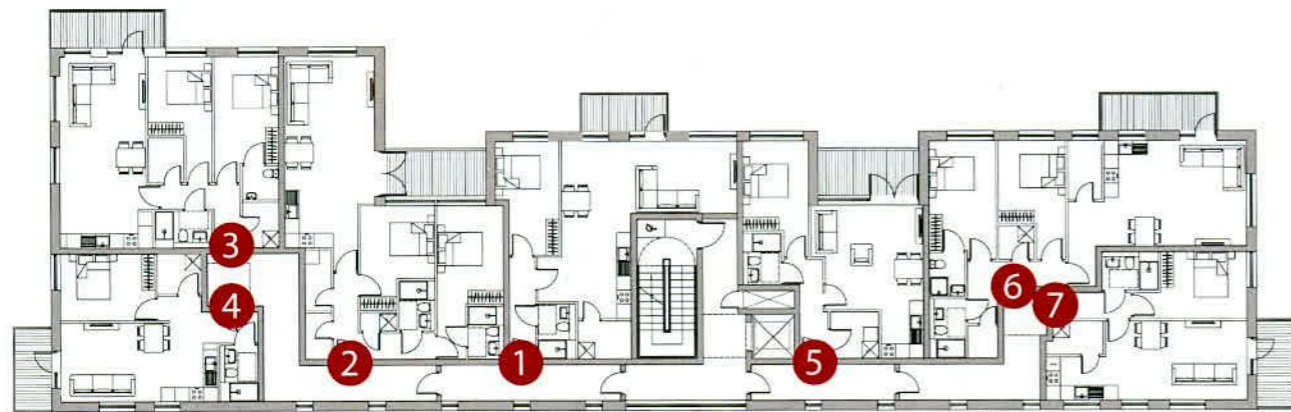


IMAGE: First Floor Plan

current application proposal: maximum of 7 apartments per floor per core.

6) Internal Storage - Minimum storage space requirements (Appendix 1 of Apartments guidelines 2020)

• Studio	3 sq m	not provided on this scheme
• One bedroom	3 sq m	smallest storage area for 1-bed apts. on this scheme: 3 sq.m
• Two bedrooms (3 person)	5 sq m	not provided on this scheme
• Two bedrooms (4 person)	6 sq m	smallest storage area for 2-bed apts. on this scheme: 5.7 sq.m
• Three or more bedrooms	9 sq m	not provided on this scheme

7) Private Amenity Space - Minimum floor areas for private amenity space (Appendix 1 of Apartments guidelines 2020)

• Studio	4 sq m	not provided on this scheme
• One bedroom	5 sq m	smallest private amenity area for 3-bed apts. on this scheme: 5 sq.m
• Two bedrooms (3 person)	6 sq m	not provided on this scheme
• Two bedrooms (4 person)	7 sq m	smallest private amenity area for 3-bed apts. on this scheme: 7 sq.m
• Three or more bedrooms	9 sq m	not provided on this scheme

8) Security Considerations

"Apartment design should provide occupants and their visitors with a sense of safety and security, by maximising natural surveillance of streets, open spaces, play areas and any surface bicycle or car parking. Accordingly, blocks and buildings should overlook the public realm. Entrance points should be clearly indicated, well lit, and overlooked by adjoining dwellings. Particular attention should be given to the security of ground floor apartments and access to internal and external communal areas."

LAYOUT + OVERALL UNIT MIX

The proposed development, subject of this application, provides for the protected Prospect House renovation with a 40sq.m lateral extension; the demolition/ re building of a 2bed unit on Gate Lodge and the proposal of a 22 no. apartment units in a 4 storey single block with private balconies for all apartments. Also proposed are car parking, bike + motorbike parking spaces and bin stores in basement. 1 ESB Sub-station is proposed at ground floor external area near to Gate Lodge.

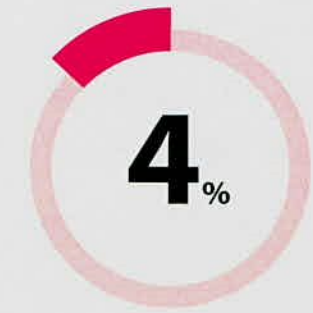
The proposed residential schedule is set out below:

01 Bed	11 apartment units
02 Bed	11 apartment units
+	
02 BED	1 Gate Lodge unit
04 Bed	1 Prospect House unit
TOTAL	24 units

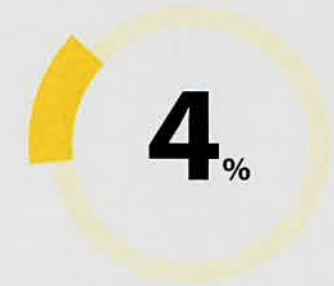
TABLE: Dwelling Mix



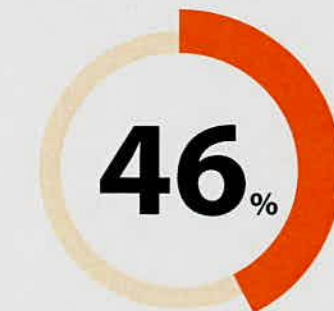
IMAGE: Ground Floor Plan



Gate Lodge - 1 2 bed/3 person 1 storey house



Prospect House - 1 4bed/ 8 person 2 storey over basement house



Block of Apartments - 11 1bed Units

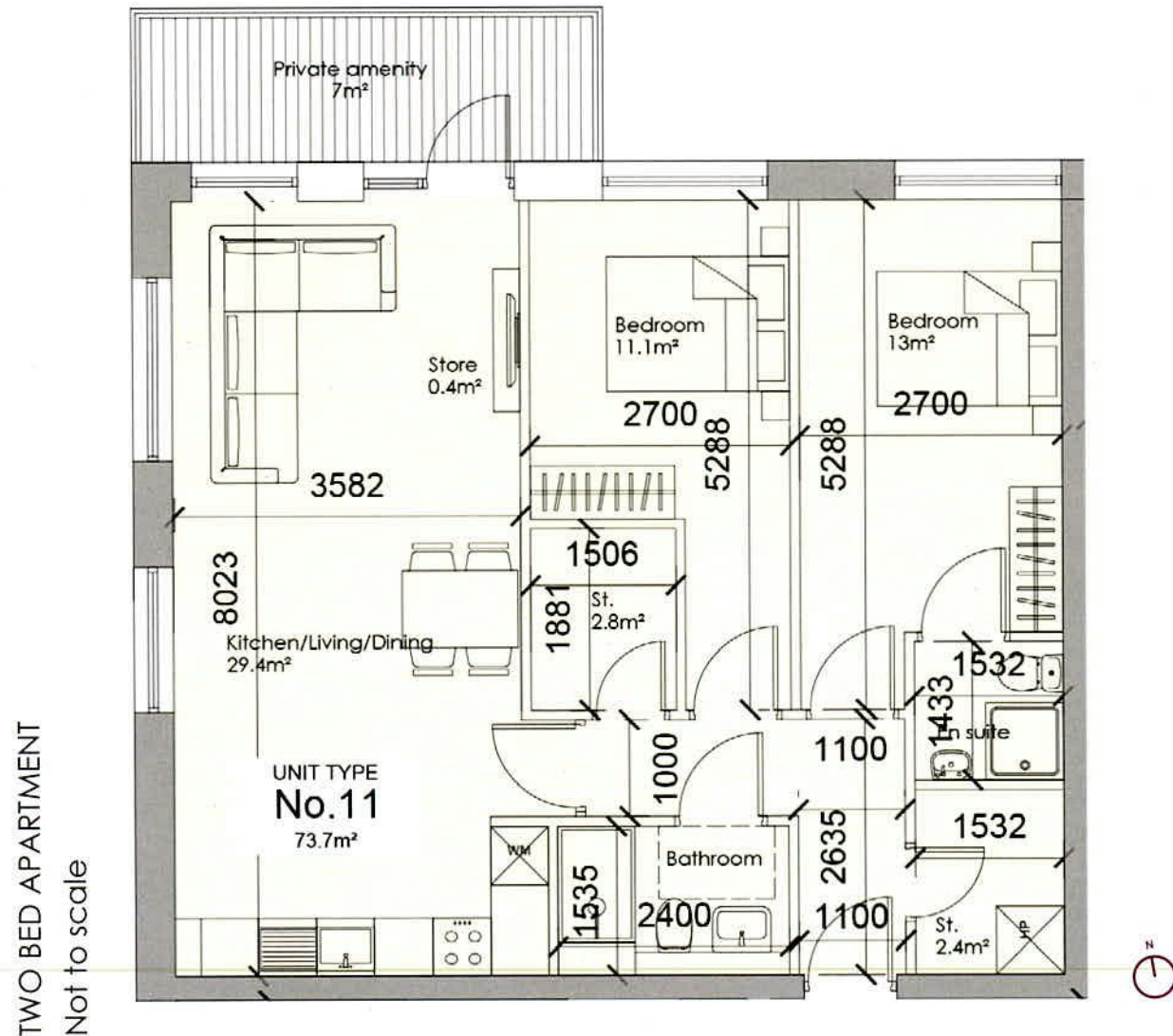


Block of Apartments - 11 2bed Units

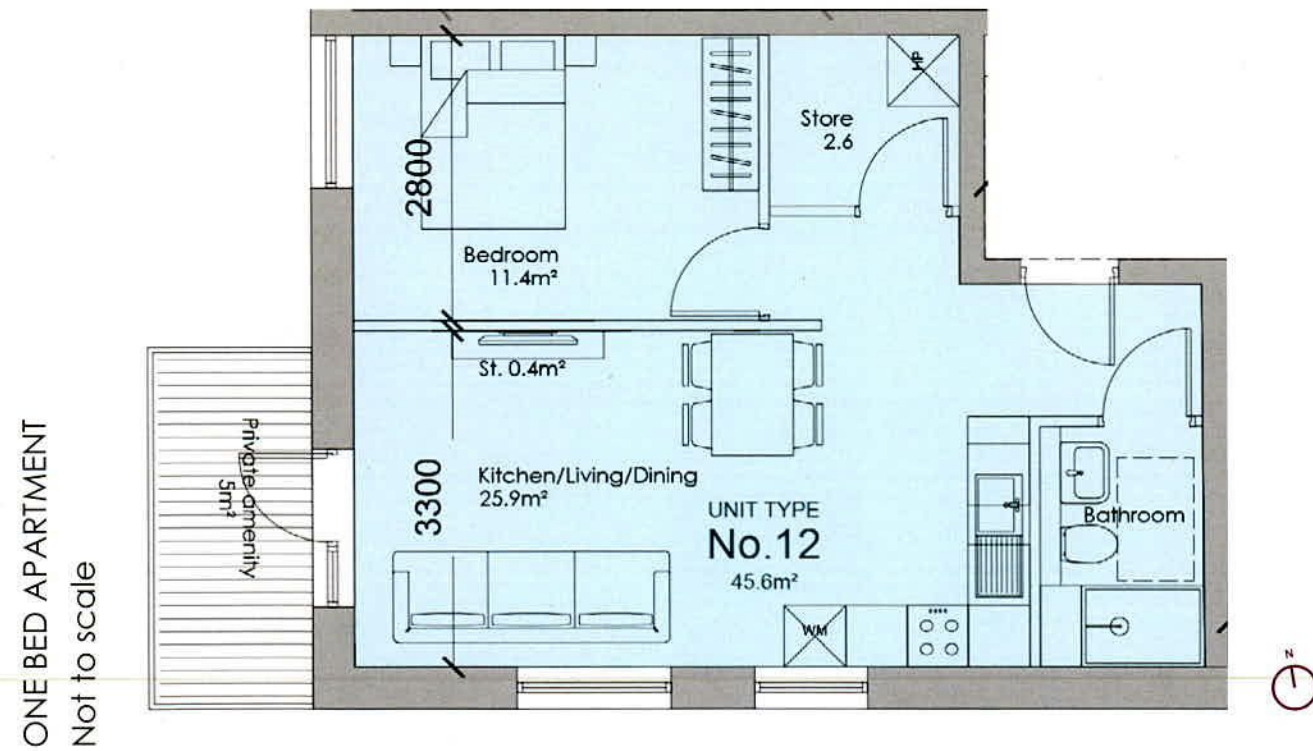
UNIT TYPE - MINIMUM FLOOR AREAS AND STANDARDS

All apartments have been designed in accordance with the South Dublin County Development Plan 2016-2022 and the Sustainable Urban Housing: Design Standards for New Apartments Guidelines complying with or exceeding the minimum standards.

60% of the apartments are dual aspect and many of the others have a splayed arrangement of windows in the principal living spaces to enhance views and daylighting of the units, agreeing with the Sustainable Urban Housing: Design Standards for New Apartments Guidelines.



IMAGES: Examples of Units

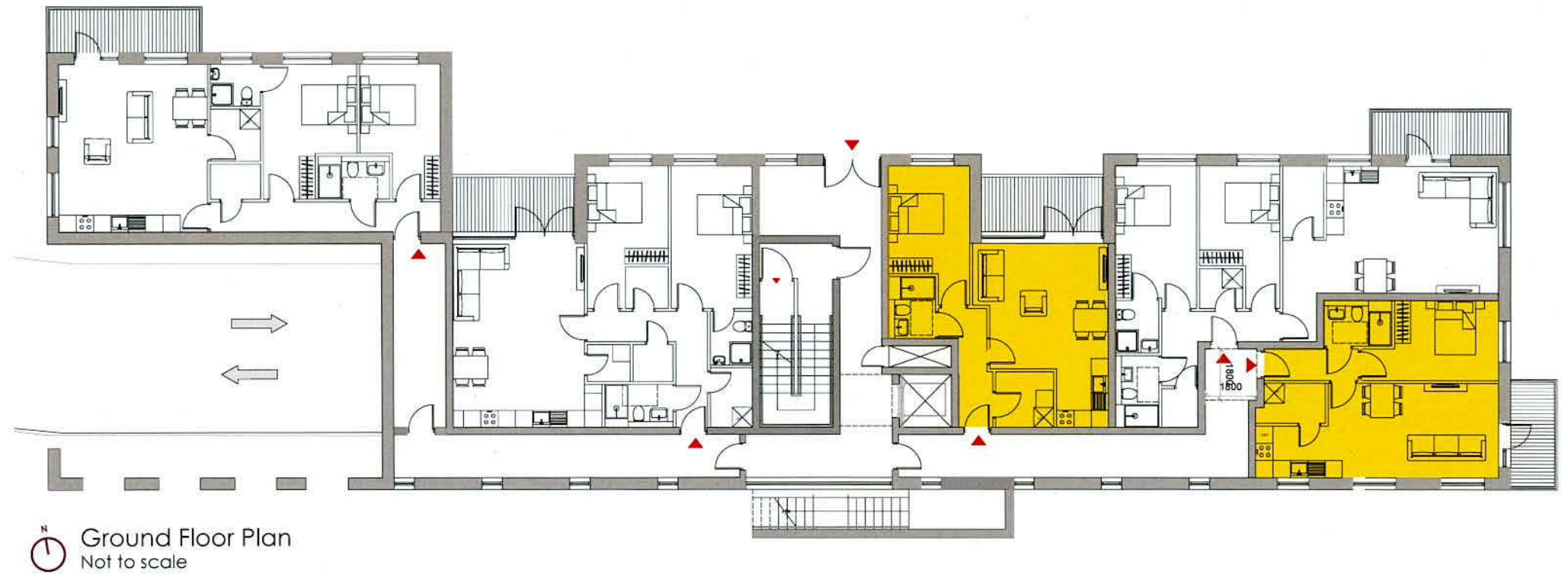


SOCIAL AND AFFORDABLE HOUSING

Part V of the Planning and Development Acts 2000 to 2020 has been amended by the Affordable Housing Act 2021 (as amended – including the Urban Regeneration and Housing Act, 2015) stipulates that a 10% social housing requirement will be applied to planning permissions as follows:

“A 10% Part V requirement will apply where land already has planning permission or was purchased between 1 September 2015 and 31 July 2021 and planning permission is granted before 31 July 2026”.

The proposed development has allocated 02 no. units for Part V Social and Affordable Housing. The applicant will consult with South Dublin County Council regarding the final details of the Part V agreement, subject to condition pending permission of the scheme.



IMAGES: Part V Apartments

	Table No of Part V	%
Regular	20	90
Part V	02	10
TOTAL	22	100

PART V APARTMENTS

MATERIALS PALETTE - THE GATE LODGE

The Gate Lodge ruins will be demolished and its footprint will be preserved to create a new block with more traditional materials - Slate roof and rectangular shape. Another block in a losange shape will come out of this first volumetric and will have contemporary design and materials such as metal roof finish and grey render. The choice of Gate House's materials is again in keeping with other historic and modern residential housing and apartment development in the locality.

Materials selected are of high quality, low maintenance and durable. The materials and external design make a positive contribution to the locality.

Note: All cappings to external materials will be detailed appropriately to prevent any staining from rainwater run off.

1 ROOF:
1 - Slate / Tile Roof Finish
2 - Metal Roof Finish



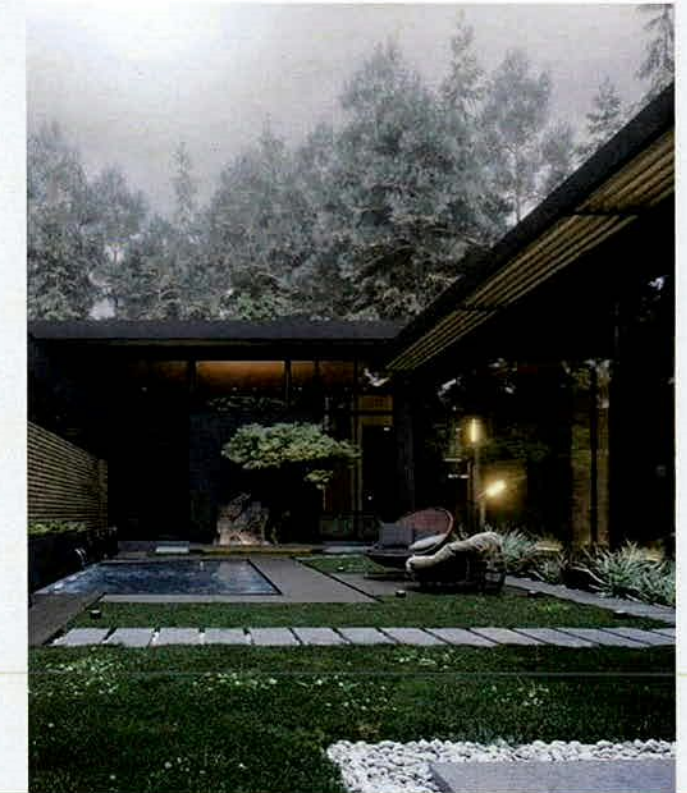
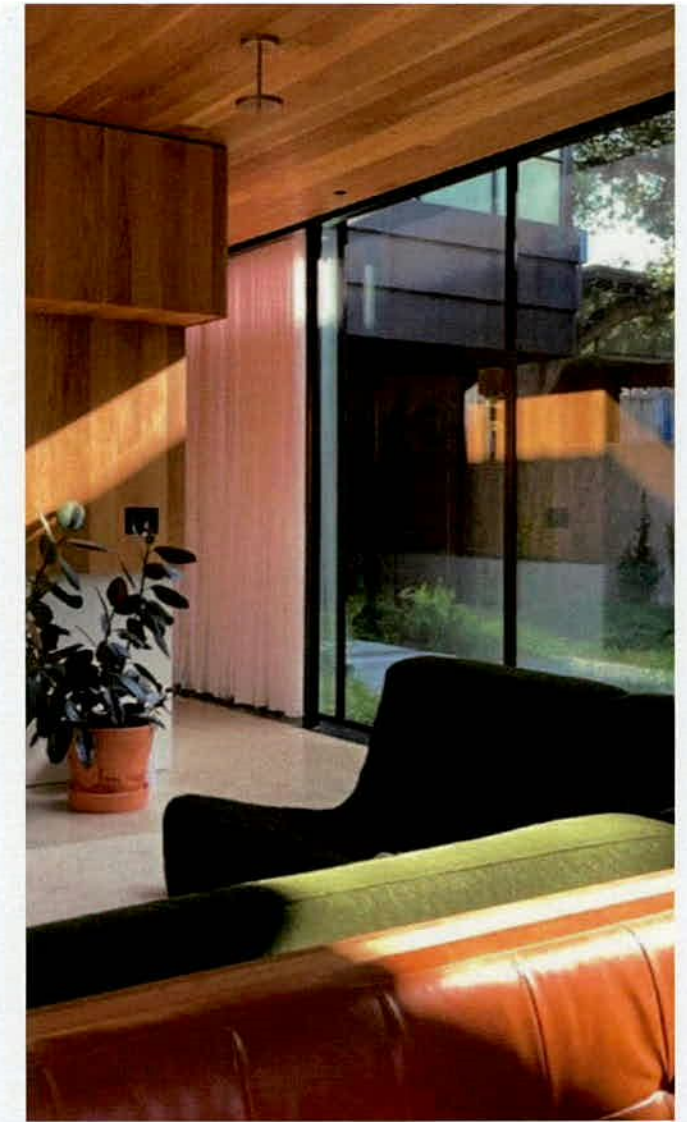
3 Selected Render Finish



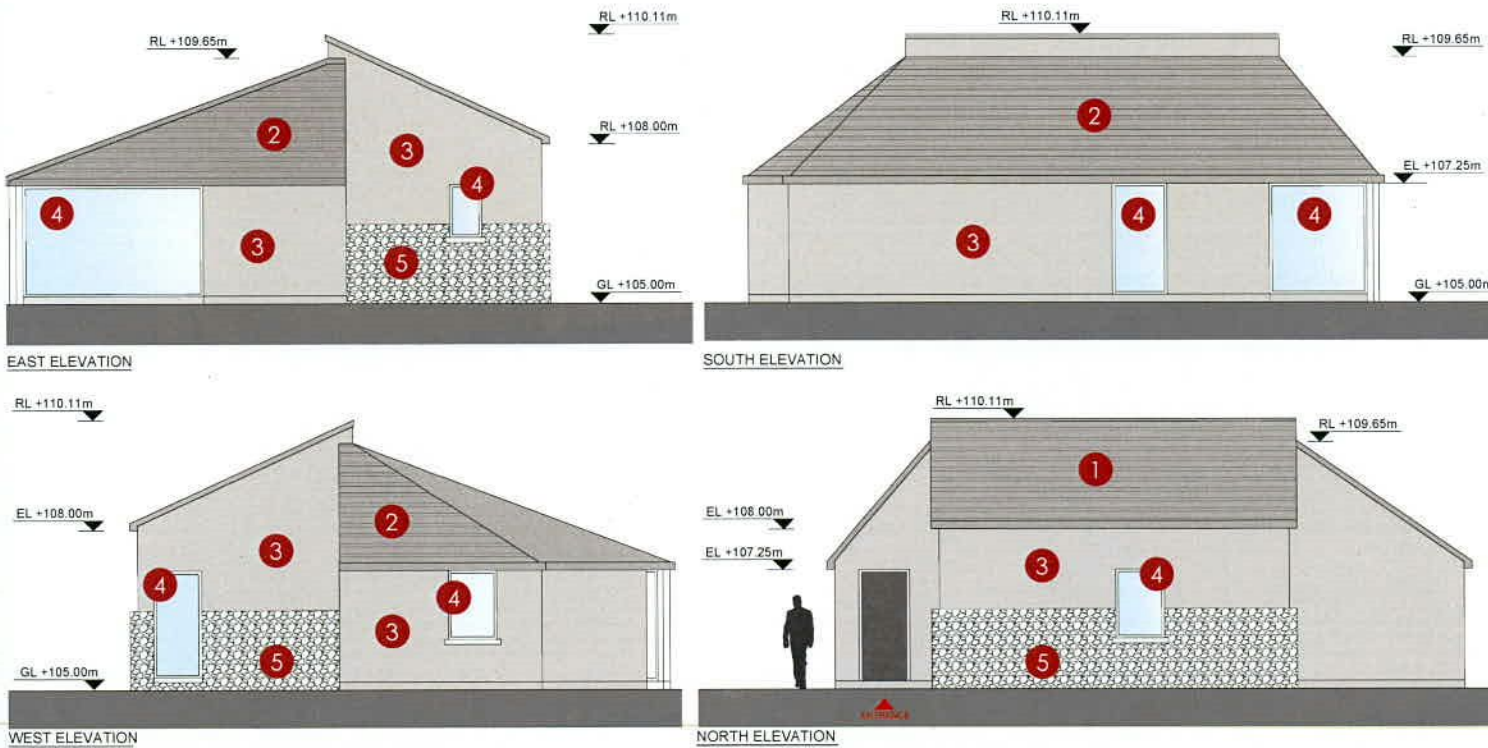
4 Glazing Windows and Doors



5 Stone



reference images



IMAGES: Gate Lodge Elevations

CGI - FACADES

The architectural and material quality creates buildings that are contextual and contemporary. The elevational treatment has been a key consideration throughout the design process. The development has been designed with a unique composition. The facades comprise a carefully considered rhythm of projecting balconies and blocks creating a dynamic façade.

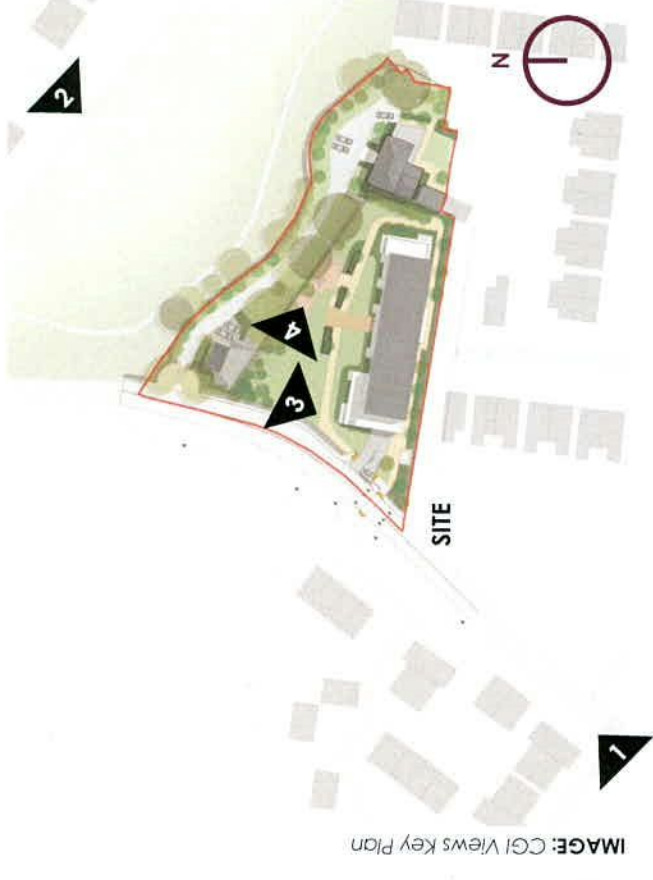


IMAGE: CGI Views Key Plan












IMAGES: CGI Views

10 | CONCLUSION

DESIGN OVERVIEW

In the design of the proposal we have complied with the principles of Universal Design, as contained within 'Building for Everyone: A Universal Design Approach' under the following headings:

01  External Environment	02  Entrances & Horizontal Circulation	03  Vertical circulation	04  Internal Environment	05  Sanitary Facilities	06  Facilities	07  Building Types	08  Building Management	09  Planning and Policy
<ul style="list-style-type: none"> • Provision made for disabled parking. • Disabled compliant footpaths and ramps. • Tactile paving surfaces 	<ul style="list-style-type: none"> • Entrance lobbies sized to allow for a wheelchair turning circle. • Corridors wide enough to accommodate wheelchair users. • Doors and ironmongery are compliant with access requirements. 	<ul style="list-style-type: none"> • Stairs provision. • Handrails on both sides of circulation stairs. • Refuge space in all stair cores. 	<ul style="list-style-type: none"> • All public spaces well lit. • Proposed visual colour contrast in public areas. • Public areas are well ventilated. • Proper signage in public spaces. 	<ul style="list-style-type: none"> • Bathroom spaces meets disabled access requirements. • Proper lighting in sanitary facilities 	<ul style="list-style-type: none"> • Heights of window sills meets the requirements of the wheelchair user. 	<ul style="list-style-type: none"> • Entrances by design are clearly identified due to the choice of material finish. • Approach is compliant to regulations with regard to disabled access. 	<ul style="list-style-type: none"> • Evacuation plans set by the management of the estate. • On going review of policies. 	<ul style="list-style-type: none"> • Development Management. • Parking policy implemented by management company. • Public realm and amenities will be well maintained.

11 | APPENDIX

12 POINTS

01 NEIGHBOURHOOD

02 SITE

- 1 - C O N T E X T - The proposed development provides for an appropriate approach to its context within walking distance of a bus network. The buildings range in height from 1 to 4 storeys, being The Gate Lodge - 1 storey, Prospect House - 2 storeys, Block of Apartments - 4 storeys. One of the main objectives in increasing the visually connection between Prospect House with the surrounding built environment.
- 2 - C O N N E C T I O N S - The proposed residential development is accessed from Stocking Lane - R115. Bus route nos. 15B from Stocking Lane provide transport services directly into Dublin City Centre.
- 3 - I N C L U S I V I T Y - The design of the proposed development provides active frontages along all frontages overlooking the proposed pedestrian circulation/open space area, thus providing increased passive surveillance. The proposed pedestrian footpaths along the perimeter of the scheme, alongside the high-quality inviting nature of the areas will ensure the proposed spaces are actively used.
- 4 - V A R I E T Y - The proposed residential scheme provides for a mix of 2 and 4 bed dwelling units (The Gate Lodge and Prospect House, respectively) and 2-3 bed apartment units, residential amenity spaces and landscaped open space: generous pedestrian circulation and communal seating area. The overall development provides for high quality amenity space to future residents and visitors.
- 5 - E F F I C I E N C Y - The proposed development will be sensitively integrated with the existing built environment in the immediate area, noting the separation distances proposed, appropriate screening provided, and the orientation of the units. The units are suitable for all family and age demographics, and are designed such that there is adequate space and generously sized private open space available within the development. All selected materials will be of high-quality, low maintenance and durable, the variety of which adds interest to the development.
- 6 - D I S T I N C T I V E N E S S - The proposed development will form a distinctive residential neighbourhood and is of a density and character that assimilates to its location within walking distance of a bus network. It is considered that the proposed improvements in pedestrian circulation along the perimeter of the development allows for permeability to the scheme and encourages activity within the area.

02 SITE

03 HOME

- 7 -LAYOUT- The layout of the proposed development has been developed as a result of the collaborative work of the design team. The key objectives embedded in the design approach from the outset were: to provide a great use of Prospect House renovation, by updating its internal layout for comfortably fitting a single family and adding a contemporary extension to the kitchen/ living area; Re construction of The Gate Lodge in order to create an improved and attractive mix of unit types; passive recreational areas; permeability and ease of access and biodiversity enhancement.
- 8 -PUBLIC REALM- The proposed site layout aims to maximise visual permeability and connectivity to Prospect House to the built context, an emphasis on quantum and quality of open space within the development and enhanced biodiversity of the area. At the same time, the position of the proposed block of apartments in the development provides active frontages along all elevations and overlooking the proposed open spaces to maximise passive surveillance and active streetscapes.
- 9 - ADA P T A B I L I T Y - The residential units proposed are suitable for all family and age demographics. Some units exceed the minimum standard for unit size and can be adapted to follow the needs of the future residents.
- 10 - P R I V A C Y A N D A M E N I T Y - Ground floor residential areas (block of apartment units) will be screened by a planted buffer zone, to ensure that residential amenity is protected, while at the same time ensuring that visual surveillance of the public realm is enhanced, in order to create a safe environment for residents and visitors. A southfacing wall divides the site into two different accesses (one for The Gate Lodge + Prospect House entrances and another to block of apartments entrance), ensuring private and landscaped area all along the internal way to Prospect House.
- 11 - PA R K I N G - Ground Floor car parking will be provided for The Gate Lodge and Prospect House in their own curtilage, accessed via a common entrance on Stocking Lane. For block of apartments, a total of 25 no. car parking spaces at basement level are provided, all capable of accommodating future EV charging points. A total of 40 no. bicycle parking space and 2 motorbike parking spaces are also provided at the basement level of the proposed building.
- 12 - D E T A I L E D D E S I G N - The design of the proposed scheme has been the subject of a full analysis/feasibility study of the proposed site and its surrounding landscape and it is considered that the proposed development represents a high-quality design whilst optimising the appropriate use of the site. Furthermore, the proposed development represents an opportunity to re integrate the historical Prospect House into the site context and deliver a high-quality residential development at this strategic location within South Dublin, near to a bus network, a National Motorway and a wide range of existing social, community and physical infrastructure, which will help meet the ever-increasing demand for residential accommodation in County Dublin.

FINAL CONSIDERATIONS

This Architectural/ Urban Design Statement which has been prepared by Downey Architecture to accompany the planning consultation request by our client MSJA Ltd for the residential scheme comprising the Prospect House renovation, The Gate Lodge reconstruction and a new residential block of apartments at Stocking Lane, Rathfarnham, Co. Dublin, has assessed the contextual built environment and urban structure, illustrating how the proposal will contribute to best practice urban design by increasing the residential potential of the site and yet contribute to the revitalization of a Protected Structure and intensification of the urban environment in South Dublin inner suburban area through infill development, with associated enhancements to the streetscape on Stocking Lane by the proposed block of apartments on the subject site.

The statement has discussed the following themes: Context, Connectivity, Urban Design and Architecture, and has established that the proposed development responds well to its local, neighbourhood and regional contexts and is in keeping with the South Dublin Development Plan.

The Architectural/Urban Design Statement has taken a strategic approach to the proposed scheme, setting out the framework and establishing principles which have informed the design process and proposal.



IMAGES: Prospect House CGI

09 | PARKING

CAR PARKING

Total of 25 no. car parking spaces are provided in the basement for apartment units.

Gate Lodge and Prospect House have their car parking spaces within their own curtilage (2 parking spaces for each).

BICYCLE PARKING

A total of 40 no. bicycle spaces are provided in the basement as a separate room.

BINS

Bin storage for the apartments is located in the basement.

Gate Lodge and Prospect House have their bin storages within their own curtilage.

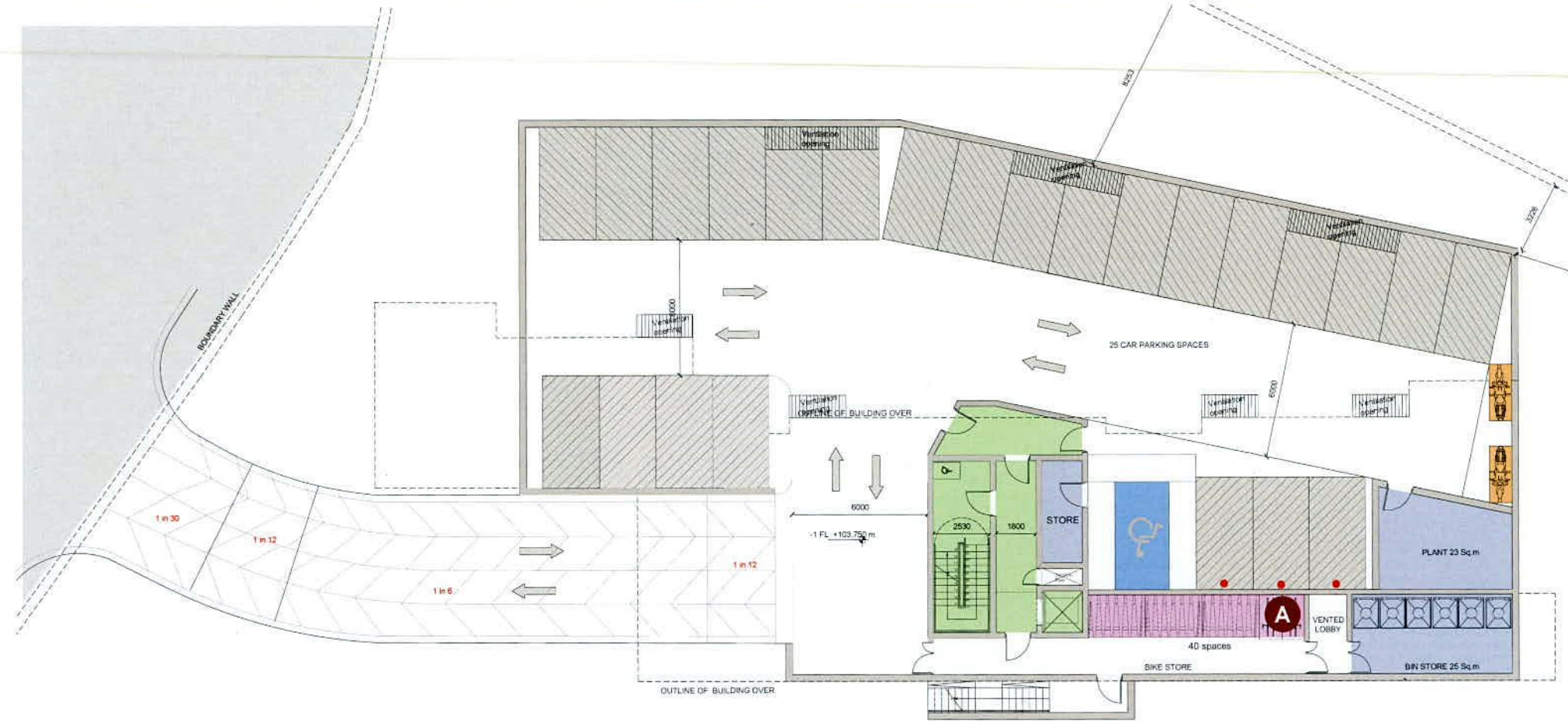


IMAGE : Proposed Basement Layout

TOTAL 25 CAR PARKING SPACES FOR APARTMENTS (all capable of accommodating future electric charging point):

- 24 CAR PARKING SPACES FOR RESIDENTS
- + 01 DISABLED PARKING SPACES FOR APARTMENT RESIDENTS (basement)
- 02 MOTORBIKE PARKING SPACES FOR APARTMENT RESIDENTS (basement)
- 40 BICYCLE PARKING SPACES FOR APARTMENT RESIDENTS (basement)
- BIN STORE/ STORE/ PLANT ROOM
- CIRCULATION/ ACCESS (BASEMENT)
- 03 ELECTRIC CHARGING POINTS



IMAGE : Site Layout Plan



IMAGE : Reference of Sheffield Bike Stand

MATERIALS PALETTE - BLOCK OF APARTMENTS

The 3 contemporary style panels which compose the main elevation for block of apartments (South elevation on image below) are finished in cut Portland stone. The darker shingles material on the gable of the existing house is picked up in a contemporary fashion with aluminum cladding and glazed panels for the penthouse which is set back from the stone panels tight to the southern boundary.

Materials selected are of high quality, low maintenance and durable. The materials and external design make a positive contribution to the locality.

Note: All cappings to external materials will be detailed appropriately to prevent any staining from rainwater run off.



IMAGES: Block of Apartment North Elevation

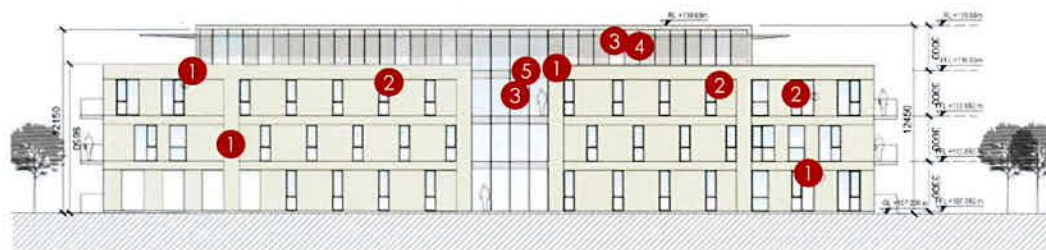
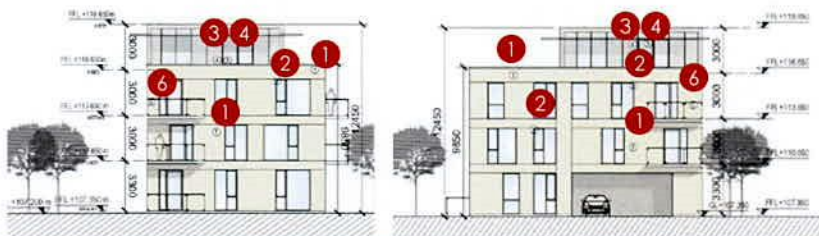


IMAGE: Block of Apartment South Elevation



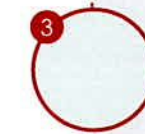
IMAGES: Block of Apartment Side Elevations



2 Cut Portland Stone or Similar



2 Aluminum windows & doors



3 Glass



4 Aluminum Cladding



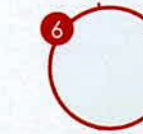
reference images



5 Aluminum Spandrel Panel



6 Glazed Balustrades



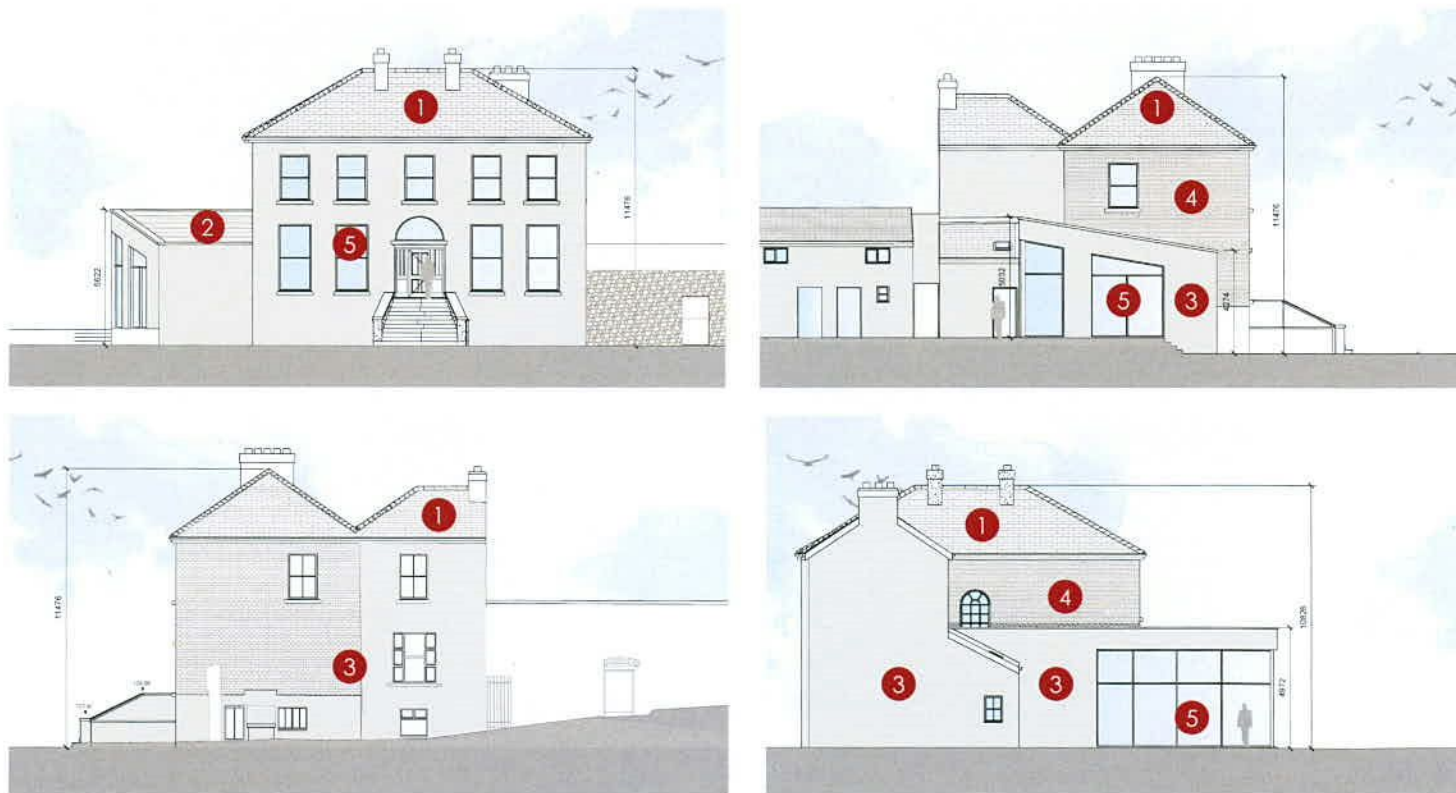
MATERIALS PALETTE - PROSPECT HOUSE

A high quality palette of materials will be used throughout this development.

Prospect House original materials will be kept and metal roof finish and grey render will be used on the new extension in order to achieve a visual hierarchy towards the protected old house. The choice of extension materials is in keeping with other historic and modern residential housing and apartment development in the locality in order to create a development rooted in its context. The extension will also be characterised by the large scale fenestration and detailing in a modern aesthetic for reasons of long term durability.

Materials selected are of high quality, low maintenance and durable. The materials and external design make a positive contribution to the locality.

Note: All cappings to external materials will be detailed appropriately to prevent any staining from rainwater run off.



IMAGES: Prospect House Elevations

1 Slate / Tile Roof Finish



2 Metal Roof Finish



3 Selected Render Finish



4 Slate Cladding



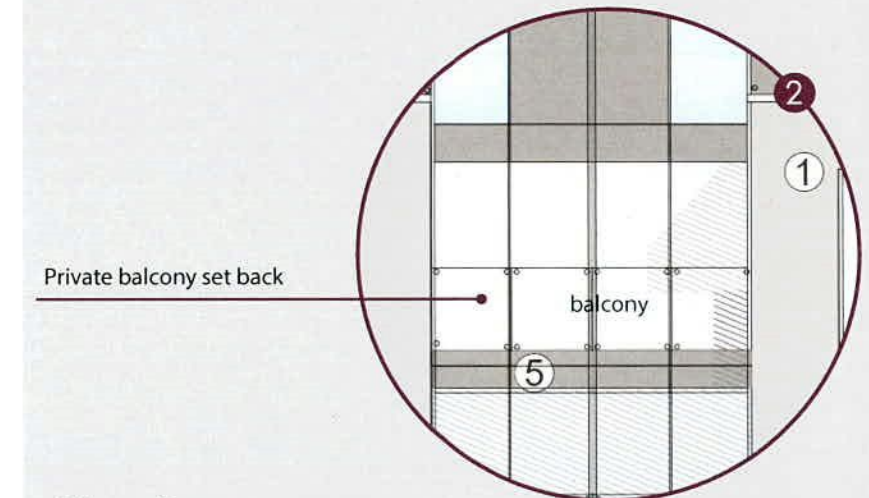
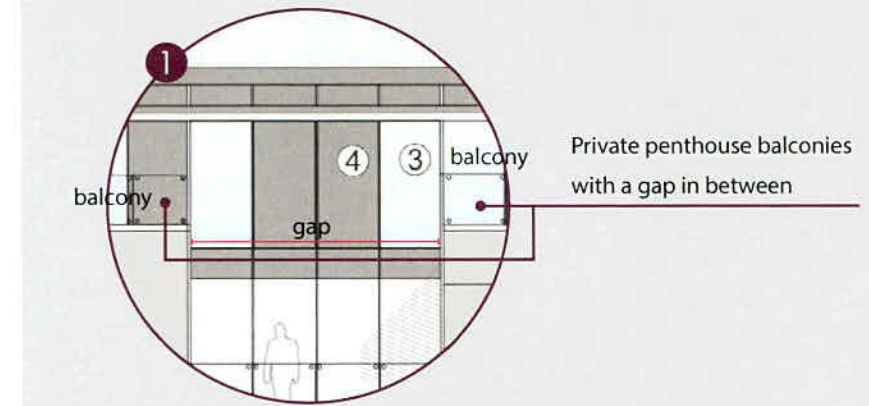
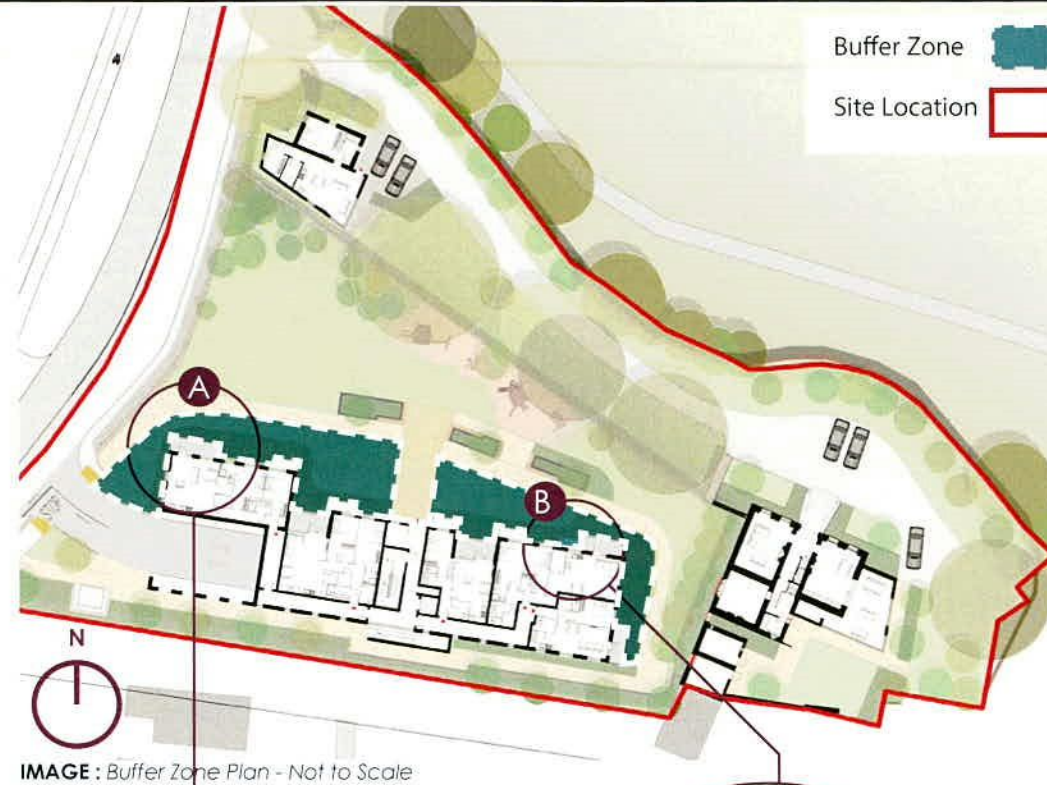
5 Glazing Windows and Doors



PRIVACY AND AMENITY

Prospect House and The Gate Lodge will be provided with their own private external area together with a buffer planed zone, in order to confer privacy to their residents. A separate entrance from the block of apartments and the existing southern division wall will with a landscaped area address privacy to the two buildings.

Apartments have been provided with private balconies in accordance with the Sustainable Urban Housing: Design Standards for New Apartments Guidelines. Some of the balconies provided exceed the minimum requirements. Private terraces/balconies located at ground floor level will be screened by a planted buffer zone/privacy strip to ensure that residential amenity is visually protected yet ensuring that visual surveillance of the communal courtyard is enhanced, in order to create a safe environment for visitors and residents.



Balcony references



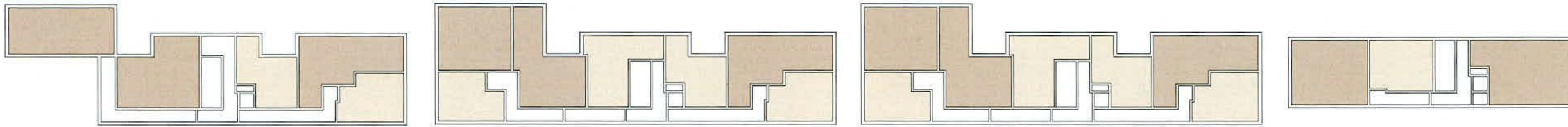
DWELLING MIX

GROUND FLOOR PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

PENTHOUSE PLAN



IMAGES: Dwelling Mix



	No of Apartments	%
01 Bed Apartment	11	50
02 Bed Apartment	11	50
TOTAL	22	100

- 01 BED TYPE
- 02 BED TYPE

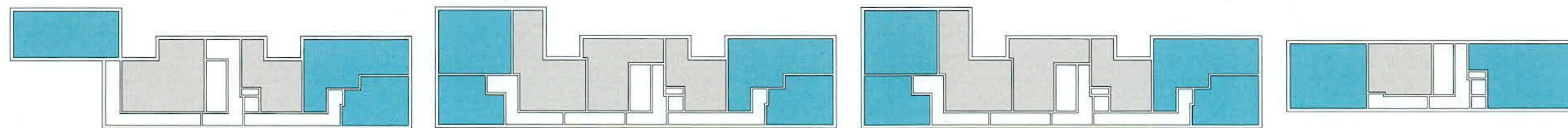
DUAL ASPECT

GROUND FLOOR PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

PENTHOUSE PLAN



IMAGES: Dual Aspect



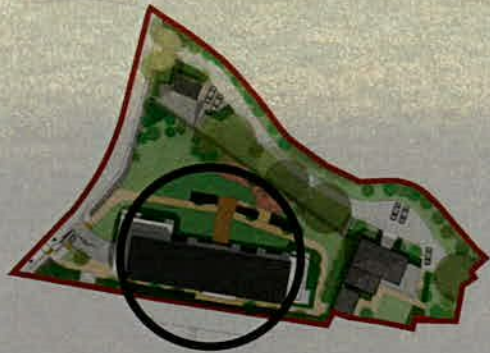
	No of Apartments	%
Single Aspect	09	41
Dual Aspect	13	59
TOTAL	22	100

- SINGLE ASPECT
- DUAL ASPECT

APARTMENTS

An apartment block comprising 22 units is now proposed within the grounds of Prospect House.

- Entrance to the development to the south west corner of the site - preserving the old stone wall to Stocking Lane.
- A direct ramp access to basement car park away from the garden is provided
- The walled garden remains free for landscaping and activity without the incorporation of a ramp
- Scale: a series of 3 contemporary style panels is proposed to the apartments block, each related in scale and proportion to the existing protected house with clear distinguishable parapet heights sitting in the garden as pavilions.
- The proposal would also screen ad-hoc residential development to the rear





APARTMENT GUIDELINES (2020)

According to the Design Standards for New Apartments - Guidelines 2020, the proposed scheme is defined as follows in terms of:

- **Location:**

"2) Intermediate Urban Locations

Such locations are generally suitable for smaller-scale (will vary subject to location), higher density development that may wholly comprise apartments, or alternatively, medium-high density residential development of any scale that includes apartments to some extent (will also vary, but broadly >45 dwellings per hectare net), including:

- Sites within or close to i.e. within reasonable walking distance (i.e. up to 10 minutes or 800-1,000m), of principal town or suburban centres or employment locations, that may include hospitals and third level institutions;
- Sites within walking distance (i.e. between 10-15 minutes or 1,000-1,500m) of high capacity urban public transport stops (such as DART, commuter rail or Luas) or within reasonable walking distance (i.e. between 5-10 minutes or up to 1,000m) of high frequency (i.e. min 10 minute peak hour frequency) urban bus services or where such services can be provided;
- Sites within easy walking distance (i.e. up to 5 minutes or 400-500m) of reasonably frequent (min 15 minute peak hour frequency) urban bus services.

- **Housing Mix:**

"Specific Planning Policy Requirement 1

Housing developments may include up to 50% one-bedroom or studio type units (with no more than 20-25% of the total proposed development as studios) and there shall be no minimum requirement for apartments with three or more bedrooms. Statutory development plans may specify a mix for

apartment and other housing developments, but only further to an evidence-based Housing Need and Demand Assessment (HNDA), that has been agreed on an area, county, city or metropolitan area basis and incorporated into the relevant development plan(s)."

current application proposal: 40 total apartment units | 20 2bed apartments (50%) + 20 3bed duplex apartments (50%)

- **Apartment Design Standards:**

1) Apartment Floor Area - Specific Planning Policy Requirement 3

- | | |
|---|---|
| • Studio apartment (1 person) 37 sq.m | not provided on this scheme |
| • 1-bedroom apartment (2 persons) 45 sq.m | smallest area for 1-bed apts. on this scheme: 45.6 sq.m |
| • 2-bedroom apartment (4 persons) 73 sq.m | smallest area for 2-bed apts. on this scheme: 73.7 sq.m |
| • 3-bedroom apartment (5 persons) 90 sq.m | not provided on this scheme |

2) Safeguarding Higher Standards

"The majority of all apartments in any proposed scheme of 10 or more apartments shall exceed the minimum floor area standard for any combination of the relevant 1, 2 or 3 bedroom unit types, by a minimum of 10% (any studio apartments must be included in the total, but are not calculable as units that exceed the minimum by at least 10%)"

current application proposal: 23% of units exceed the minimum floor area standard (5 apt units)

3) Dual Aspect Ratios - Specific Planning Policy Requirement 4

"In relation to the minimum number of dual aspect apartments that may be provided in any single apartment scheme, the following shall apply:

- (i) A minimum of 33% of dual aspect units will be required in more central and accessible urban locations, where it is necessary to achieve a quality design in response to the subject site characteristics and ensure good street frontage where appropriate in.[...]"

current application proposal: 54% of units are dual aspect (12 apt units)

SOFTSCAPE | PLANTING PALETTE

The aim is to provide an attractive visual amenity environment for the proposed development giving the scheme generous greenery. A mix of planting shall ensure the users will enjoy the garden in all seasons.

TREES

- 01 - *Acer pseudoplatanus*
- 02 - *Carpinus betulus*
- 03 - *Fagus sylvatica*
- 04 - *Malus sylvestris*
- 05 - *Ilex aquifolium*
- 06 - *Sorbus acuparia*
- 07 - *Tilia pallida*
- 08 - *Betula pubescens*
- 09 - *Crataegus 'Prunifolia'*
- 10 - *Amerlanchier lamarkii*
- 11 - *Quercus robur*
- 12 - *Pinus Sylvestris*
- 13 - *Malus spp. in Var*

WOODLAND MIX (60%)

- 14 - *Corylus avellana*
- 15 - *Rosa canina*
- 16 - *Crataegus monogyna*
- 17 - *Sambucus nigra*
- 18 - *Euonymus europaeus*
- *Malus sylvestris*
- *Sorbus acuparia*
- *Ilex aquifolium*
- *Viburnum opulus*

HERB LAYER PLANTING (40%)

- *Hyacinthoides*
- *Anemone nemorosa*
- *Primula vulgaris*
- *Viola riviniana*
- *Dryopteris affinis*
- *Polystichum setiferum*
- *Digitalis purpurea*
- *Allium ursinum*

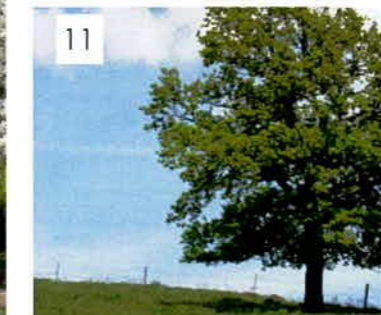
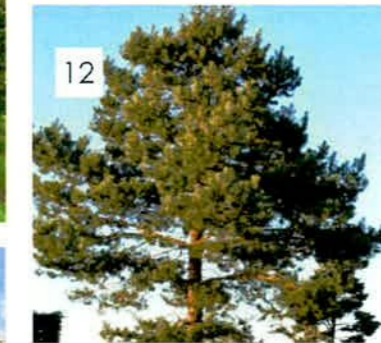
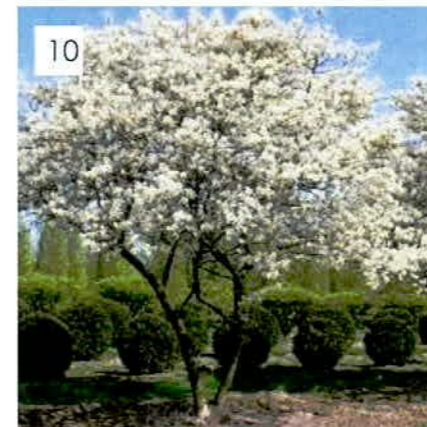
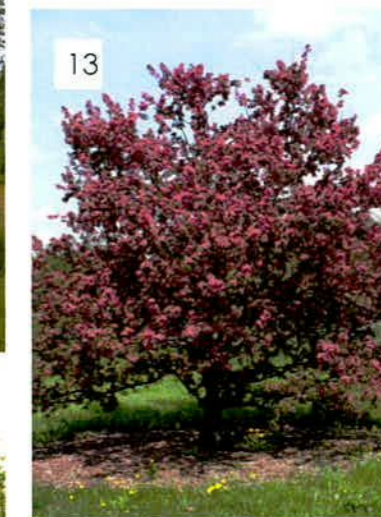
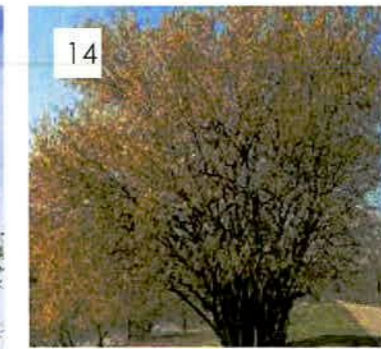
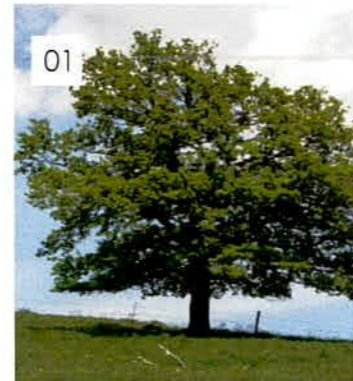


IMAGE: Planting Palette

07 | LANDSCAPE

COMMUNAL OPEN SPACE STRATEGY

The existing landscape character of the development is divided into two aspects.

1. The exiting entrance, The Gate Lodge, house and outbuildings
2. The walled garden

The proposed landscape strategy:

- 1 The existing period Georgian house, The Gate Lodge and outbuilding shall be retained within its existing parkland setting. Additional native parkland specimen trees shall be planted to mitigate losses of any mature trees in future.
- 2 The proposed walled garden shall be developed with all existing stone walls being retained and replanting of Malus spp. in varieties to mitigate the loss of existing fruiting trees.
- 3 A formal garden space shall be included to reflect the period Georgian house.
- 4 Large planters shall be incorporated to accommodate cross ventilation to basement whilst providing communal space and seating for residence.
- 5 To the north of the development within the walled garden a natural play area is located with several play equipment pieces.



play area reference images



06 | PUBLIC REALM

OBJECTIVES

The proposed development intends to achieve as public realm:

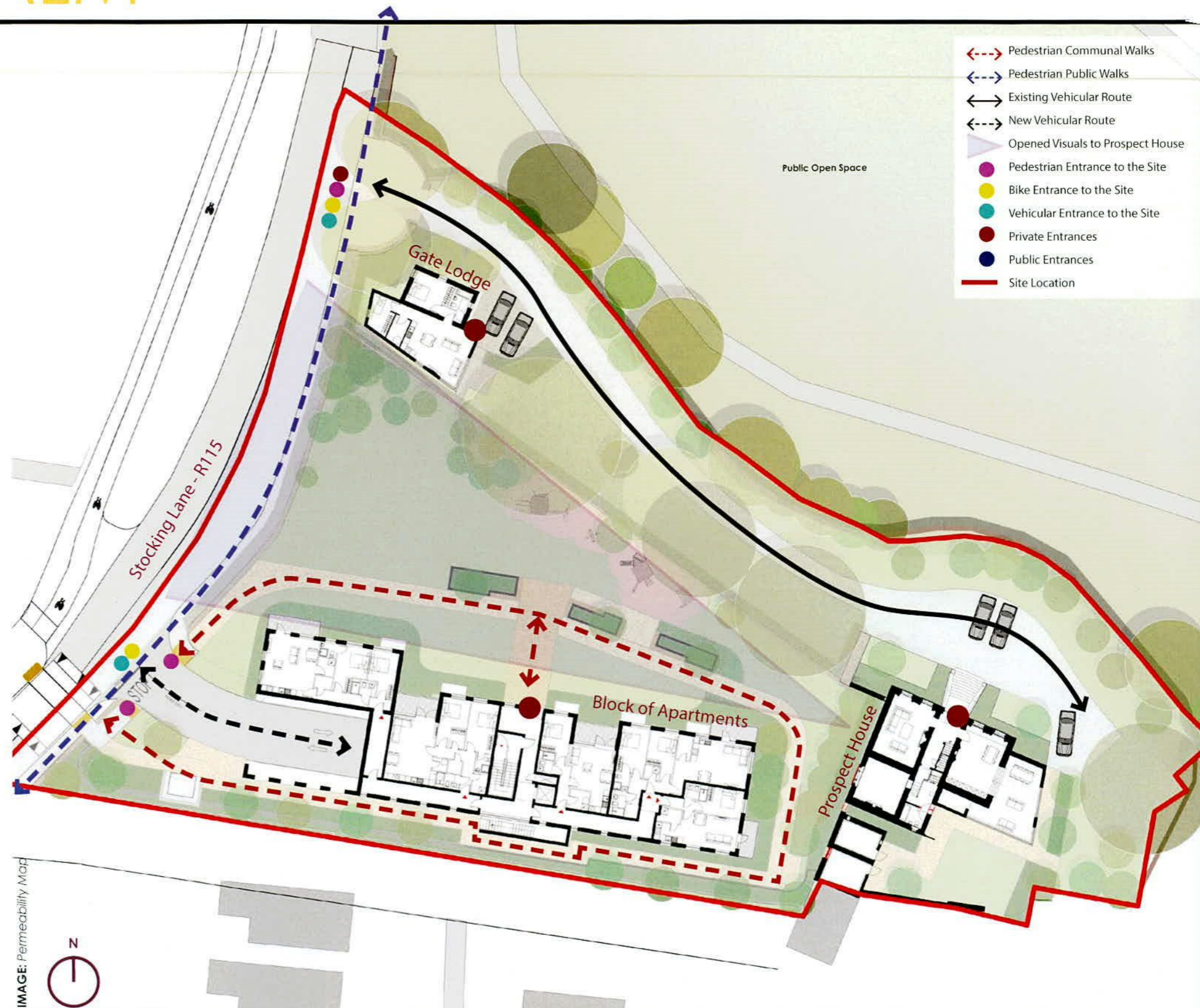
- 1) Encouraging pedestrian activity along the existing western footpath
- 2) Offering passive surveillance
- 3) Giving the Prospect House a suitable residential use and density
- 4) Respecting the visual hierarchy and dominance of Prospect House along the site and its external views

1) The two new proposed entrances in western protected boundary wall - a car/bike entrance at the south part and one pedestrian entrance at the middle of it - will increase pedestrian activity along the existing footpath

2) The proposed block of apartments will also increase passive surveillance along the site and its surroundings

3) Prospect House will be turned into a single-family residential use with a contemporary extension to the side, being suitable for all family and age demographics

4) The proposed site layout ensures that the existing visual hierarchy to Prospect House will be preserved and the protected structure will be visually integrated to the internal and external contextual urban layout.





IMAGES: South Faced Courtyard





IMAGES: Internal CGIs - Glazed extension



PROSPECT HOUSE

The reintegration of the house to its surrounding site is proposed with a sensitive addition to the east and rear of Prospect House. The proposed use for the house is that of a single family dwelling over all floors.

The separation of the house into individual apartments as per the previous application will now revert back to maintain the protected structure as one family unit with a garden connected to its living space taking advantage of the houses split levels.

New features to the Prospect House:

- Conversion of the front room with large windows into a family kitchen with breakfast table
- Proposed Glazed extension to a new Living area
- South facing private courtyard
- Removal of sheds and existing Coach House to be maintained

Basement Area	138 sq.m
Ground Floor Area	165.45 sq.m
First Floor Area	129.8 sq.m
TOTAL	433.25 sq.m
Private Rear Garden	232.5 sq.m



IMAGE : Prospect House + Proposed Intervention

PREVIOUS APPLICATION



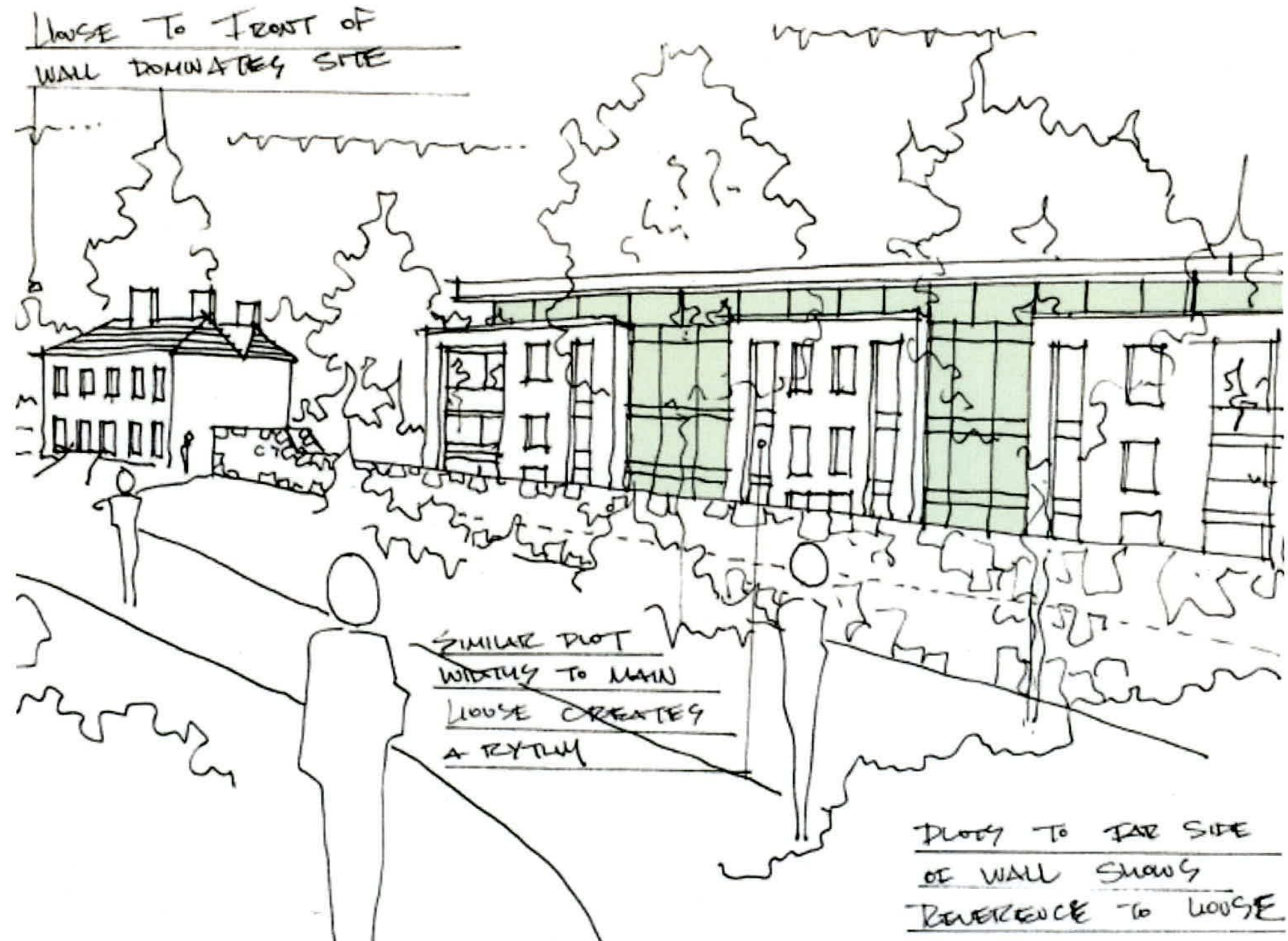
CURRENT APPLICATION



The apartment building acts as a bookend in this proposal for the site along Stocking Lane. It also forms an edge to the landscaped garden within the development.

When viewed from Stocking Lane the apartment building is significantly reduced in bulk preserving the view of Prospect House and not obscuring the west elevation of Prospect House.

This allows the house to stand as the authoritative structure over its fan shaped undisturbed garden with the apartment building set back out of its way. The Gate Lodge is also low in scale on the other side of the south to east wall which bisects the site.



PREVIOUS APPLICATION

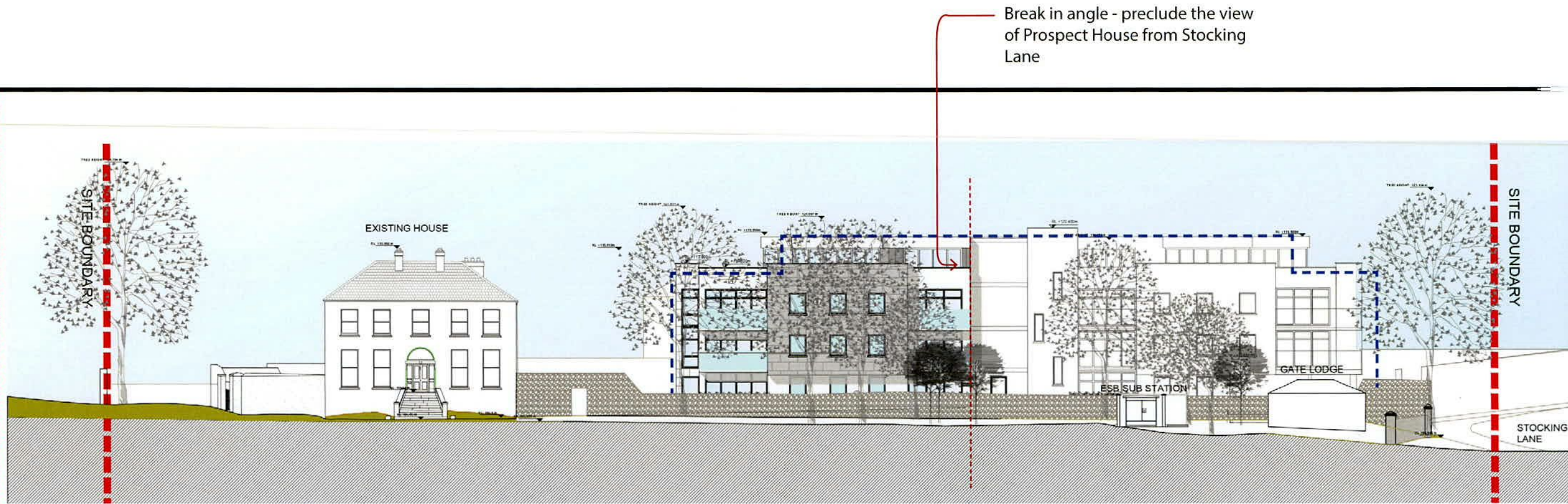


IMAGE : Site Section of Previous Refused Application - Prospect House + Block of Apartments

Current Proposed Application Elevational Polygonal

CURRENT APPLICATION

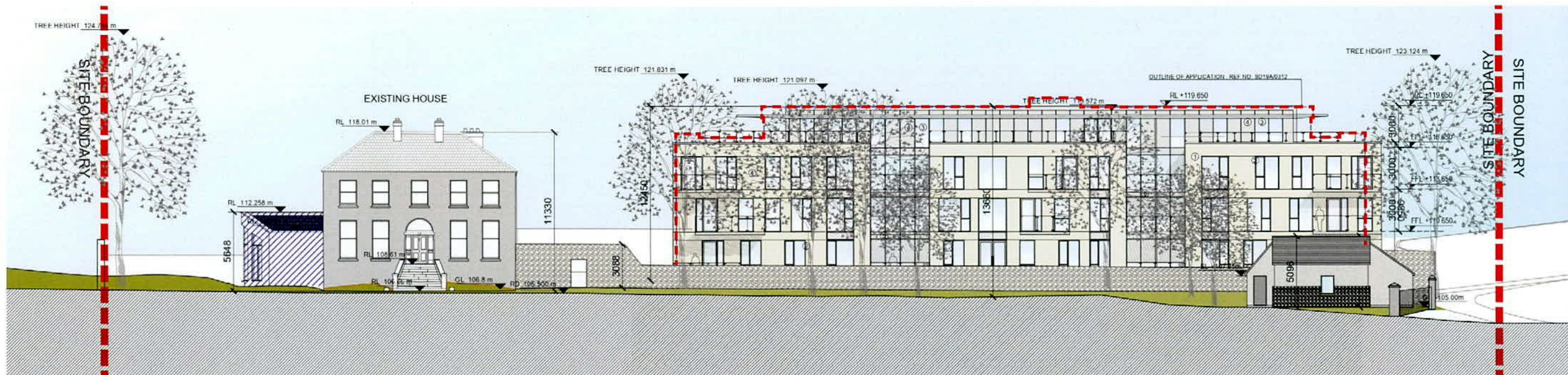


IMAGE : Proposed Site Section of Current Application - Prospect House + Block of Apartments

Refused Application Elevational Polygonal

The proposed scheme is significantly smaller in bulk and layout with a single line of apartments as opposed to a double row of apartments from the previously refused scheme.

A slimline revised plan is proposed in order to preserve the dominance of the existing protected structure on the site preserving the hierarchy of the house in the setting as it stands over the large uninterrupted west facing fan shaped garden.

Within views from the adjacent open space and the site itself, the proposed block would have a subservient relationship with Prospect House due to its siting, scale and appearance.

The proposal would also screen ad-hoc residential development to the rear, thereby improving the setting of the Protected Structure.



IMAGE: Concept Sketch – Relationship between proposed new block and Prospect House

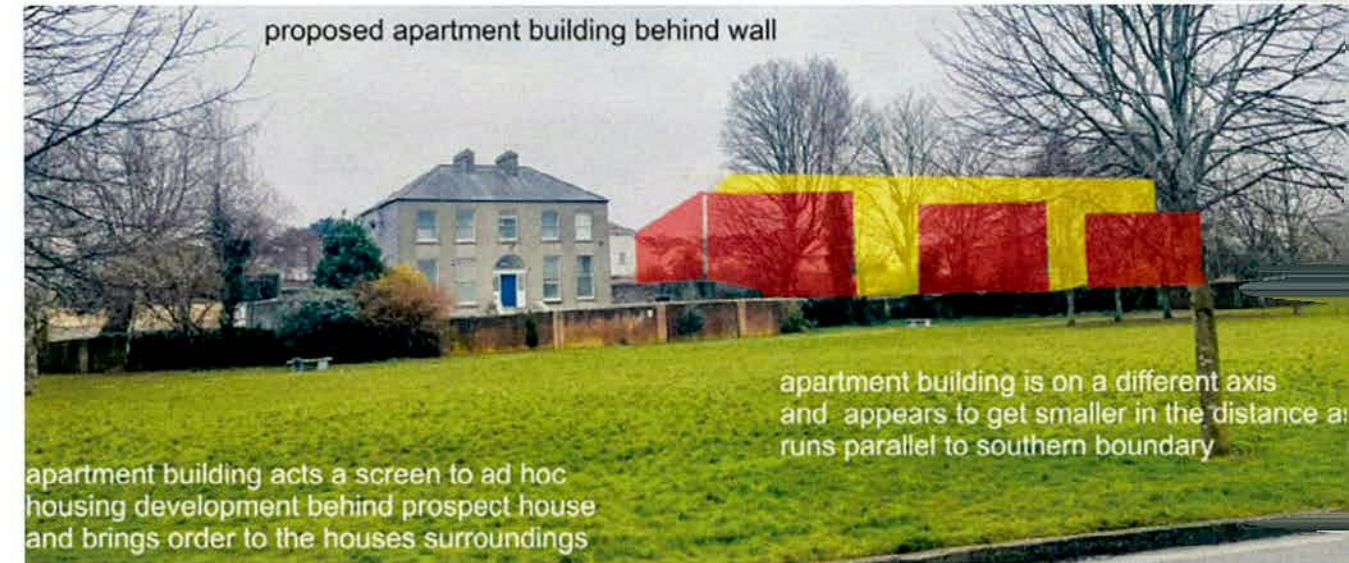


IMAGE: New Volumetric Concept

We propose to relocate the entrance to the development to the south west corner of the site preserving the old stone wall to Stocking Lane. This allows us to provide for a direct ramp access to basement car park away from the garden and keeps the walled garden free for landscaping and activity without the incorporation of a ramp.

BUILDING HEIGHTS

IMAGE : Building Heights Map

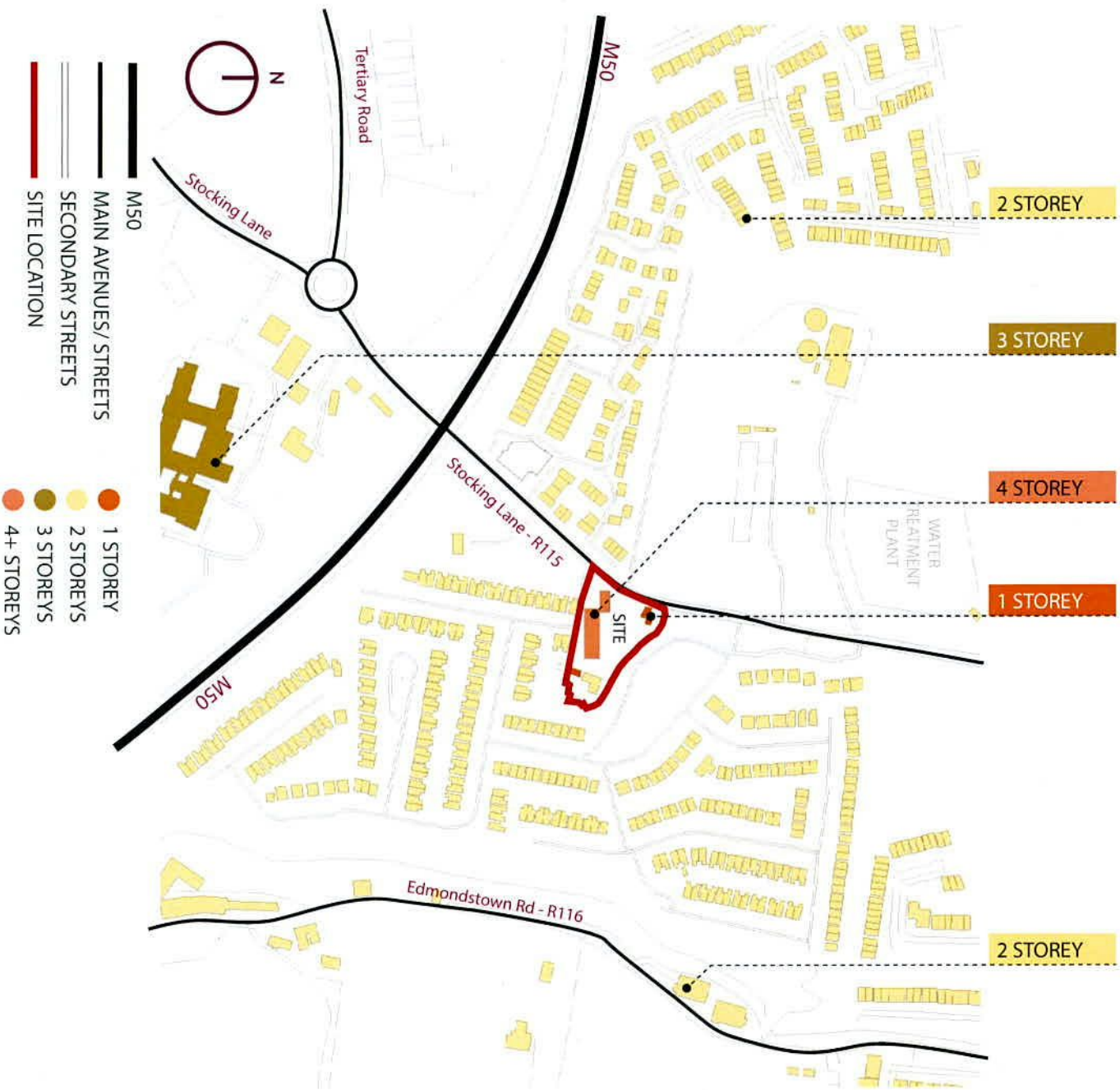


IMAGE : Building Heights 3D



PEDESTRIAN CONNECTIONS

Connections matter not only in the way they integrate a development site within its context, but also in the way they provide an inclusive access within the site itself. Considering that the subject site is designed to include a new development scheme and a renovation/extension project to a protected structure and its outbuildings, connections between new and old are of considerable importance.

As it can be seen in the Figure to the right, the existing entrance from Stocking Lane to Prospect House currently provides access to the site for both pedestrians and vehicles. This route will be retained as a vehicular access point for the house and facilitates car parking for both Prospect House and The Gate Lodge. The new vehicular entrance from Stocking Lane will provide access to the basement car parking proposed for the development. Safe pedestrian access to and from the Block of apartments for residents will be facilitated by the proposed new entrance directly onto Stocking Lane, which will reduce any encroachment on the existing setting of the walled garden.

The landscaped open spaces within are designed for pedestrians, providing walkways which connect all parts of the site to each other. The existing pedestrian entrance to the walled garden and the new opening in the existing western wall provide pedestrian permeability throughout the site and beyond, and promotes the visibility of the House from Stocking Lane.





IMAGE: Prospect House Views



IMAGE: Prospect House Views



1 Garretstown House, Stocking Lane - **Reg. Ref. SD20A/0170 - GRANTED**

Applicant: Rosemount Properties Limited

Decision date: 18/12/2020

Description: (i) Demolition of existing 2-storey dwelling, Garretstown House; (ii) Construction of 24 terraced houses, comprising 8 2-bedroom, 2 storey houses; 8 3-bedroom, 2 storey houses; and 8 4-bedroom, 2 storey houses with attic level accommodation; Vehicular and pedestrian access from Stocking Lane; Car parking, public open space, and all associated site works and services.

A third-party appeal is in progress (ABP. Ref. ABP-309307-21).

2 Lands to the east of Stocking Lane - **Reg. Ref. SHD3ABP-308763-20 - REFUSED**

Applicant: MacCabe Durney Barnes Ltd.

Decision date: 25/03/2021

Description: 131 residential units including: 21 houses, 51 duplex apartment units in seven blocks of up to three-storeys, 59 apartment units in three apartment blocks up to four-storeys; A creche of c. 128sq.m at the ground floor of Block L; A shop of c. 65sq.m at the ground floor of Block G, with associated storage; A total of 167 car parking spaces, of which: 88 are at surface level and 79 in the basement under apartment Blocks F and G, 5 are dedicated visitor parking spaces; A total of 288 cycle parking spaces and 5 motorcycle spaces; A new vehicular access onto Stocking Lane; A new vehicular and pedestrian/cycle access to the Springvale estate to the east; New roads, footpaths and cycle paths and connections within the site; A new pedestrian crossing on Stocking Lane to the north west; The expansion and upgrade of the existing pedestrian crossing on Stocking Lane to the south west; The development also includes landscaped private and public open space, boundary treatment, lighting, play area, an ESB substation, site drainage works and all ancillary site development works above and below ground on a site of c.2.47ha.

A revised scheme is likely to soon be submitted and, given the positive nature of the Inspector's report, will likely be permitted. Upon approval, the associated retail space which forms part of the scheme will benefit future residents of the proposed Prospect House development.



IMAGE : Reg. Ref. SD20A/0170 Site Layout Plan



IMAGE : Reg. Ref. SHD3ABP-308763-20 Site Layout Plan



IMAGE : Reg. Ref. SD15A/0017 Site Layout Plan

3 Lands at junction at Scholarstown Road and Stocking Lane - **Reg. Ref. SD15A/0017 - GRANTED**

Applicant: Broadcrest Ltd.

Decision date: 20/03/2005

Description: 10 year permission for a residential development consisting of 317 dwelling units (247 houses and 70 apartments) and 223sq.m. crèche including two vehicular accesses from Scholarstown Road and one vehicular access from Stocking Lane, all associated site and infrastructural works including foul and surface water drainage, 599 car parking spaces (534 surface and 65 underground), landscaping and public open space, boundary walls and fences, roads, cyclepaths and footpaths . The development consists of 247 houses (detached, semi-detached, terraced and end-terrace two and three storey units) and 70 apartments (Block A, B and C) to be provided as follows: (i) 6no. 2 bed terrace and end terrace houses (Type 3C and 3D), (ii) 124 3 bed terrace, end-terrace and semi-detached houses (Type 1A, B & C; 3A, B & E and 4A, B & C); (iii) 102 4 bed terrace, end-terrace, semi-detached and detached houses (Type 2A, B, C, D & E and Type 5); (iv) 15 5 bed detached houses (Type 6); (v) 14 1-bed apartments, 51 2-bed apartments and 5 2-bed with study apartments in 3 4 storey apartment blocks (Block A, B [both over basement] & C); (vi) a ground floor crèche with a gross floor area of 223sq.m. within Block C all on a site of approx. 9.77 hectares located south of Scholarstown Road, west of Stocking Lane, north of Ballyboden Waterworks and east of Woodfield Ballyboden.

Much of the scheme has already been built out.

Permission was refused on 27th November 2019. Four primary reasons for refusal were set out in the decision notice, which can be summarised as follows:

- 1) *The proposed development constitutes overdevelopment.*
 - a. *The apartment building is over-dominant in terms of height, scale and massing,*
 - b. *development located within the walled garden would overshadow Prospect House,*
 - c. *The removal of the boundary wall on Stocking Lane would harm the character of the site and area.*
 - d. *The proposed apartments when viewed from Stocking Lane would have a negative visual impact on the Protected Structure and its setting,*
 - e. *The development within the original walled garden result in the loss of original features and the relationship between Prospect House and its formal setting.*
- 2) *The proposed public open space would not comply with planning policy objectives and would represent a poor standard of urban design.*
- 3) *As no Noise Impact Assessment and Mitigation Plan was submitted, insufficient detail was lodged to determine whether the proposal would provide acceptable living conditions for future occupants.*
- 4) *The proposed basement apartment within Prospect House would provide poor outlook and natural light for future occupants. Comply with the Council's policies in relation to noise.*



IMAGE : Refused Planning Application Contiguous Elevation - Reg Ref: SD19A/0312



IMAGE : Refused Planning Application CGI - Reg Ref: SD19A/0312

The house extends to 280 sqm and is in good condition throughout, with gas fired central heating, and comprising of a Hall, Sitting Room, Dining room, Study, Kitchen, Scullery, Utility, Two Bathrooms and Four Bedrooms.

According to the City Development Plan, all development proposals within the curtilage of protected structures is to adhere to the following objectives of the Development Plan;

HCL2 Objective 1:

To favour the preservation in-situ of all sites, monuments and features of significant historical or archaeological interest in accordance with the recommendations of the Framework and Principles for the Protection of Archaeological Heritage, DAHGI (1999), or any superseding national policy document.

HCL2 Objective 2:

To ensure that development is designed to avoid impacting on archaeological heritage that is of significant interest including previously unknown sites, features and objects.

HCL2 Objective 3:

To protect and enhance sites listed in the Record of Monuments and Places and ensure that development in the vicinity of a Recorded Monument or Area of Archaeological Potential does not detract from the setting of the site, monument, feature or object and is sited and designed appropriately.

HCL2 Objective 4:

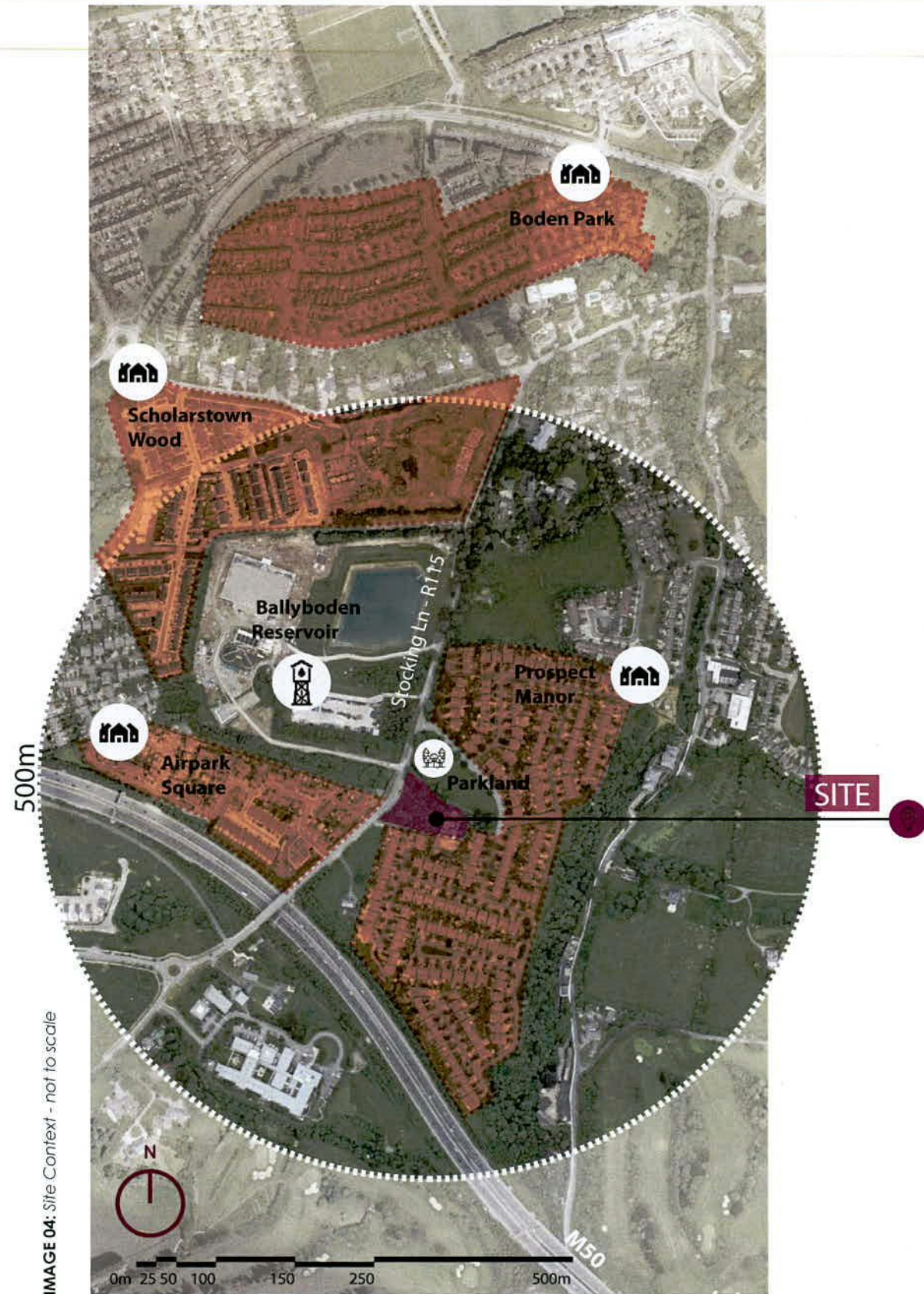
To protect and preserve the archaeological value of underwater archaeological sites including associated features and any discovered battlefield sites of significant archaeological potential within the County.

HCL2 Objective 5:

To protect historical burial grounds within South Dublin County and encourage their maintenance in accordance with conservation principles.



IMAGES: External Photos of the Prospect House



Prospect Manor, red brick, 2-storey pitched roof houses



Airpark Square part brick 2 & 3-storey terraced houses



Scholarstown Wood part brick, 2 & 3 storey terraced and semi detached houses and apartments



POLICY CONTEXT

The site is located within the administrative area of South Dublin County Council. The South Dublin Development Plan sets out the policies and objectives for sustainable development within the area.

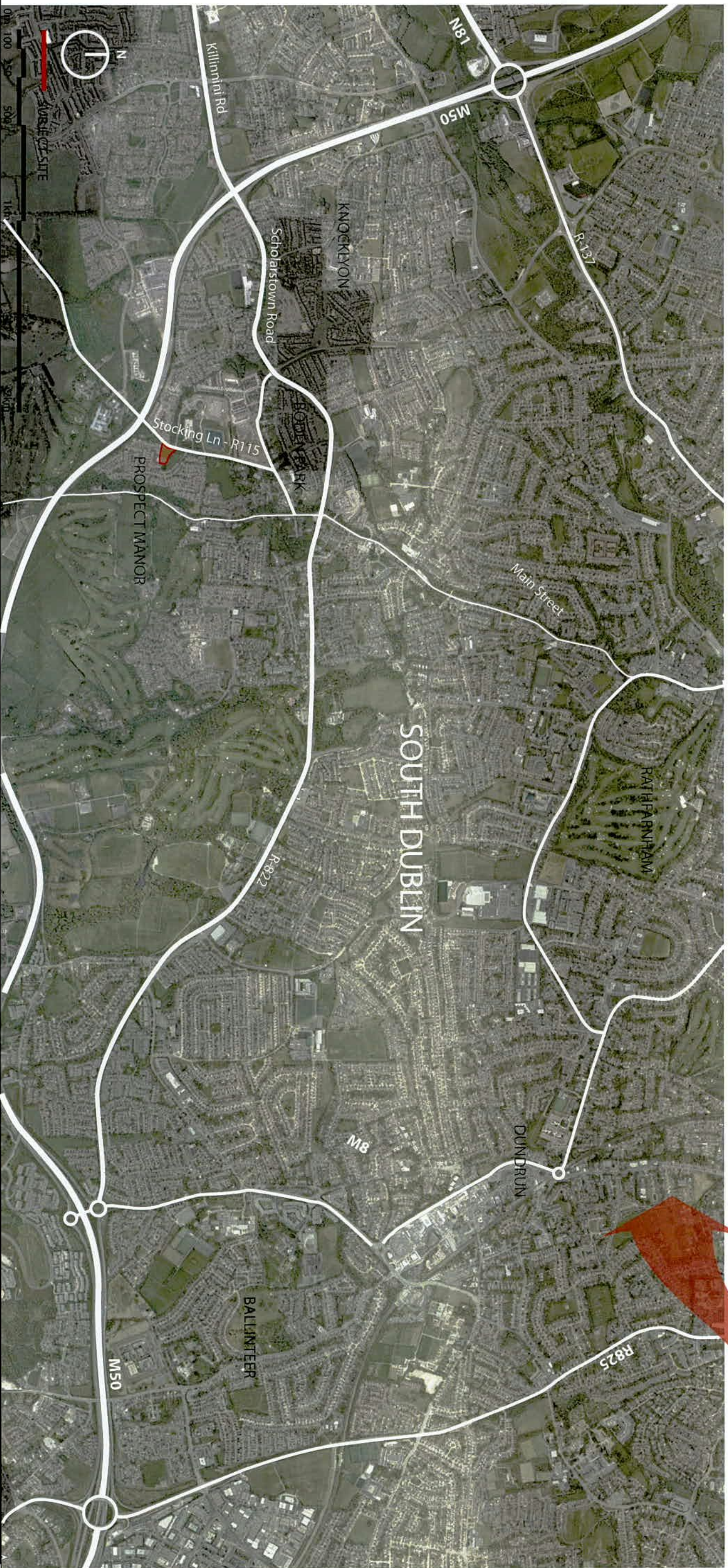


IMAGE: Policy Context

INTRODUCTION AND GENERAL DESCRIPTION

The subject site, which extends to approximately 5,100 square metres (0.51 hectares) and is an irregular triangle shape, is located on Prospect House, Stocking Lane, Rathfarnham, Dublin 16. The site is located within the Dublin suburban area and is just minutes away from Rathfarnham Village centre. The site comprises an existing House with a stone perimeter wall which are on the record of Protected Structures, and the site is further defined by a walled garden to the west of the house and yard to the south.

As it can be seen in image to the right, the site is approximately 10 kilometres far from the Dublin city centre and is located within the functional area of South Dublin County Council.

Prospect House - Residential Development

No of Units	22 apartments (2 Part V) + 2 dwellings
Building Height	1-4 Storeys
<u>Total Subject Site Area</u>	0.51 (ha)
Development Gross Area	3,247 sqm
Development Plot Ratio	0.64
Total Public Open Space	-
Density (Units per ha)	47
Car Parking Spaces	25
Bicycle Parking Spaces	40
Motorbike Parking Spaces	2

IMAGE : Dublin Map with Location and Distance Radius

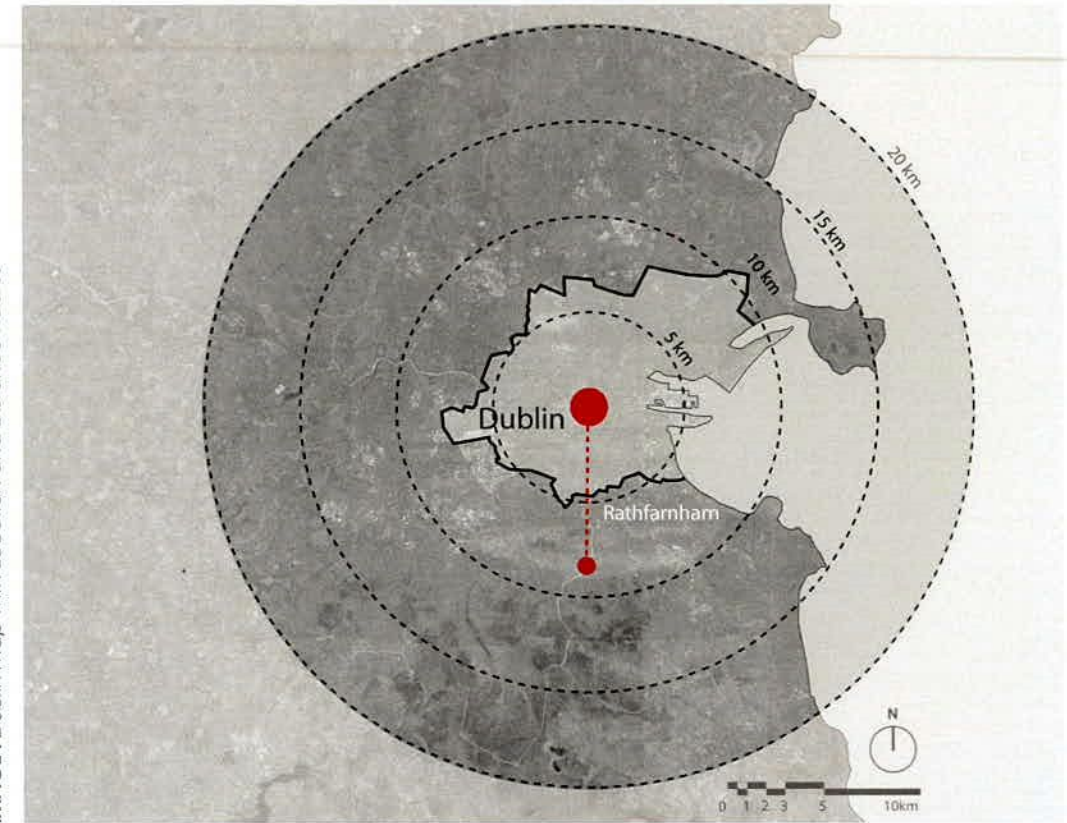


IMAGE : Proposed Site Plan - Not to Scale



— Subject Site Area

01 | INTRODUCTION

PURPOSE OF URBAN DESIGN STATEMENT

This document is being submitted to South Dublin County Council to outline Downey Architecture's approach to the delivery of a residential project on lands at Prospect House, Stocking Lane, Rathfarnham, Dublin 16,

The purpose of the urban design statement is to support planning applications, demonstrating how a proposal contributes to the creation of place, responds to its context, contributes towards the development of a legible and permeable urban form which is focused on public and sustainable transport and strengthens existing communities and neighbourhoods. An urban design-led approach to the development management process ensures that higher standards of design and layouts are fully integrated into proposed developments.

four fundamental themes which have informed the design process and have influenced the final proposed layout of the development. The themes include:

1. Context
2. Connectivity
3. Urban Design
4. Built Form & Architecture

Alongside the four fundamental themes mentioned above, the 12 criteria established in the Urban Design Manual: A Best Practice Guide (see table 1) have also informed and influenced the proposed development and will be considered throughout this document, where applicable and relevant. This approach allowed the proposal to be considered at a range of different scalar levels in order to demonstrate how it will contribute to the creation of a sustainable high-quality urban community which capitalises on its unique context.

The urban design statement considers

THE 12 CRITERIA

- 1- CONTEXT
- 2- CONNECTIONS
- 3- INCLUSIVITY
- 4- VARIETY
- 5- EFFICIENCY
- 6- DISTINCTIVENESS
- 7- LAYOUT
- 8- PUBLIC REALM
- 9- ADAPTABILITY
- 10- PRIVACY AND AMENITY
- 11- PARKING
- 12- DETAILED DESIGN

TABLE 1: Urban Design Manual: A Best Practice Guide (2009)

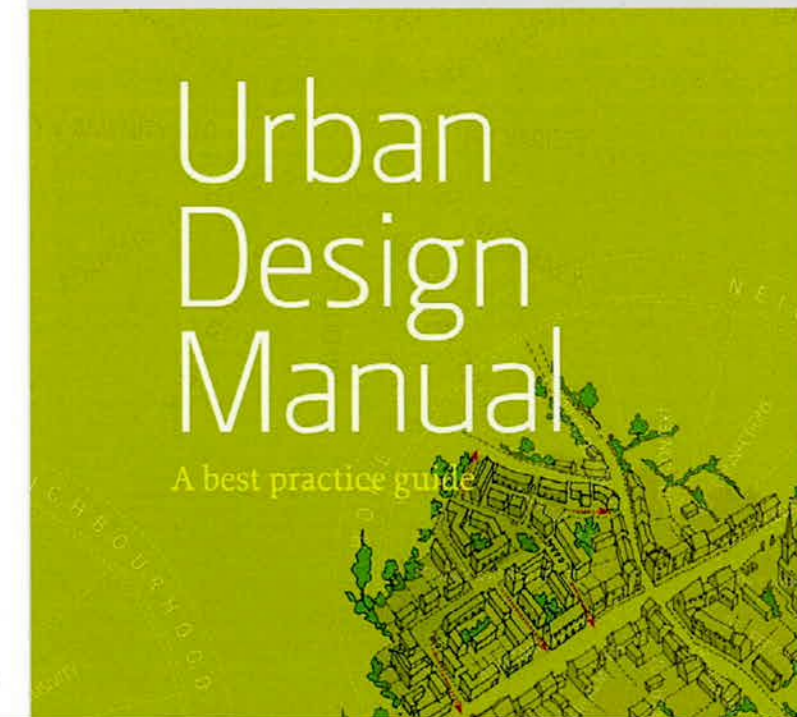


IMAGE: Cover Urban Design Manual: A Best Practice Guide (2009)

Document prepared by

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No. 29 Merrion Square,

D02RW64,

Dublin 2.

On behalf of

MSJA Ltd.

For Lands at

Prospect House, Stocking Lane,

Rathfarnham,

Dublin 16

May 2022

DOWNEY

