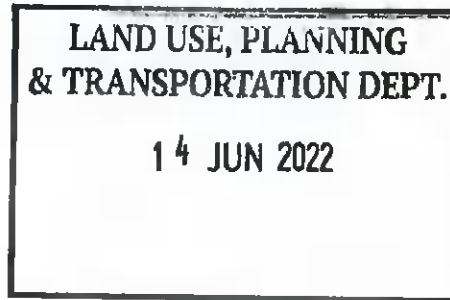


Planning Department,  
South Dublin County Council,  
County Hall,  
Belgard Square North,  
Tallaght,  
Co. Dublin.



13<sup>th</sup> June 2022

#### FURTHER INFORMATION RESPONSE

#### APARTMENT DEVELOPMENT AT HAYDEN'S LANE, LUCAN CO DUBLIN.

DLRCC REG. REF:	SD21A/0359
DATE OF REQUEST FOR FURTHER INFORMATION:	24 <sup>TH</sup> OF JANUARY 2022
DATE OF REQUEST FOR CLARIFICATION OF FURTHER INFORMATION:	11 <sup>TH</sup> MAY 2022
FINAL DATE TO RESPOND TO REQUEST:	22 <sup>ND</sup> OF JULY 2022

### Introduction

McGill Planning Limited, 22 Wicklow Street, Dublin 2, is instructed by our client, Jackie Greene Construction Limited, to submit this Clarification of Further Information Response.

For convenience, we have listed items requested as they appear in the Clarification of Further Information request letter dated 11<sup>th</sup> May 2022.

### Further Information Item no. 1

***In relation to Additional Information Item 1 the applicant is requested to submit:***

***(a) Revised documentation and drawing(s) (Proposed Site Plan - Area Designation) indicating the total usable communal open space.***

***(b) A revised Housing Quality Statement accurately reflecting the proposed development.***

### Applicants Response

In response to Item 1(a) we refer to the Architect's Design Statement and associated drawings by Oppermann Architects (in particular Dwg. 20773 OPP 00 ZZ DR A 0006 PP P01), which confirms a NET total communal open space provision of c.961 sq.m within 3 separate areas identified and located contiguous to the blocks. The quantum of open space far exceeds the minimum standards required and is in compliance with Policy H13 and the *Sustainable Urban Housing: Design Standards for New Apartments, 2020*.

In order to improve the usability of the communal open space between Blocks 2 and 3 one of the bicycle parking buildings has been relocated to north of Block 2, as per the revised Site Plan submitted.

In relation to public open space we note that the central pocket park measures 1,305 sq.m which represents 15% of the residential zoning (i.e. 0.87 ha which excludes the portion of the application site adjoining Grifteen Park and zoned Open Space to the south) and is well above the 10% minimum requirement of the Development Plan.

In response to Item 1(b) a revised HQA is also included.

## Further Information Item no. 2

***In response to Additional Information Items 1(d) and 4(b) single aspect north facing units are still proposed. The Planning Authority considers that single aspect north facing units should be omitted. The proposed units are not considered to overlook a significant amenity and therefore are not provided for under the 2020 Apartment Guidelines. The applicant is therefore requested to submit a revised proposed development omitting single aspect north facing units.***

## Applicants Response

In response to Item 2 it is noted that the internal design of Block 3 has been revised to omit all single aspect, north facing units from the proposed development. The revision has resulted in the reduction of units in Block 3 by one, to now provide 25 units. The total number of units has therefore reduced to 65.

The mix of units in Block 3 has also been revised as a result of the above changes with the mix now being 10 no. 1-beds, 14 no. 2-beds and 1 no. 3-bed. The mix in the overall scheme is now 20 no. 1-beds (30%); 38 no. 2-beds (58%) and 7 no. 3-beds (11%) which remains in accordance with the *Sustainable Urban Housing: Design Standards for New Apartments, 2020*.

## Further Information Item no. 3

***The Planning Authority still has concerns in relation to the impact of the proposed development on residential and visual amenity. The amendments and information submitted under Additional Information Items 3 and 6 are not considered sufficient to address these concerns. The applicant is requested to submit a revised proposal to improve the blocks' design and reduce their bulky and monolithic appearance. Some suggested amendments for improving the design include:***

- ***omitting the use of glazing on balconies,***
- ***introducing further vertical articulation and elements (bays etc.),***
- ***providing a setback at the upper floor***
- ***changing window orientations and shapes,***
- ***Increasing the depth of window reveals***
- ***Variation of brick bonding types.***

***This would help break up the bulkiness of the buildings and create more visual interest. The applicant is also requested to submit additional photomontage(s) of the proposed development when viewed from existing residential development to the east of the subject site, at The Old Forge estate.***

### Applicants Response

In response to Item 3 a number of additional amendments to the elevational design have been introduced by Oppermann Architects. These are outlined in the Design Statement and associated Architectural Drawings.

An additional photomontage is also included from the Old Forge Estate which indicates that the extent of mature planting along the boundary will screen views of Block 2 and the rest of the scheme from that location.

### Further Information Item no. 4

***In relation to Additional Information Item 8 the Planning Authority and the Roads Department requests clarification of the following:***

***(a) The applicant is requested to confirm the total car parking spaces proposed and ensure this is reflected consistently across the submitted documentation and drawings.***

***(b) The applicant is requested to submit a layout of not less than 1:200 scale showing all items and areas for taking in charge as per SDCC's Appendix 6 of the TIC standards. Prior to development the applicant shall submit construction details of all items to be taken in charge. No development shall take place until these items have been agreed.***

***(c) A revised layout showing detailed designs of a pedestrian access to Hansted estate and pedestrian crossing point to the footpath on the west side of Hayden's Lane.***

***(d) A revised traffic impact assessment highlighting the Hayden's Lane/Old Forge (The Avenue) junction.***

### Applicants Response

In response to Item 4(a) it is confirmed that the total number of car parking spaces is 46 and this is reflected in the various drawings and reports.

In response to Item 4(b) a Taken In Charge drawing at 1:200 scale, prepared by Oppermann Architects, is included.

In response to Item 4(c) further details of the pedestrian access across Hayden's Lane to Hansted Estate is provided on Oppermann Architects Layout Plan.

In response to Item 4(d) an updated traffic assessment prepared by TPS Consulting Engineers is included and which further assesses the Hayden's Lane/Old Forge (The Avenue) junction.

Yours sincerely,



McGill Planning Limited,

## LIST OF ENCLOSURES

6 no. copies of the following documents/drawings:

- Architect's Design Statement prepared by Oppermann Architects.
- Housing Quality Assessment prepared by Oppermann Architects.
- Updated Architectural Drawings prepared by Oppermann Architects as per Schedule below:

20-773			Issue date	month	4	6
				year	2022	2022
			Issued by:		MT	SC
drawing no.	size	scale	drawing title			
<b>0000 SITE WORKS</b>						
<b>0000 Series - Site Plans</b>						
20773-OPP-00-ZZ-DR-A-0002-PP-P01	A1	1:200	Existing Site Plan			
20773-OPP-00-ZZ-DR-A-0003-PP-P02	A1	1:250	Proposed Site Plan			
20773-OPP-00-ZZ-DR-A-0004-PP-P01	A3	1:1000	Application Site on SDCC Zoning Map			
20773-OPP-00-ZZ-DR-A-0005-PP-P01	A1	1:200	Taking in Charge			
20773-OPP-00-ZZ-DR-A-0006-PP-P01	A3	NTS	Public & Communal Open Spaces			
<b>0100 Series - Site Details</b>						
20773-OPP-00-ZZ-DR-A-0101-PP-P01	A1	1:250	Proposed Site Plan-Area Designation			
20773-OPP-00-ZZ-DR-A-0102-PP-P01	A0	1:200	Existing and Proposed Contiguous Elevations & Site Sections			
<b>9000 GENERAL ARRANGEMENT DRAWINGS</b>						
20773-OPP-02-ZZ-DR-A-9006-PP-P01	A1	1:100	Proposed Block 2 Ground & First Floor Plans			
20773-OPP-02-ZZ-DR-A-9007-PP-P01	A1	1:100	Proposed Block 2 Second & Third Floor Plans			
20773-OPP-02-ZZ-DR-A-9008-PP-P01	A1	1:100	Proposed Block 2 Fourth & Roof Plans			
20773-OPP-02-ZZ-DR-A-9010-PP-P02	A1	1:100	Proposed Block 2 Elevations			
20773-OPP-02-ZZ-DR-A-9011-PP-P02	A1	1:100	Proposed Block 2 Elevations & Sections			
20773-OPP-03-ZZ-DR-A-9013-PP-P02	A1	1:100	Proposed Block 3 Ground & First Floor Plans			
20773-OPP-03-ZZ-DR-A-9014-PP-P02	A1	1:100	Proposed Block 3 Second & Third Floor Plans			
20773-OPP-03-ZZ-DR-A-9015-PP-P02	A1	1:100	Proposed Block 3 Fourth & Roof Plans			
20773-OPP-03-ZZ-DR-A-9016-PP-P02	A1	1:100	Proposed Block 3 Elevations			
20773-OPP-03-ZZ-DR-A-9017-PP-P02	A1	1:100	Proposed Block 3 Elevations & Sections			
20773-OPP-01-ZZ-DR-A-9001-PP-P02	A1	1:100	Proposed Block 1 Floor Plans			
20773-OPP-01-ZZ-DR-A-9003-PP-P02	A1	1:100	Proposed Block 1 Elevations			

- Updated Photomontages Document prepared by James Horan.
- Revised Traffic Assessment prepared by TPS Consulting Engineers.
- Updated Landscape Masterplan prepared by CSR Landscape Architects.