

GENERAL NOTES:

DEMOLITIONS:
ALLOW FOR CAREFULLY DEMOLISHING & CARRYING AWAY EXISTING SINGLE STOREY FLAT ROOF GARAGE ROOM/UTILITY/HC TO REAR, & PART SINGLE STOREY FLAT ROOF KITCHEN EXTENSION AS SHOWN DASHED

FOUNDATIONS:
ALLOW FOR 900mm WIDE x 300mm DEEP STRIP FOUNDATIONS REINFORCED WITH 1 LAYER OF A303 WESH (75mm COVER) ON 80mm CONCRETE SCHEDULE TO SINGLE STOREY EXTENSIONS TO FRONT & REAR (ALL FOUNDATIONS SUBJECT TO SUBSOIL INSPECTION & FULL DESIGN BY STRUCTURAL ENGINEERS)

STRUCTURAL STEELWORK:

ALL NEW STRUCTURAL STEEL BEAMS/COLUMNS TO SUPPORT OPENED UP REAR WALL ACROSS GROUND FLOOR LEVEL & THROUGHOUT NEW GROUND FLOOR & ATTIC EXTENSIONS & TO BE SUBJECT TO FULL DESIGN BY STRUCTURAL ENGINEER & TO BE PRIMED & HOUR FIRE PROTECTED PRIOR TO COVERING UP

SUSPENDED TIMBER FLOOR CONSTRUCTION:
NEW 20mm TIMBER FLOOR FINISH TO FUTURE SPEC. ON 150/44 TIMBER JOISTS AT 400mm c/c (WITH 50x25mm BATTENS EACH SIDE FLUSH WITH BTM. OF JOIST), 50mm CONC. SCHEDULE WITH U/FLOOR HEATING PIPEWORK ON 100mm KINGSPAN KOOLTEK K7 PIR INSULATION NOTCHED & FIXED BETWEEN JOISTS ON TREATED TIMBER WALL PLATE ON D.P.C. ON VENTILATED BRICK SLEEPER WALLS ON 150mm TK. CONCRETE FLOOR SLAB (PREP. A142 WESH) ON 1300 GAUGE VISOQUEEN DPM/RAYCON BARRIER LAPPED WITH D.P.C. ON 50mm BLINDING ON MIN 225mm W.C. HARDCORE THROUGHOUT REAR EXTENSION (U-VALUE = 0.217)

EXTERNAL CAVITY WALLS:
100mm SELECTED BRICK OUTER LEAF OR 19mm W/P SAND CEMENT RENDER WITH SELECT PAINTED FINISH ON 100mm KINGSPAN KOOLTEK EXTERNAL LEAF, 100mm CAVITY WITH 60mm KINGSPAN KOOLTEK K8 CAVITY BOARD INSULATION HELD TO THE INTERNAL LEAF WITH STAINLESS STEEL WALL TIES @ 450mm c/c VERT. & 900mm c/c HORIZ. LEAVING 40mm CLEAR CAVITY, 100mm DENSE BLOCKWORK INNER LEAF WITH 62.5mm KINGSPAN KOOLTEK K18 INSULATED DRILLING WITH A 35mm GYPSUM SMOCKOAT PLASTER FINISH (U-VALUE = 0.16)

INTERNAL DRIFT-LIMING TO EXPOSED EXTERNAL WALLS:
25-65mm TREATED TIMBER STUDS AT 400 c/c WITH 12.5mm KINGSPAN KOOLTEK K18 WITH A 35mm GYPSUM SMOCKOAT PLASTER FINISH THROUGHOUT (U-VALUE=0.27)

INTERNAL TIMBER STUD WALLS:
44x100mm TIMBER STUDS @ 400mm c/c WITH NOGINS @ 1/3 HEIGHT, 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION TIGHTLY FITTED BETWEEN STUDS, & FINISHED WITH 12.5mm PLASTERBOARD SLABS EACH SIDE WITH A 35mm GYPSUM SMOCKOAT PLASTER FINISH

PITCHED ROOF CONSTRUCTION (FRONT & REAR):
NEW GREY/BLACK CONCRETE ROOF TILES TO MATCH EXISTING ROOF ON 38x50 S/W TREATED BATTENS ON BREATHABLE MEMBRANE ON MIN. 175x44 S.C.C18 TIMBER BATTENS @ 400mm c/c, & ALL TO ENGINEERS SPEC. WITH 100mm KINGSPAN KOOLTEK K7 PLACED BETWEEN JOISTS & 62.5mm KINGSPAN KOOLTEK K17 INSULATED PLASTERBOARD & PLASTER SKIM FINISH TO U/SIDE OF JOISTS THROUGHOUT (U-VALUE = 0.16)

PARPET WALL OPENING:
ALLOW FOR NEW PARPET WALL FOR REAR EXTENSION, CONTINUOUS D.P.C. THROUGHOUT THE PARPET WALL ALONG THE SIDE/WESTERN BOUNDARY

DORMER ROOF CONSTRUCTION:
ZINC ROOF SHEETING WITH WELTED JOINTS AS INDICATED, ALL LAD TO MANUFACTURERS SPECIFICATION ON BREATHABLE VAPOUR BARRIER ON 19mm W.B.P. PLYWOOD SHEETING ON 150x44 TIMBER CEILING JOISTS AT 300mm c/c LAID TO FALL, 125x44 TIMBER STUDS AT 400mm c/c, ALL TO ENGINEERS DETAILS, WITH 100mm TK. KINGSPAN KOOLTEK K7 LAID BETWEEN JOISTS/STUDS & 65mm K18 INSULATED PLASTERBOARD FIXED TO U/SIDE OF JOIST/STUD (U-VALUE = 0.16)

FASCIA & SOFFITS:
ALLOW FOR WHITE uPVC FASCIA & SOFFT BOARDS WITH CONTINUOUS STRIP VENT ON TIMBER SUBFRAME THROUGHOUT EAVES LEVEL (ALL TO MATCH EXISTING)

RAIN WATER COLLECTION:
ALLOW FOR NEW 125mm WIDE HALF ROUND uPVC GUTTERS & 100mm DIA. PVC CIRCULAR RAIN WATER DOWN PIPES THROUGHOUT NEW EXTENSIONS TO FRONT & REAR

ROOF LIGHTS:
ALLOW FOR 800 x 780 WIDE x 1400mm LONG TO REAR EXTENSION, 1000 x 780 WIDE x 1180 LONG TO SIDE / UTILITY ROOF, & 300 x 780 WIDE x 1400mm LONG / VELUX ROOF LIGHTS COMPLETE WITH ALL FLASHINGS AS REQUIRED, ALL UNITS TO HAVE A U-VALUE OF 1.4W/m²/K

WINDOWS & DOORS:
PROPOSED THERMALLY BROKEN ALUMINIUM & uPVC DOUBLE GLAZED WINDOWS & DOORS BY WINDYS O.S.A., (4:16:4 PLUNGE) LOW-E GLASS, ARGON FILLED TO ACHIEVE A U-VALUE OF 1.1W/m²/K, SAFETY GLASS TO ALL AREAS BELOW +800mm FFL, ALL FINISHED TO SELECTED PAINT COLOUR & COMPLETE WITH APPROVED HINGES & LOCKWORKERS.

WINDOW CILLS:
ALLOW FOR NEW 150mm HIGH CONCRETE WINDOW CILLS THROUGHOUT FRONT & REAR ELEVATIONS WRAPPED IN CONTINUOUS DPC TO ALL PROPOSED OPENS

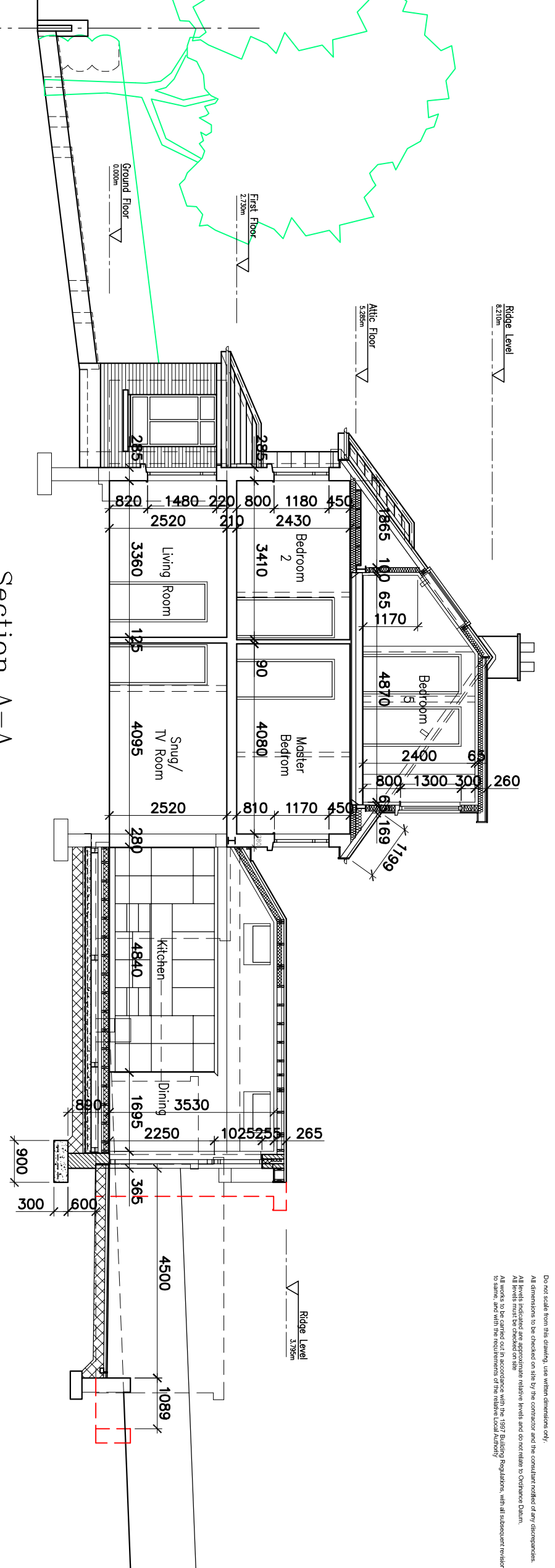
STAIRS:
NEW CLOSED THREAD TIMBER STAIRS FROM FIRST TO ATTIC FLOOR LEVEL COMPLETE WITH 90mm SQ. S.W. POSTS, 25mm SQ. TURNED S.W. TIMBER SPINDLES & OAK HARDWOOD HANDRAIL THROUGHOUT, ALL TO FUTURE DETAIL

JOINERY:
175x20mm TK. MOULDED HARDWOOD TIMBER SKIRTING BOARDS THROUGHOUT ALL PAINTED TO SELECTED COLOUR, 75x20mm TK. MOULDED HARDWOOD TIMBER ARCHITRAVES & WINDOW SURROUNDS ALL PAINTED TO SELECTED COLOUR

SANITARY UNITS:
ALLOW FOR NEW SANITARY UNITS THROUGHOUT GROUND FLOOR SHOWER ROOM, FIRST FLOOR BATHROOM & ATTIC LEVEL BATH-SUITE, WITH ALL UNITS SELECTED BY CLIENT

FITTED KITCHEN & UTILITY:
ALLOW FOR NEW FITTED KITCHEN & UTILITY ROOM UNITS, COMPLETE WITH BUILT-IN ELECTRICAL APPLIANCES, ALL BY SPECIALIST KITCHEN SUB-CONTRACTOR, (FINAL LAYOUT TO BE AGREED & CONFIRMED BY CLIENT/ARCHITECT)

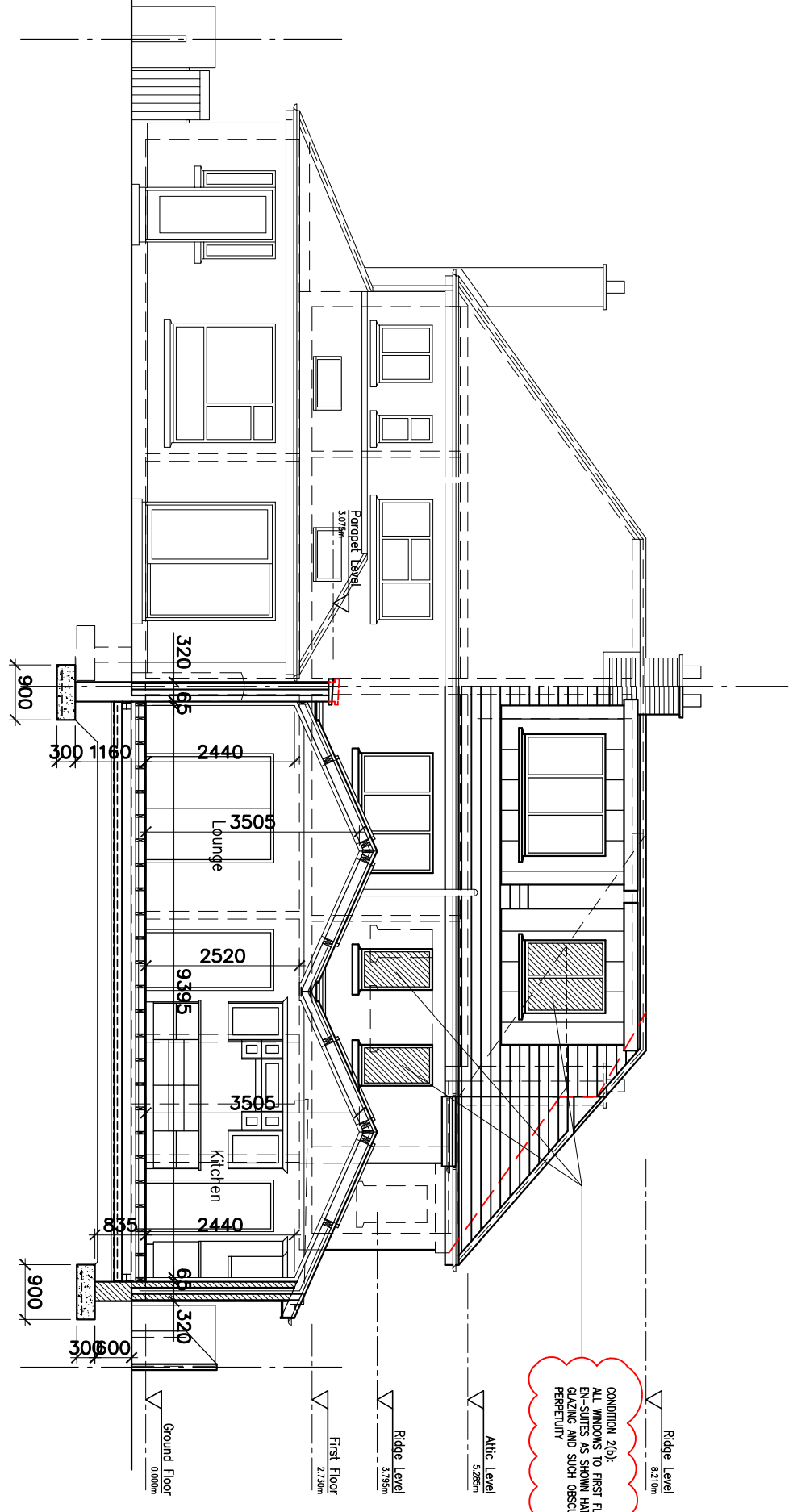
BUILDING REGULATIONS PART L:
FINAL CONSTRUCTED BUILDING TO BE IN FULL COMPLIANCE WITH PART L OF THE 2011 BUILDING REGULATIONS 'CONSERVATION OF FUEL & ENERGY - NEW DWELLINGS'



Section A-A

Notes:
All drawings are the copyright of the consultants (N/A Planning Consultants) and may not be used in whole or in part without their expressed permission in writing.
Do not scale from this drawing, use written dimensions only.
All dimensions to be checked on site by the contractor and the consultant notified of any discrepancies.
All levels indicated are approximate relative levels and do not relate to Ordnance Datum.
All levels must be checked on site.
All works to be carried out in accordance with the 1997 Building Regulations, with all subsequent revisions to same, and with the requirements of the relevant Local Authority

CONDITION 2(b):
ALL WINDOWS TO FIRST FLOOR & ATTIC LEVEL BATHROOM / BATH-SUITES AS SHOWN HATCHED TO BE FITTED WITH OBSCURE GLAZING AND SUCH OBSCURE GLAZING SHALL BE MAINTAINED IN PERPETUITY



Section B-B

COMPLIANCE SUBMISSION

REVISION	NO.	DESCRIPTION	DATE
B		REVISED TO COMPLY WITH CONDITION No.2 - 50218/0563	JUNE '22
A		ALL REVISIONS: REAR EXTENSION & PART REDUCED IN DEPTH OF REAR ROOF & PIP REMOVED FROM TOP OF NEW ATTIC LEVEL DORMER	JAN '22

Niall Jones & Associates
Planning Consultants

PROPOSED EXTENSION & INTERNAL ALTERATIONS AT 69 BALLYROAN CRESCENT, RATHFARHAM, DUBLIN 14 FOR MR FERGUS MCCABE

PLANNING DRAWING: PROPOSED SECTIONS A-A & B-B

SCALE	DATE	DRAWN BY	CHECKED	JOB No.	DRAWING No.	REV
1:50	NOV '21	N.Jones	N.J.	20/258	P.06	B