

ARCHITECTS DESIGN STATEMENT

for

RESIDENTIAL DEVELOPMENT

at



View of Proposed development of Griffeen Valley Park

**HAYDEN'S LANE, LUCAN, CO. DUBLIN
(SDDC Plan Ref: SD21A/0369)**

SUBMISSION TO
SOUTH DUBLIN COUNTY COUNCIL

JUNE 2022

Response to “Clarification of Additional Information”



Plan ref No. SD21A/0359 – an application for the “Construction of a residential development comprising 3 three to five storey blocks of 74 apartments (20 one bed, 48 two bed and 6 three bed) all with associated private balconies / terraces to the north / south / east / west elevations; vehicular and pedestrian access from Hayden’s Lane to the northwest of the site and closure of the second existing vehicular entrance at south west of site all at Hayden’s Lane, Adamstown, Lucan, Co. Dublin”.

South Dublin County Council (SDCC) issued a Request for Further Information (RAI) on 28th February 2022.

The RAI was responded to on 14th April 2022.

SDCC issued a Clarification of Additional Information (CAI) Request on 12th May 2022.

This document is a response to the Architectural items requested in the CAI.

Six copies of full sized scaled revised drawings are included with this submission as follows:

Site Plan

The site plan has been revised. Details of the proposed raised traffic calming platform on Hayden’s Lane has been added. One of the proposed bicycle stores has been relocated to just north of Block 2. The Communal Open Space allocation has been delineated. This is shown also on the landscape plan.

Block 1

There are proposed revisions / enhancements to the Block 1 elevations. This results in very minor changes to the general arrangement block plans. Revised elevations, sections and block plans are included with this submission.

Block 2

Revisions / enhancements have been made as requested to the proposed elevations. There are no changes proposed to the plans submitted at “Additional Information” stage. Revised elevations only are included with the “Clarification of Additional Information” required.

Block 3

To facilitate the removal of all single aspect north facing apartments from the development plans and elevations of Block 3, revised plans and elevations are included with this submission.

Taking in Charge

A drawing at a scale of 1:200 is provided indicating the extent of public footpath along Hayden’s Lane to be taken in charge by South Dublin County Council.

In relation to Additional Information Item 1, the applicant is requested to submit;

- a) Revised documentation and drawing(s) (Proposed Site Plan– Area designation) indicating the total useable communal open space.

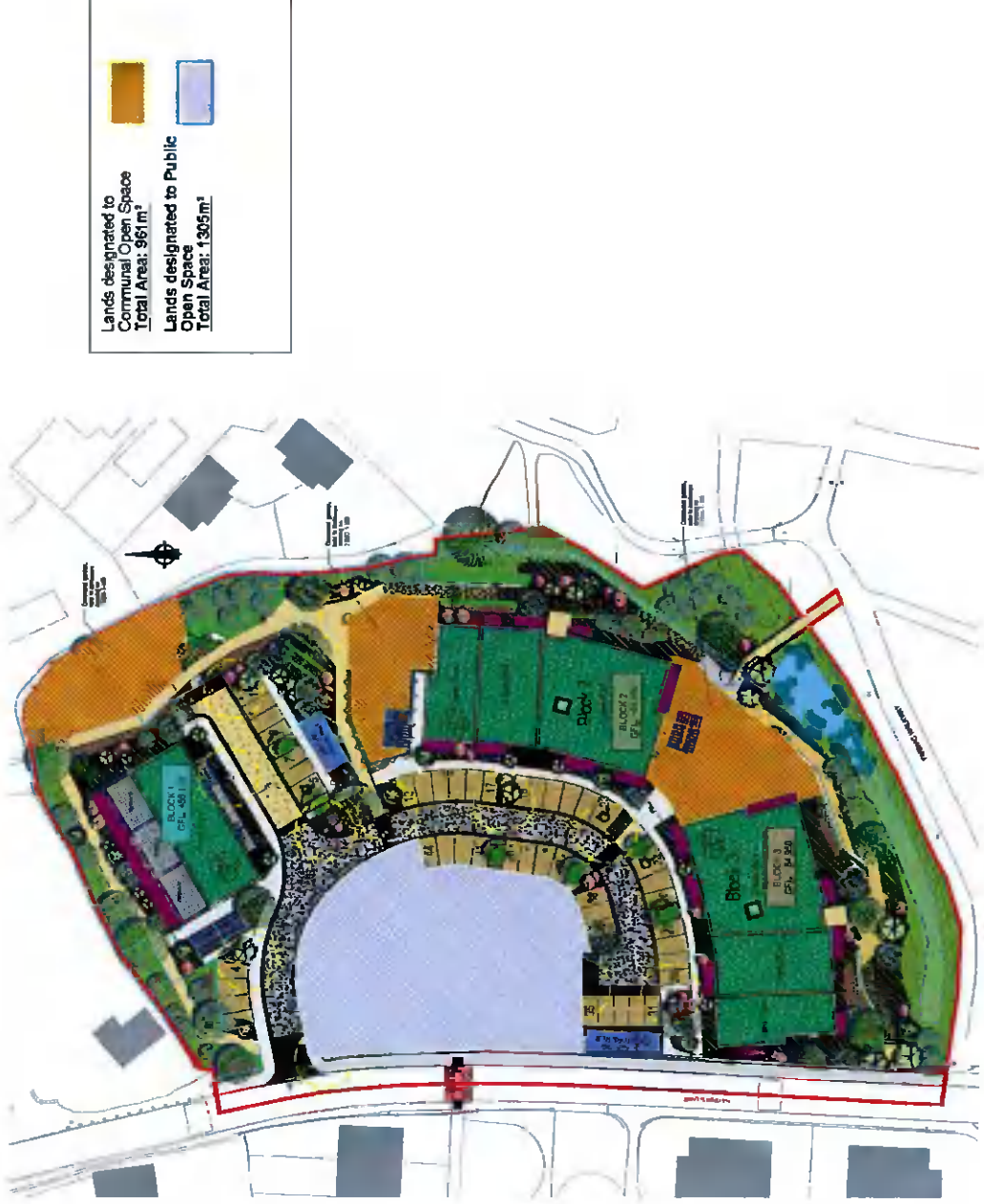
Below is a table indicating the mix of units across the 3 No. blocks in the proposed development. The Communal Open Space required is noted as is the Communal Open Space achieved. The space achieved exceeds the space required. This is indicated on Oppermann Associates drawing No. 006 - 6 No. A3 size copies are included with this submission

Block	1 Bed	2 bed	3 bed	TOTAL	Communal OS Req	Communal OS Provided
Block 1	-	-	6	6	63 sq.m	339 sq. m.
Block 2	10	24	-	34	218 sq.m	250 sq. m.
Block 3	10	14	1	25	157 sq.m	372 sq. m.
TOTALS	20	38	7	65	438 sq.m.	961 sq. m.
%	31%	58%	11%	100%		

Refer to drawing on the following page

In relation to Additional Information Item 1, the applicant is requested to submit;

- a) Revised documentation and drawing(s) (Proposed Site Plan— Area designation) indicating the total useable communal open space.



In relation to Additional Information Item 1, the applicant is requested to submit;
b) A revised Housing Quality Statement accurately reflecting the proposed development.

A revised updated Housing Quality Statement is provided which include revisions driven by the requirements to delete all single aspect north facing units from the proposed development.

RESIDENTIAL DEVELOPMENT AT HAYDEN'S LANE, LUCAN Housing Quality Assessment Jun-22															Block 1		Block 2		Block 3		oppermann associates	
CLARIFICATION OF ADDITIONAL INFORMATION																						
UNIT NO	UNIT TYPE	UNIT DESCRIPTION	UNIT AREA REQUIRED (sq.m.)	UNIT AREA ACHIEVED (sq. m.)	% above minimum required	ASPECT	ORIENTATION	CEILING HEIGHT (Kitchen/Living/Dining)	No. of Bedrooms	No. of Bedspaces	Aggregate Bedroom Area Required (sq.m.)	Aggregate Bedroom Area Achieved (sq.m.)	Main Living Room Width Required (m)	Main Living Room Width Achieved (m)	Aggregate Living Area Required (m)	Aggregate Living Area Achieved (sq.m)	Aggregate Storage Area Required (sq. m.)	Aggregate Storage Area Achieved (sq. m.)	Balcony/Area Required (sq.m.)	Balcony Area Achieved (sq.m.)	Balcony Depth Required (sq.m.)	Balcony Depth Achieved (sq.m.)
BLOCK 1																						
BLOCK 1 - GROUND FLOOR APARTMENTS																						
1	Apt	3 Bed Apartment	90	112.5	25%	Triple	N+S+W	2.8m	3	6	31.5	36.3	3.8	5.5	34	35.2	9	9.8	9	17.3	1.5m	2
2	Apt	3 Bed Apartment	90	121.4	35%	Dual	N+S	2.8m	3	5	31.5	35.5	3.8	6.6	34	47.7	9	10.8	9	16.7	1.5m	2
3	Apt	3 Bed Apartment	90	112.5	25%	Triple	N+S+E	2.8m	3	6	31.5	36.3	3.8	5.5	34	35.2	9	9.4	9	17.3	1.5m	2
BLOCK 1 - DUPLEX UNITS																						
4	Dup	3 Bed Duplex	90	130.8	45	Triple	N+S+W	2.8m	3	6	31.5	37.5	3.8	4.5	34	47.3	9	11.1	9	38.2	1.5m	4.7
5	Dup	3 Bed Duplex	90	130.8	45	Dual	N+S	2.8m	3	6	31.5	36.9	3.8	4.5	34	47.3	9	11.7	9	39.1	1.5m	4.7
6	Dup	3 Bed Duplex	90	130.8	45	Triple	N+S+E	2.8m	3	6	31.5	36.9	3.8	4.5	34	47.3	9	11.7	9	38.6	1.5m	4.7
BLOCK 2																						
BLOCK 2 - GROUND FLOOR																						
1	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.8m	2	4	24.4	25.3	3.6	3.7	30	30	6	7	7	7	1.5	1.5
2	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.8m	2	4	24.4	24.4	3.6	3.8	30	32	6	6	7	7	1.5	1.5
3	Apt	1 Bed Apartment	45	50	11%	Single	E	2.8m	1	2	11.4	11.8	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
4	Apt	1 Bed Apartment	45	50	11%	Single	E	2.8m	1	2	11.4	11.7	3.6	4.1	30	23	6	6	7	12.2	1.5	1.5
5	Apt	2 Bed Apartment	73	80	10%	Dual	N+E	2.8m	2	4	24.4	24.4	3.6	3.9	30	32	6	6	7	7	1.5	1.5
6	Apt	2 Bed Apartment	73	80	10%	Dual	N+W	2.8m	2	4	24.4	25.3	3.6	3.9	30	20	6	6	7	7	1.5	1.5
7	Apt	1 Bed Apartment	45	50	11%	Single	W	2.8m	1	2	11.4	11.7	3.3	3.3	23	23	3	4.7	5	7	1.5	1.5
8	Apt	1 Bed Apartment	45	50	11%	Single	W	2.8m	2	4	11.4	11.7	3.3	3.3	23	23	3	4.7	5	7	1.5	1.5
BLOCK 2 - FIRST FLOOR																						
9	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.5m	2	4	24.4	25.3	3.6	3.9	30	30	6	6.4	7	7	1.5	1.5
10	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	32	6	6	7	12	1.5	1.5
11	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.8	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
12	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	4.7	5	5	1.5	1.5
13	Apt	2 Bed Apartment	73	80	10%	Dual	N+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	30.9	6	6	7	7	1.5	1.5
14	Apt	2 Bed Apartment	73	80	10%	Dual	N+W	2.5m	2	4	24.4	25.3	3.6	3.9	30	30	6	6	7	7	1.5	1.5
15	Apt	2 Bed Apartment	73	78	7%	Single	W	2.5m	2	4	11.4	11.7	3.3	3.3	23	23	3	4.7	5	7	1.5	1.5
16	Apt	2 Bed Apartment	73	76	4%	Single	W	2.5m	2	4	11.4	11.7	3.3	3.3	23	23	3	4.7	5	7	1.5	1.5
BLOCK 2 - SECOND FLOOR																						
17	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.5m	2	4	24.4	25.2	3.6	3.9	30	30.9	6	6.4	7	7	1.5	1.5
18	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	32.4	6	6	7	13	1.5	1.5
19	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
20	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	4.7	5	5	1.5	1.5
21	Apt	2 Bed Apartment	73	80	10%	Dual	N+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	30	6	6	7	7	1.5	1.5

2.0 RESPONSE TO CAI REQUEST NO. 1

RESIDENTIAL DEVELOPMENT AT HAYDEN'S LANE, LUCAN
Housing Quality Assessment
Jun-22

Block 1
Block 2
Block 3

oppermann
ASSOCIATES

CLARIFICATION OF ADDITIONAL INFORMATION

UNIT NO	UNIT TYPE	UNIT DESCRIPTION	UNIT AREA REQUIRED (sq.m.)	UNIT AREA ACHIVED (sq. m.)	% above minimum required	ASPECT	ORIENTATION	CEILING HEIGHT (Kitchen/Living/Dining)	N.o. of Bedrooms	N.o. of Bedspaces	Aggregate Bedroom Area Required (sq.m.)	Aggregate Bedroom Area Achieved (sq.m.)	Main Living Room Width Required (m)	Main Living Room Width Achieved (m)	Aggregate Living Area Required (m)	Aggregate Living Area Achieved (sq.m)	Aggregate Storage Area Required (sq. m.)	Aggregate Storage Area Achieved (sq. m.)	Balcony/Area Required (sq.m.)	Balcony Area Achieved (sq.m.)	Balcony Depth Required (sq.m.)	Balcony Depth Achieved (sq.m.)
22	Apt	2 Bed Apartment	73	80	10%	Dual	N+W	2.5m	2	4	24.4	25.2	3.6	3.9	30	30.9	6	6	7	7	1.5	1.5
23	Apt	2 Bed Apartment	73	78	7%	Single	W	2.5m	2	4	24.4	23.8	3.6	3.7	30	29.2	6	6.3	7	7	1.5	1.5
24	Apt	2 Bed Apartment	73	75	6%	Single	W	2.5m	2	4	24.4	23.6	3.6	3.9	30	29.2	6	6	7	7	1.5	1.5
BLOCK 2 - THIRD FLOOR																						
25	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.5m	2	4	24.4	25.2	3.6	3.9	30	30.9	6	6.4	7	7	1.5	1.5
26	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	32.4	6	6	7	12.2	1.5	1.5
27	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
28	Apt	2 Bed Apartment	73	78	7%	Dual	N+E	2.5m	2	4	24.4	24.4	3.6	3.8	34	30	6	6	7	7	1.5	1.5
29	Apt	2 Bed Apartment	73	78	7%	Dual	N+W	2.5m	2	4	24	24.5	3.6	3.8	34	30	6	6.3	7	7	1.5	1.5
30	Apt	2 Bed Apartment	73	76	4%	Single	W	2.5m	2	4	24.4	23.8	3.6	3.9	30	29.2	6	6	7	7	1.5	1.5
BLOCK 2 - FOURTH FLOOR																						
31	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.5m	2	4	24.4	25.2	3.6	3.9	30	30.9	6	6.4	7	7	1.5	1.5
32	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	32.4	6	6.7	7	13	1.5	1.5
33	Apt	1 Bed Apartment	45	50	11%	Single	E	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	4.7	5	5	1.5	1.5
34	Apt	2 Bed Apartment	73	76	4%	Dual	N+W	2.7m	2	4	24.4	23.9	3.6	3.9	30	29.2	6	6	7	7	1.5	1.5
BLOCK 3																						
BLOCK 3 - GROUND FLOOR																						
1	Apt	1 Bed Apartment	45	48	6%	Single	W	2.8m	1	2	11.4	11.4	3.3	3.3	23	25	3	3	5	5	1.5	1.5
2	Apt	2 Bed Apartment	73	80	10%	Dual	S+W	2.8m	2	4	24.4	24.4	3.6	4.1	30	32	6	6	7	5	1.5	1.5
3	Apt	1 Bed Apartment	45	50	11%	Single	S	2.8m	1	2	11.4	11.8	3.3	3.3	23	23	4.7	5	5	5	1.5	2.5
4	Apt	1 Bed Apartment	45	50	11%	Single	S	2.8m	1	2	11.4	11.7	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
5	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.8m	2	4	24.4	24.4	3.6	4.1	30	32	6	6	7	13	1.5	1.5
6	Apt	3 Bed Apartment	90	131	43%	Dual	N+E	2.8m	3	5	34	37	3.6	3.8	34	44	9	9	7	13.9	1.5	1.5
7	Apt	1 Bed Apartment - DELETED																				
8	Apt	2 Bed Apartment	73	80	10%	Dual	N+W	2.8m	2	4	24.4	24.4	3.6	3.6	30	30	6	6.0	7	7	1.5	1.5
BLOCK 3 - FIRST FLOOR																						
9	Apt	1 Bed Apartment	45	55	20%	Dual	E	2.5m	1	2	11.4	13.3	3.3	3.3	23	25	3	3	5	5	1.5	1.5
10	Apt	2 Bed Apartment	73	80	10%	Dual	S+SW	2.5m	2	4	24.4	24.4	3.6	4.1	30	32.4	6	6	7	7	1.5	1.5
11	Apt	1 Bed Apartment	45	50	11%	Single	S	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	4.7	5	5	1.5	1.5
12	Apt	1 Bed Apartment	45	50	11%	Single	S	2.5m	1	2	11.4	11.7	3.3	3.3	23	23	3	3.4	5	5	1.5	1.5
13	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.1	30	32.4	6	6	7	10	1.5	1.5
14	Apt	1 Bed Apartment	45	54	20%	Dual	E+SE	2.5m	1	2	11.4	13.3	3.3	3.3	23	25	3	3	5	5	1.5	1.5
15	Apt	2 Bed Apartment	73	104	40%	Dual	N+SE	2.5m	2	4	24.4	24.9	3.6	3.6	30	49	6	6	7	14	1.5	1.5
16	Apt	2 Bed Apartment	73	106	40%	Dual	N+SW	2.5m	2	4	24.4	24.6	3.6	3.6	30	48	6	6	7	12.9	1.5	1.5
BLOCK 3 - SECOND FLOOR																						
17	Apt	2 Bed Apartment	73	77	6%	Dual	N+W	2.5m	2	4	24.4	23.8	3.6	3.65	30	30	6	6	7	7	1.5	1.5
18	Apt	2 Bed Apartment	73	104	40%	Dual	N+SE	2.5m	2	4	24.4	24.9	3.6	3.6	30	49	6	6	7	12	1.5	1.5

2.0 RESPONSE TO CAI REQUEST NO. 1

RESIDENTIAL DEVELOPMENT AT HAYDEN'S LANE, LUCAN
Housing Quality Assessment
Jun-22

Block 1
Block 2
Block 3

oppermann
associates

CLARIFICATION OF ADDITIONAL INFORMATION

UNIT NO	UNIT TYPE	UNIT DESCRIPTION	UNIT AREA REQUIRED (sq.m.)	UNIT AREA ACHIVED (sq. m.)	% above minimum required	ASPECT	ORIENTATION	CEILING HEIGHT (Kitchen/Living/Dining)	No. of Bedrooms	No. of Bedspaces	Aggregate Bedroom Area Required (sq.m.)	Aggregate Bedroom Area Achieved (sq.m.)	Main Living Room Width Required (m)	Main Living Room Width Achieved (m)	Aggregate Living Area Required (m)	Aggregate Living Area Achieved (sq. m)	Aggregate Storage Area Required (sq. m.)	Aggregate Storage Area Achieved (sq. m.)	Balcony/Area Required (sq. m.)	Balcony Area Achieved (sq. m.)	Balcony Depth Required (sq. m.)	Balcony Depth Achieved (sq. m.)
19	Apt	1 Bed Apartment	45	54	20%	Dual	E+SE	2.5m	1	2	11.4	13.3	3.3	3.3	23	25	3	3	5	5	1.5	1.5
20	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4	30	32.4	6	6	7	10	1.5	1.5
21	Apt	1 Bed Apartment	45	50	11%	Single	S	2.5m	1	2	11.4	11.9	3.3	3.3	23	23	3	3	5	5	1.5	1.5
22	Apt	2 Bed Apartment	73	76	4%	Dual	S+W	2.5m	2	4	24.4	24.4	3.6	3.75	30	30	6	6	7	7	1.5	1.5
BLOCK 3 - THIRD FLOOR																						
23	Apt	2 Bed Apartment	73	76	4%	Dual	N+W	2.5m	2	4	24.4	24.4	3.6	3.9	30	30	6	6	7	7	1.5	1.5
24	Apt	2 Bed Apartment	73	80	10%	Dual	N+E	2.5m	2	4	24.4	25.2	3.6	3.9	30	30.2	6	6	7	7	1.5	1.5
25	Apt	2 Bed Apartment	73	80	10%	Dual	S+E	2.5m	2	4	24.4	24.4	3.6	4.0	30	37.7	6	6	7	10	1.5	1.5
26	Apt	1 Bed Apartment	45	50	10%	Single	S	2.5m	1	2	11.4	11.9	3.3	3.3	23	23	3	3	5	5	1.5	1.5

In response to Additional Information Items 1(d) and 4(b) single aspect north facing units are still proposed. The Planning Authority considers that single aspect north facing units should be omitted. The proposed units are not considered to overlook a significant amenity and therefore are not provided for under the 2020 Apartment Guidelines. The applicant is therefore requested to submit a revised proposed development omitting single aspect north facing units.

All single aspect north facing apartments were proposed in Block 3. Block 3 has now been revised and there are now no north facing single aspect apartments in the application. This has also resulted in a minor change to the site plan in the space between Block 3 and the site boundary with Hayden's Lane. The table below illustrates (table 1) how the plans in Block 3 have changed to facilitate the removal of the single aspect north facing:

Apt	Type	Floor	Additional Information Orientation	Clarification of Additional Information	Comments
1	2-Bed	Ground	N+E	W	Plan shape re-arranged
2	2-Bed	Ground	S+W	S+W	No change
3	1-Bed	Ground	S	S	No change
4	1-Bed	Ground	S	S	No change
5	2-Bed	Ground	S+E	S+E	No change
6	3-Bed	Ground	N+E	N+W	Apts No. 6 and 7 amalgamated to form 3 bed unit.
7	1-Bed	-	-	-	Deleted
8	1-Bed	Ground	N	N+W	Original plan rearranged.
9	1-Bed	First	S+E	S+W	Plan rearranged.
10	2-Bed	First	S+E	S+W	No change
11	1-Bed	First	S	S	No change
12	1-Bed	First	S	S	No change
13	2-Bed	First	S+E	S+E	No change.
14	1-Bed	First	N+E	S+E	Plan rearranged. Apt changed from 2 bed to 1 bed.
15	2-Bed	First	N	N+E	Plan rearranged.
16	2-Bed	First	N	N+SW	Plan rearranged.
17	2-Bed	Second	N+E	N+W	No change.
18	2-Bed	Second	N	N+SE	Plan rearranged.
19	1-Bed	Second	N+E	E+SE	Plan rearranged. Apt changed from 2 bed to 1 bed.
20	2-Bed	Second	E+S	E+S	No change
21	1-Bed	Second	S	S	No change
22	2-Bed	Second	S+E	S+W	No change
23	2-Bed	Third	N+W	N+W	No change
24	2-Bed	Third	N+E	N+E	No change
25	2-Bed	Third	S+E	S+E	No change
26	1-Bed	Roof	S	S	No change

Plan re-arranged
Apartment deleted
No colour = no change

Table 1

These changes have resulted in the following mix in Block 3:

1-Bed	2-Bed	3-Bed	TOTAL
10	14	1	25

Overall, in Block 3 there is a reduction of 1 No. residential unit.

Overall, across the 3 No. blocks, the mix is as follows:

Block	1-Bed	2-Bed	3-Bed	TOTAL
1	-	-	6	6
2	10	24	-	34
3	10	14	1	25
TOTAL	20	38	7	65
	31%	58%	11%	100%

And no single aspect north facing apartments

The Planning Authority still has concerns in relation to the impact of the proposed development on residential and visual amenity. The amendments and information submitted under Additional Information Items 3 and 6 are not considered sufficient to address these concerns. The applicant is required to submit a revised proposal to improve the blocks design and reduce their bulky and monolithic appearance. Some suggested amendments for improving the design include:

- Omitting the use of glazing on balconies.
 - Introducing further vertical articulation and elements (bays etc.)
 - Providing a setback at the upper floor.
 - Changing window orientations and shapes.
 - Increasing the depth of window reveals.
 - Variation of brick bonding type.
- This would help break up the bulkiness of the buildings and create more visual interest.

The planners comments have been considered and amendments/revisions have been made to the design of all three blocks:

Omitting the Use of Glazing on Balconies

Glass has been omitted from all of the balcony designs and replaced with painted steel uprights similar to the image at fig 1.

The Introduction of Further Vertical Articulation

Visually and vertically windows have been treated as a single vertical enhancement with recessed brick recesses below the windows. The vertical balcony treatment also accentuates the vertical emphasis



Fig 1





Proposed development viewed from Hayden's Lane (at the entrance to Griffeen Valley Park)

4.0 RESPONSE TO CAI NO. 3



Providing a setback at the upper floor

Providing a setback on the upper floor without reducing the size of the apartments is not possible. Instead a larger deeper more pronounced parapet coping has been introduced as a visual technique to give the appearance that the uppermost floor of apartments is set back.

Changing window orientations and shapes

Some window orientations and shapes have changed in Block 3 as a result of plan changes to omit single aspect north facing apartments from the proposals. These are reflected on the revised drawings.

The nature of apartments is that similar size apartments in the plan design in most circumstances stack on top of one another creating a uniformity and rhythm to the external appearance. This is largely driven by the structure of the building and the need for vertical service pipes including drainage and vents.

Windows have been designed in this application to provide as much daylight as possible internally especially in the living spaces.



Proposed development viewed from Griffeen Valley Park

Increasing the Depth of Window Reveals

The window reveals in the Further Information submitted varied from one brick to a brick and a half. We consider this suitable and appropriate for this development.

Variation in Brick Bonding Types

The revised scheme at present indicates:

- Brick recesses, and
- Contrasting brick recesses.

It would be normal for final brick type and brick details to be approved by way of condition following perhaps a meeting with the Area Planners to understand the Planning Authority's thinking and requirements. The applicant would be happy to discuss this aspect in detail if a decision is made to grant planning permission.

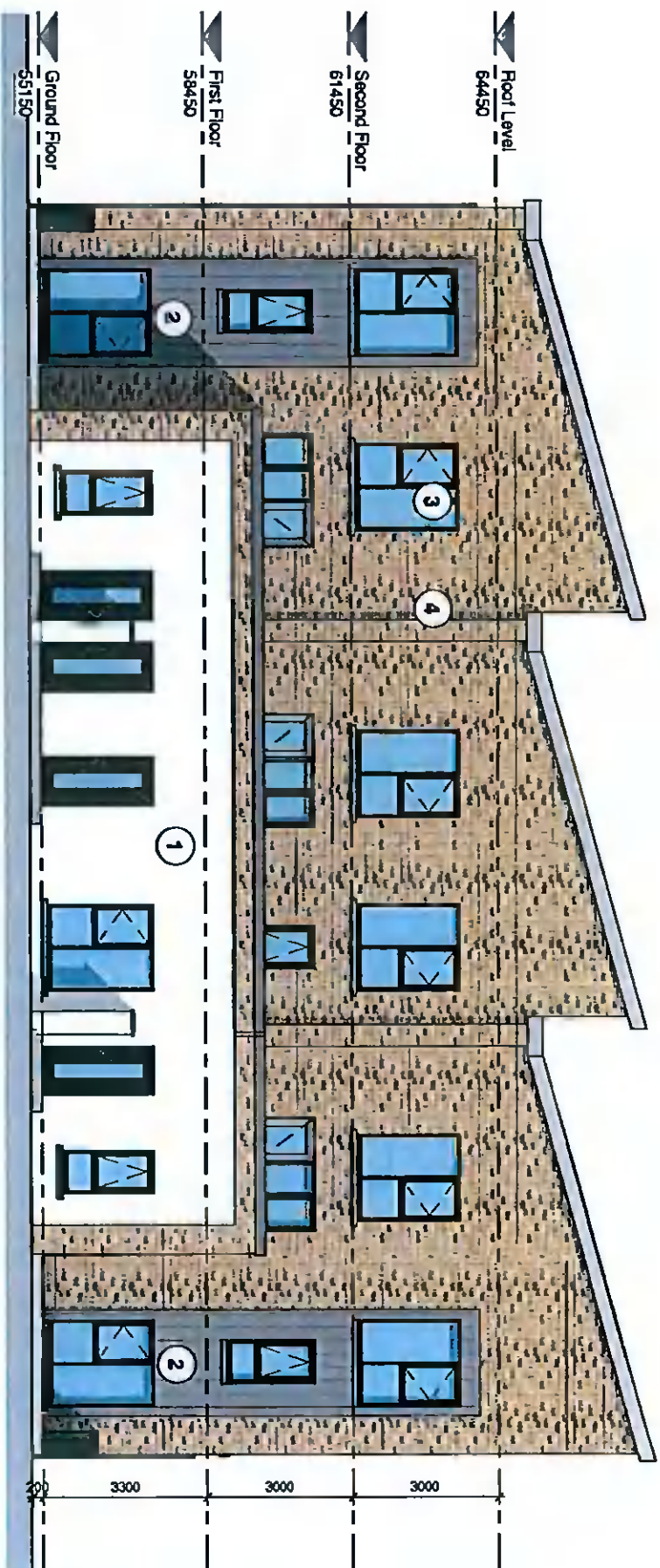
Revised elevations have been submitted for Blocks 1, 2 and 3.

For comparison purposes set out on Pages 13 to 18 of this document elevations submitted at "Additional Information" stage alongside revised elevations now submitted with the "Clarification of Additional Information"





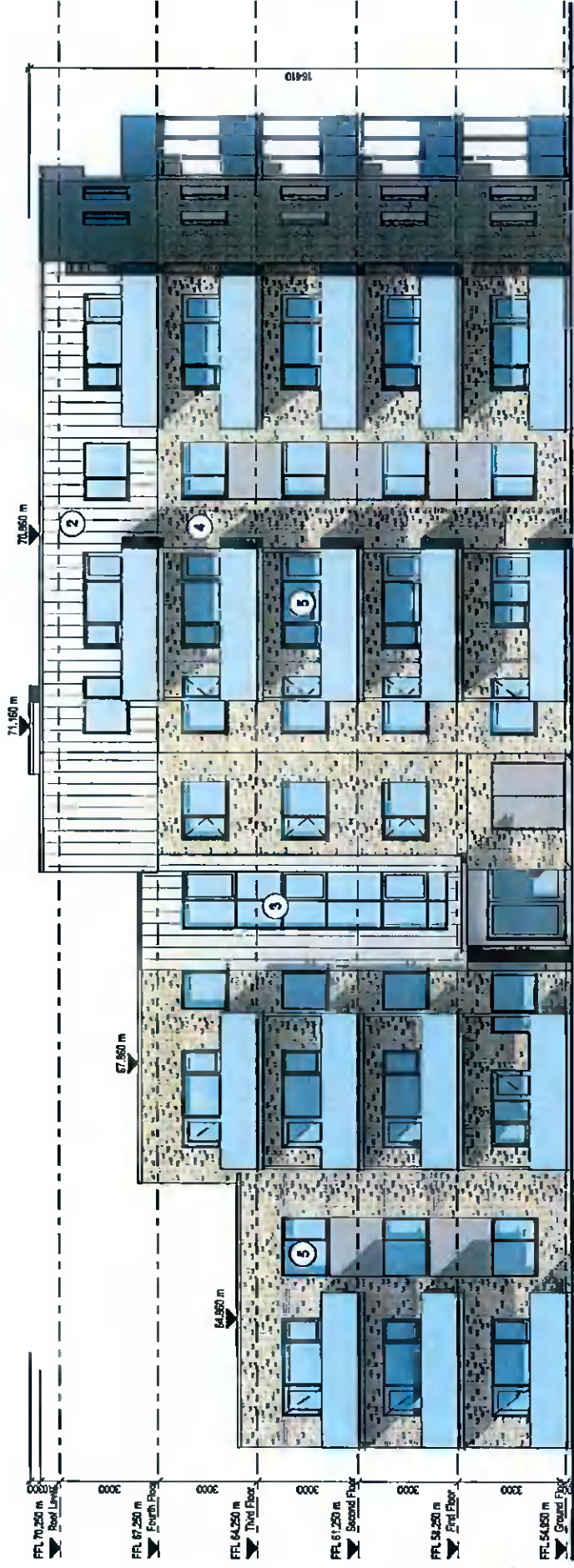
Block 1 - Further Information Elevation



Block 1 - Clarification of Further Information Elevation

Vertical emphasis has been added. The elevation has been divided in three with the introduction of three mono-pitch roofs and brick pier projections which conceal the rainwater downpipes. There is also a greater sense of individuality.

4.0 RESPONSE TO CAI NO. 3



Block 2 - Further Information Elevation



Block 2 - Clarification of Further Information Elevation

- Glass balustrades have been omitted.
- Recessed contracting brick panels have been introduced below certain windows to enhance vertically.
- Brick reveals vary in depth between 215mm and 322mm.
- The parapet coping is deeper and more pronounced.

4.0 RESPONSE TO CAI NO. 3



Block 3 - Further Information Elevation



Block 3 - Clarification of Further Information Elevation

- Glass balustrades have been omitted.
- Recessed contracting brick panels have been introduced below certain windows to enhance vertically.
- Brick reveals vary in depth between 215mm and 322mm.
- The parapet coping is deeper and more pronounced.

4.0 RESPONSE TO CAI NO. 3

The applicant is also requested to submit additional photomontage(s) of the proposed development when viewed from existing residential development to the east of the subject site, at The Old Forge Estate.

Revised photomontages have been included at A3 size submittal separately.

In addition, as requested, an additional photomontage of the proposed development viewed from the Old Forge Estate is now also included

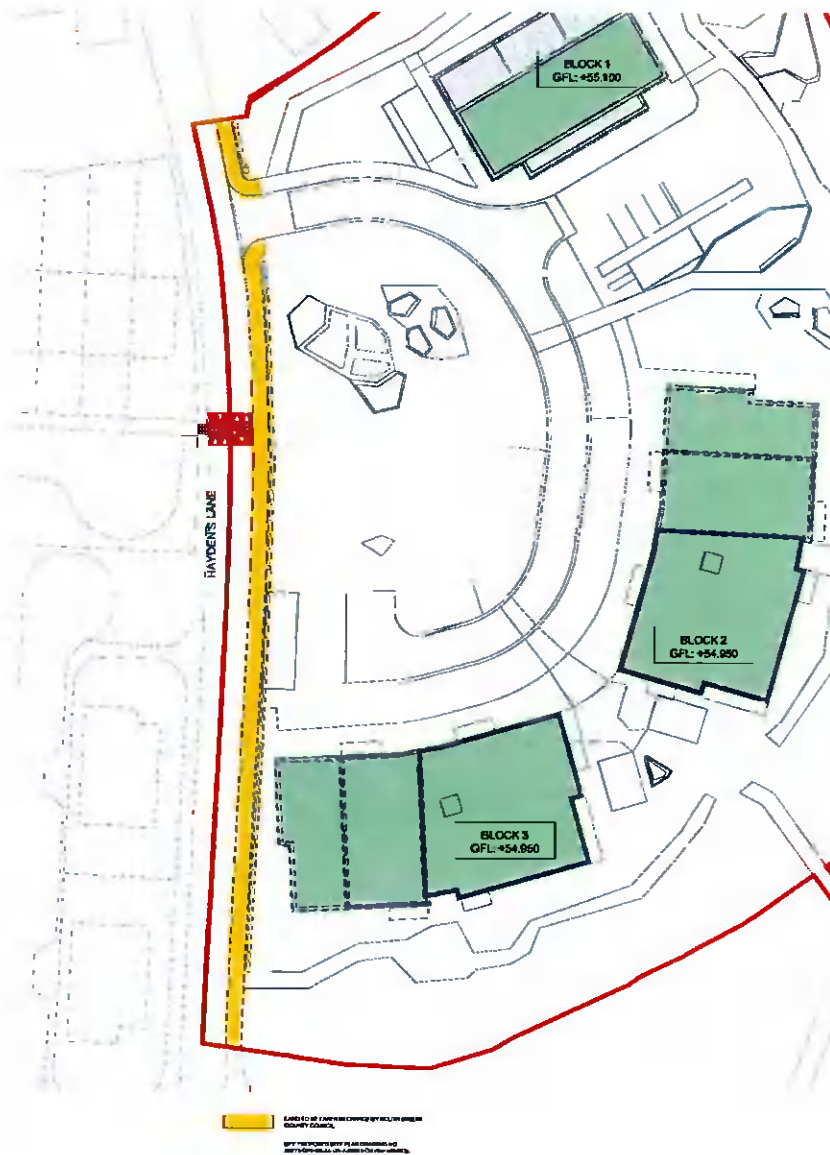


Photo from the Old Forge Estate



Verified CGI from the Old Forge Estate

Refer to Visual Impact Photomontages – submission by James Horan (Architectural Illustration) – six copies at A3 size are included with this submission



Six A1 size copies of this "Taking in Charge" drawing at a scale of 1:200 are included with this submission

6.0 TAKING IN CHARGE DRAWING

