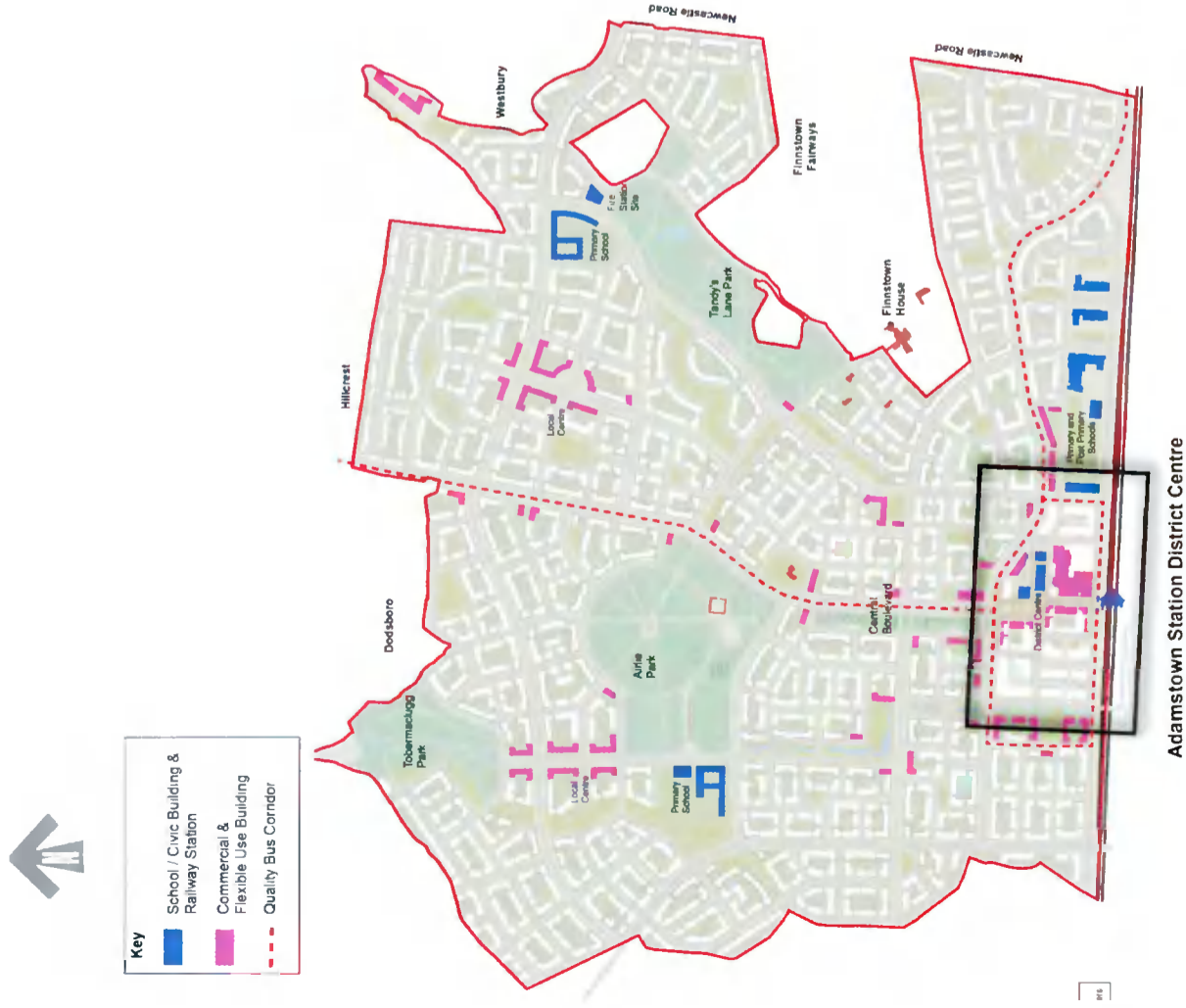


# 01 INTRODUCTION

## 1.4 SITE CONTEXT - SDZ

The Adamstown Station Tile is located to the south of Adamstown, and is bounded to the south by the railway line. Its proximity to the train station makes it an ideal location for the District Centre and a higher-density approach to design than elsewhere in the planning scheme.

To the east of the Station Tile there are a number of schools. Adamstown Avenue, which runs along the northern edge of the site, connects to Adamstown Boulevard which leads northwards to Lucan and the M4.



Adamstown Station District Centre  
Adamstown Station District Centre in the context of Adamstown SDZ



Extract from Adamstown Strategic Development Zone Planning Scheme

The SDZ Planning Scheme identifies the Station Tile as the area within Adamstown that is appropriate for the highest density, setting out a plan for a number of **perimeter and courtyard buildings** arranged around a series of streets and squares, with a civic square at the heart of the scheme. Perimeter buildings are generally located along significant routes — defined in the plan as boulevards, avenues and side streets — with courtyard blocks relating to less-active back streets. Locations considered appropriate for landmark buildings are highlighted: at prominent corners, for example, or at the terminus of a route or vista.

- PERIMETER BUILDING
- COURTYARD BUILDING
- CIVIC BUILDING
- MSCP
- DEDICATED QBC BUSWAY
- LANDMARK BUILDING
- SITE BOUNDARY



# 01 INTRODUCTION

## 1.5 DEVELOPMENT OF MASTERPLAN

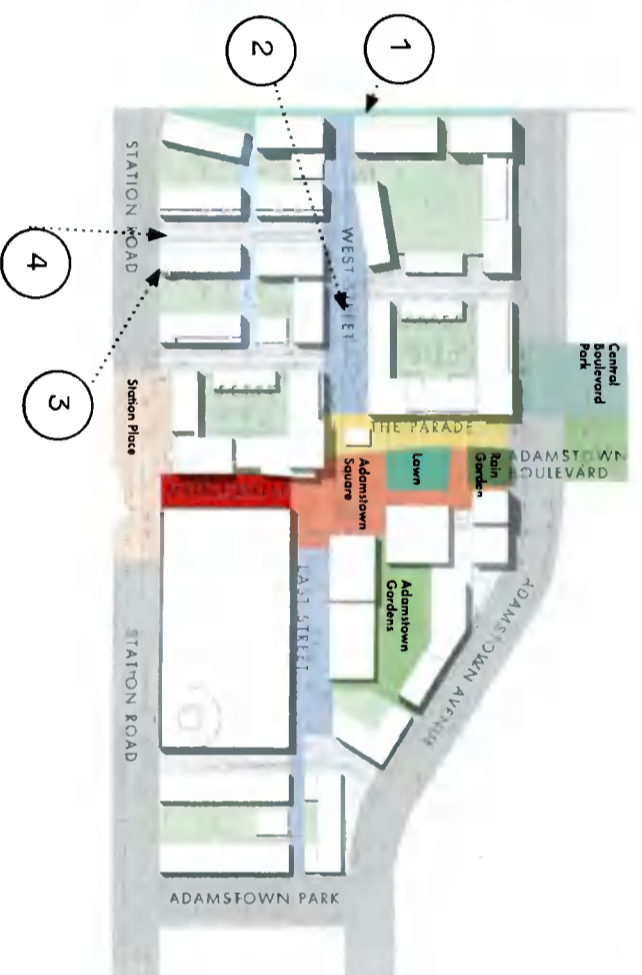
### IN THE SDZ SCHEME:

1. Block A is bounded to the north by Adamstown Avenue Extension which is classified as an avenue in the planning scheme.
2. West Street is an east west route into and out from the central Adamstown Square and is classified as a 'Backstreet'. This street separates Block A from Blocks C&D, and is planned to extend westward under the Farmers bridge with a vehicular connection in to the Boulevard Tile.
3. To the south of Blocks C&D is Station Road which currently extends westward under the Farmers Bridge to link with the current Park & Ride facility which also facilitates bus turning.
4. The western flanks of Blocks A, C&D face onto the existing 'Farmers Bridge' which presents a significant element to be considered in developing design proposals for the western end of the towncentre.



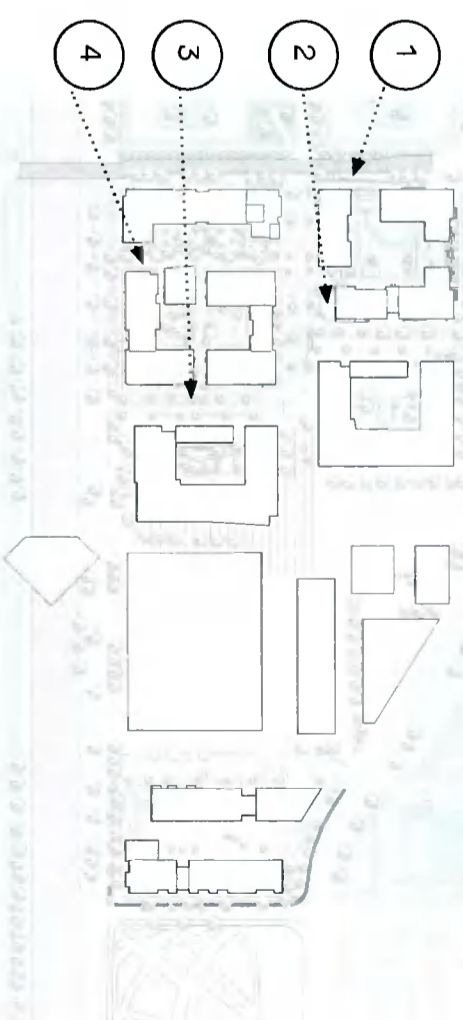
### A&M MASTERPLAN (Ref SDZ220A/0008):

1. The western edge to the towncentre alongside the 'Farmers Bridge' provides pedestrian access only along the entire tile boundary
2. West street narrows as it traverses westwards from Adamstown Square.
3. 4 no. gable ends only of the residential building blocks present on Station Road on the southern building line.
4. A road divides Blocks C & D which is defined as a 'Backstreet'



### PROPOSED DEVELOPMENT:

1. A landscaped pedestrian and cycle route is proposed along the western boundary of Blocks A & C straddling the 'Farmers Bridge'.
2. A public 'Pocket Park' is proposed on West Street at the transition from wide avenue off Adamstown Square to narrower avenue connection to the Boulevard Tile to the West
3. The distance between Blocks A & B and between D & E are increased significantly and zones for planting and perpendicular on-street parking on the N-S routes between them. These are designated as 'Backstreets' and were granted planning permission under Reg Ref SDZ220A/0016 (application for minor amendments to Blocks B&E)
4. A generous, landscaped public car free pedestrian and bicycle route is proposed between Blocks C and D providing access from the station to the wider Adamstown suburban areas via a new car free parkland character zone



# 01 INTRODUCTION

## 1.6 HEIGHT STRATEGY AND LANDMARKS

### HEIGHTS

The distance between previously approved blocks B & E and the proposed blocks A & D respectively, at 22m, supports the placement of Perimeter blocks on the western side of these streets

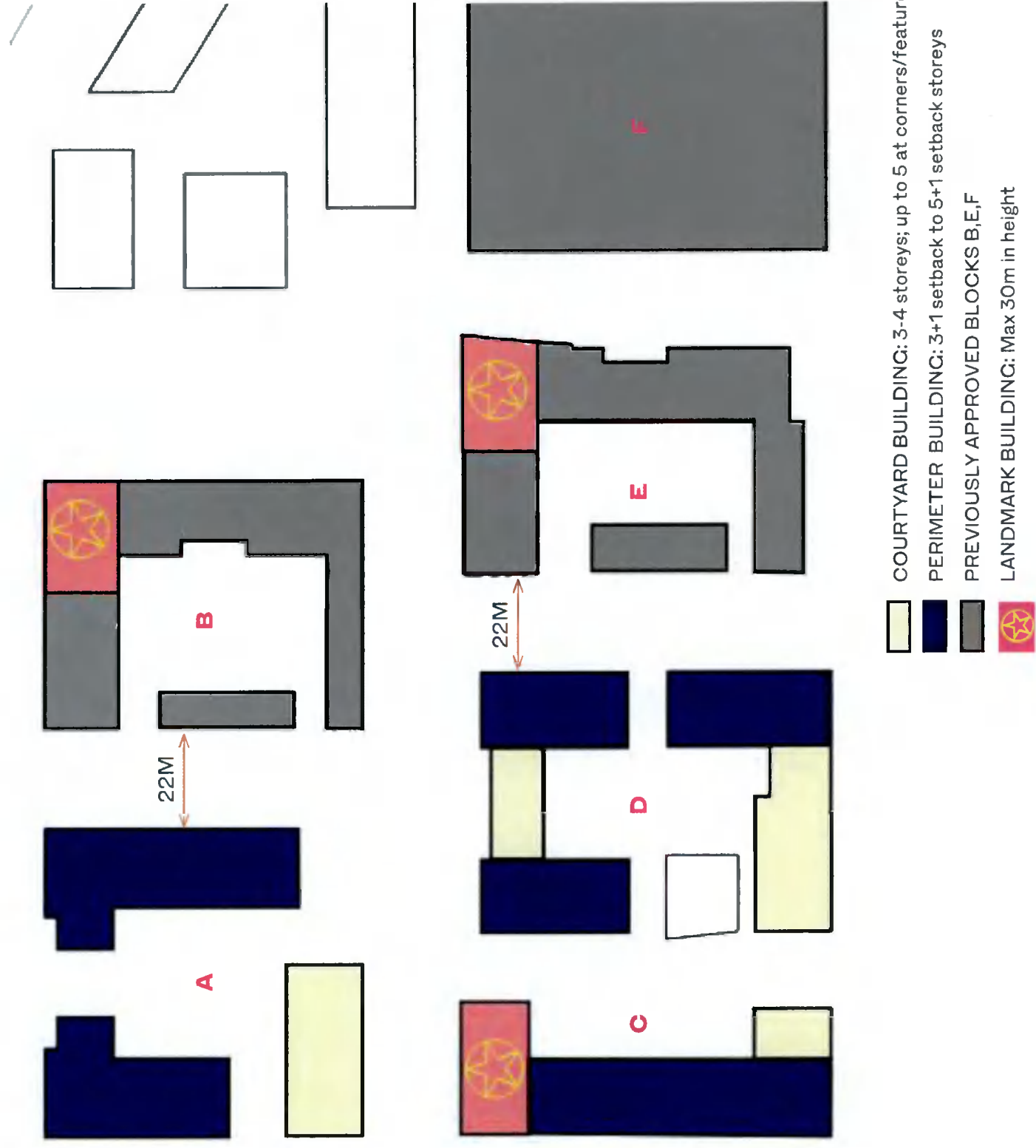
Courtyard Blocks are placed along West Street, centrally located in the group of buildings. The southern wings along blocks C & D are also kept low at 4 storeys to assist with Daylight / Sunlight permeability in to the central Gardens

### LANDMARK BUILDINGS

The SDZ identifies a number of potential locations for 'landmark' buildings of increased height. In the case of Block C, the indicated location for this landmark would be mid way along the Western Boundary of the Towncentre Tile . We are maintaining this location for the Landmark Building of 9 storeys in this proposal.



Concept image showing the relationship between the landmark buildings along the E-W axis from Adamstown Plaza



- COURTYARD BUILDING: 3-4 storeys; up to 5 at corners/features
- PERIMETER BUILDING: 3+1 setback to 5+1 setback storeys
- PREVIOUSLY APPROVED BLOCKS B,E,F
- LANDMARK BUILDING: Max 30m in height



### 1.7. COMPARISON WITH PREVIOUS MASTERPLAN

The previous Masterplan by Allies & Morrison proposed an arrangement of 2 North/South oriented buildings for each of Blocks C&D with a roadway providing car parking and a pedestrian route between each block.

This arrangement generated a central garden in each block 23m wide with the roadway measuring 14m in width between building facades.

The subject proposal revises this approach by amalgamating Blocks C&D and replacing the central road with a car free pedestrian and bicycle route passing through a parkland setting.

The combining of blocks C&D facilitates the reduction of the number of North/South blocks across the south west of the site from 4 in the previous scheme, to 3 in the current proposal.

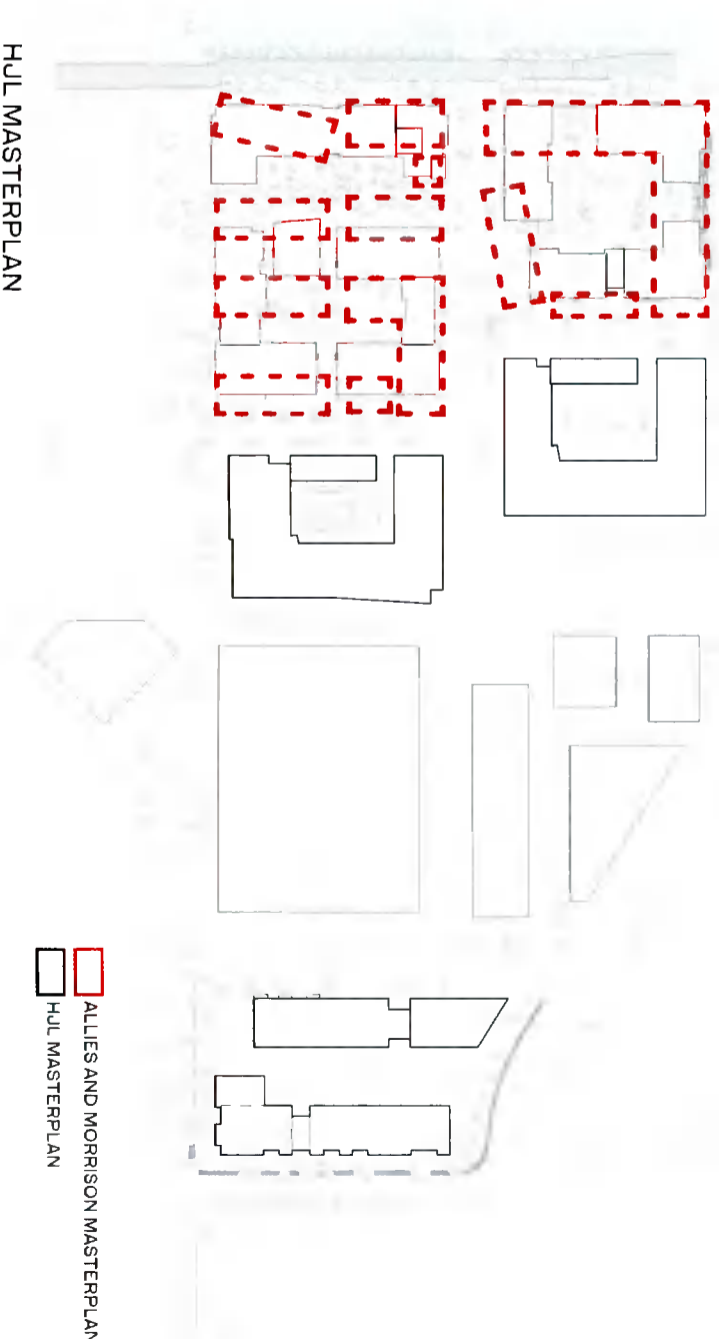
This revised approach provides significantly more public and private open space and significantly wider spacing between buildings.

The intention is to create a parkland setting for buildings C&D, bisected asymmetrically by a generous landscaped public, car free route, with buildings placed to maximise exposure to daylight, sunlight and casual everyday residential activity.

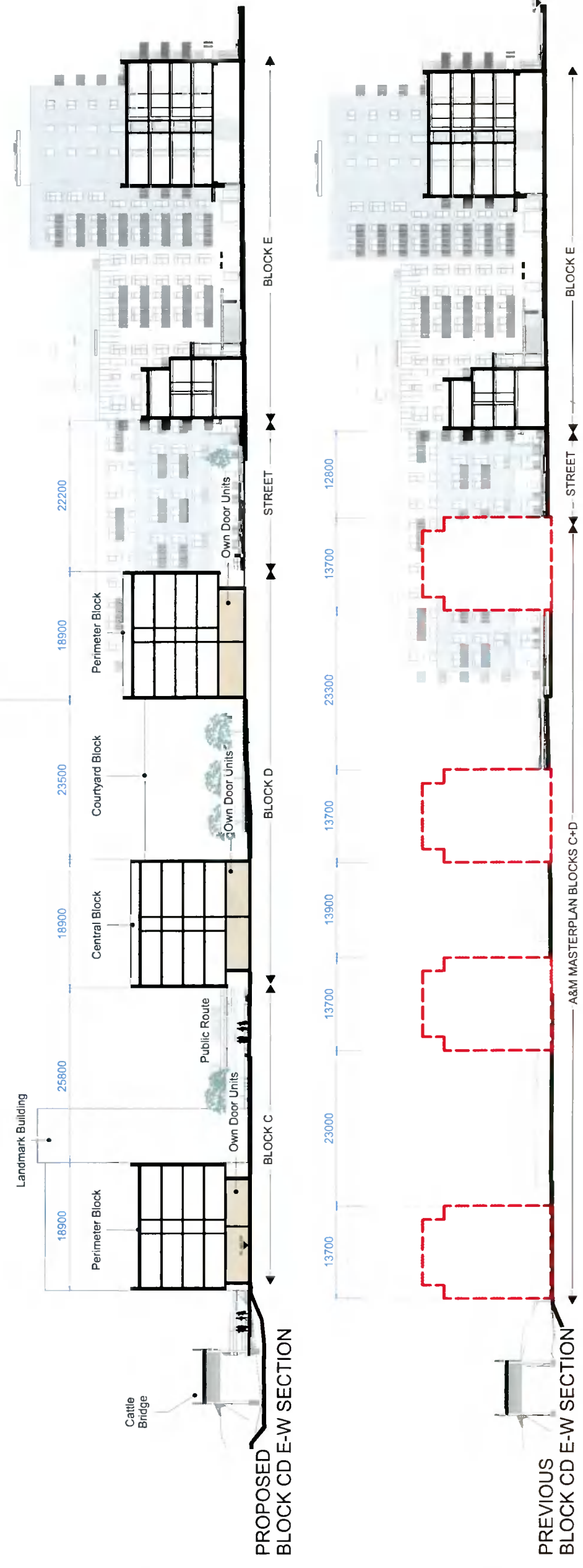
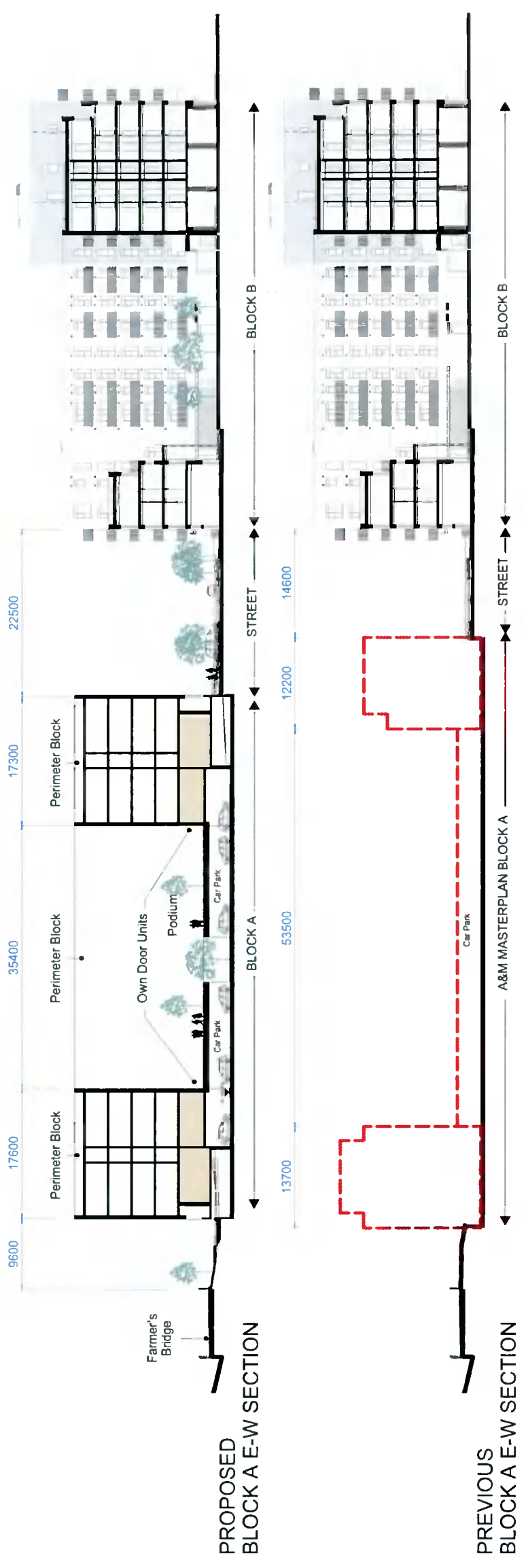
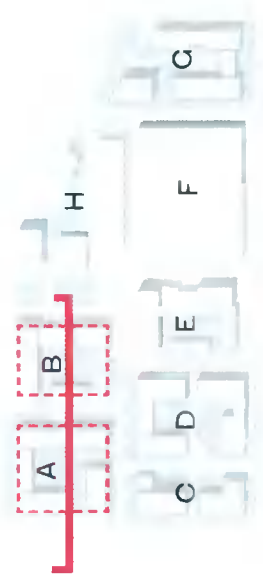
All Ground Floor units will be accessed directly off the public realm via their own private entrance doors from both the central gardens and the peripheral streets.

The character of the proposed southwestern quarter is intended to have a significantly different 'feel' than the more urban Blocks B, E & G, which respond to their central locations in the overall Towncentre. The planning of Blocks C&D are intended to create a generous parkland setting and character, completed with public route, permeable for pedestrian and bicycles, but free of cars.

A closed loop for bus and car usage will be created with the development of the early phase of the Boulevard Tile. In the interim the status quo for bus manoeuvres will be maintained.



# O1 INTRODUCTION



**02**

**SITE STRATEGY**

**2.1 OPPORTUNITIES & CONSTRAINTS**

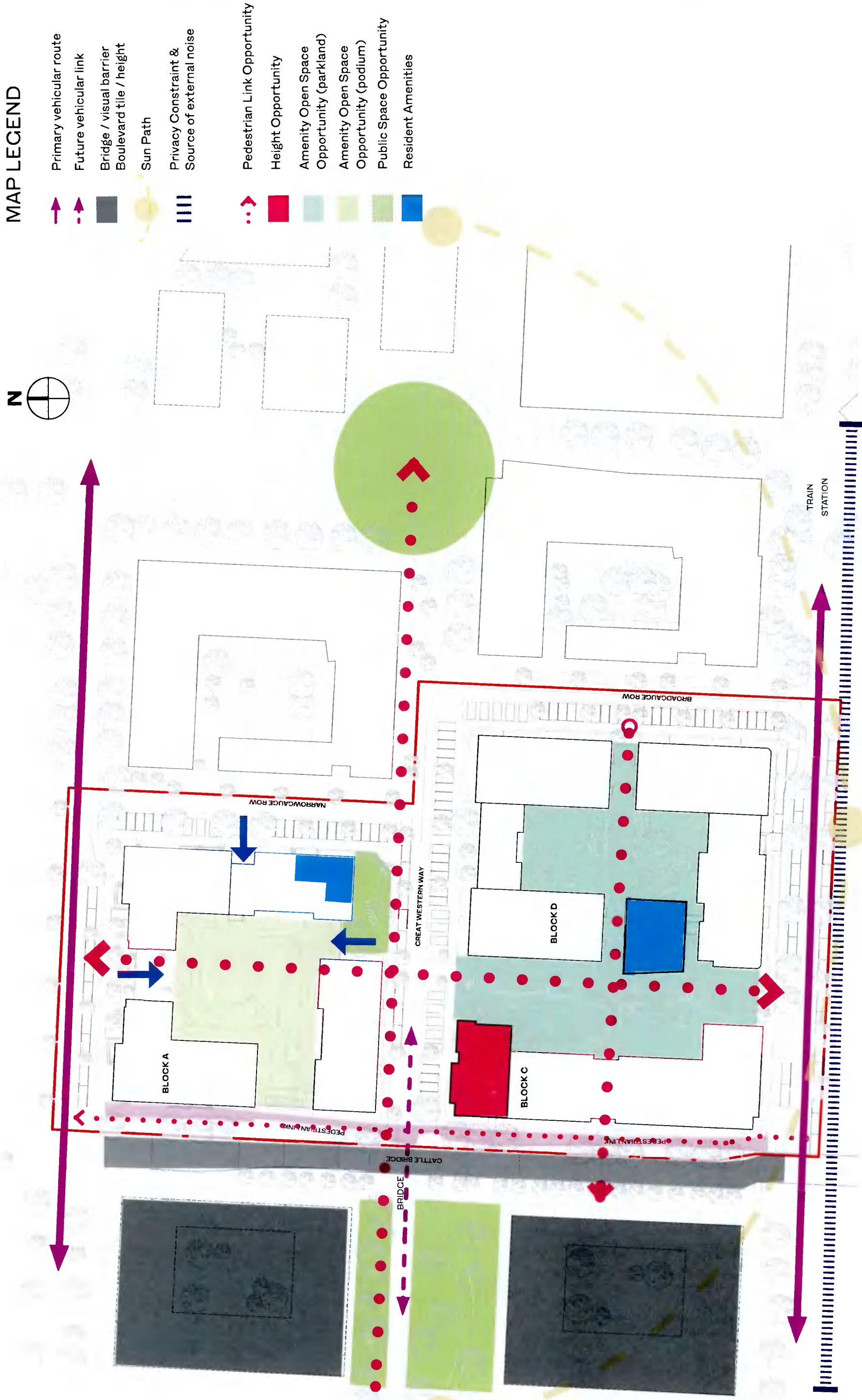
**2.2 SITE LAYOUT**

**2.3 PERMEABILITY**



# O2 SITE STRATEGY

## 2.1 OPPORTUNITIES AND CONSTRAINTS



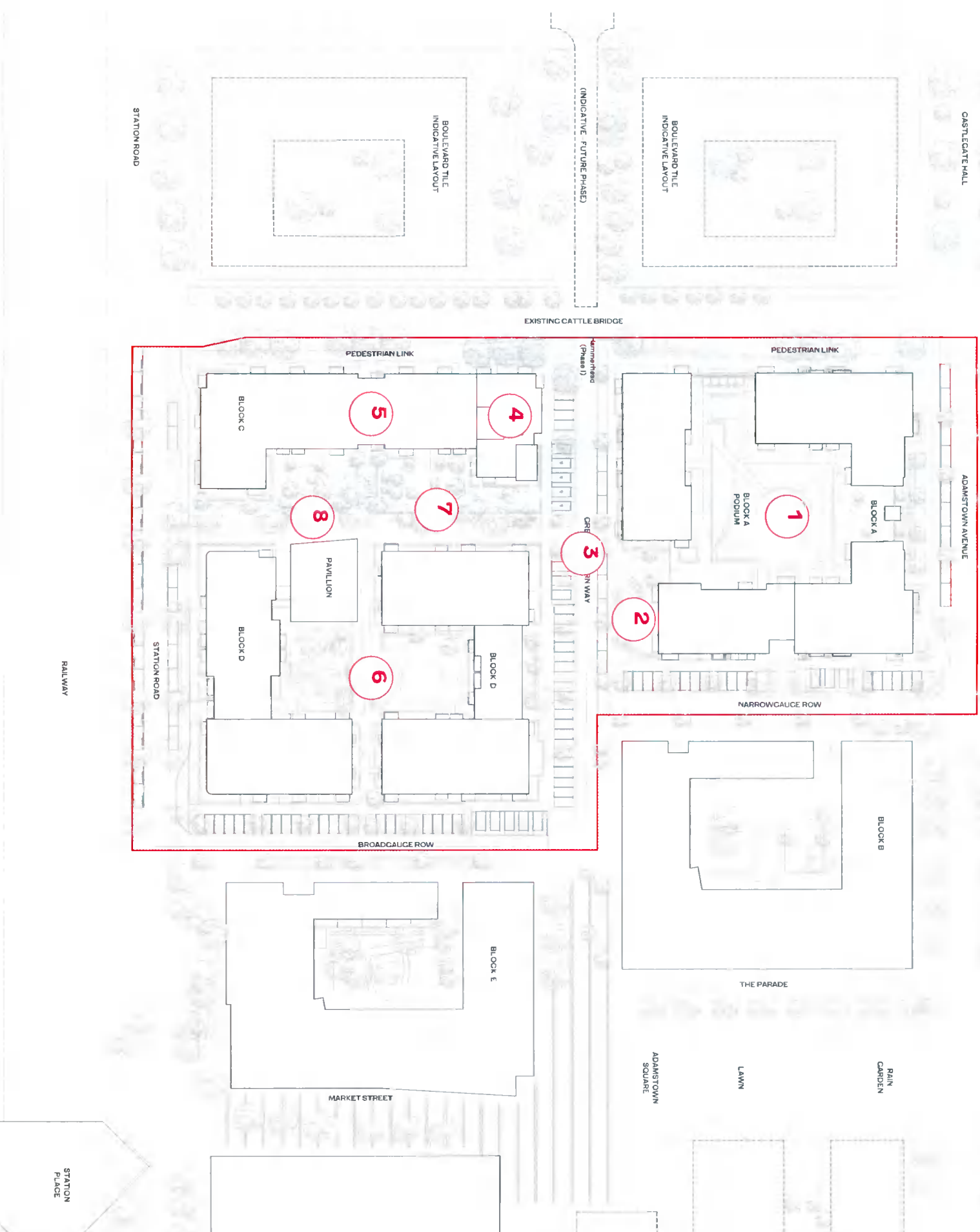
## O2 SITE STRATEGY

### 2.2 SITE LAYOUT

Located at the Western edge of the Station Tile, the proposal for blocks A, C and D delivers the majority of the remaining residential offering of the central district around the train station. Blocks B and E permitted in Phase 1 of the District Centre (now under construction) lie immediately to the east

The site is configured in 2 distinctive sectors: Block A to the North and blocks C&D to the South, each addressing different edge conditions.

1. The Northern sector of the site hosts Block A which comprises of 3 residential blocks ranging from 4 to 5 storeys laid out around a central semi public courtyard at podium level. The existing topography (circa 2m drop) is used to create a semi basement hosting the carparking, bicycle parking and other ancillary accommodation.
2. The resident amenities for this block are strategically located at the South-East corner, paired with a South facing public pocket park to provide a focal activity and way-finding reference point within the scheme.
3. Great Western Way is provided with a hammerhead arrangement, whereas it is envisaged that this road would be extended under the existing cattle bridge as part of a future phase of development in Adamstown Boulevard controlled by the Applicant
4. The landmark building is located at the end of the visual axis running E-W across the Station Tile, becoming a visual marker at its Western end where it is most visible from Adamstown Square.
5. Block C bookends the site along its Western edge, creating an opportunity for a new pedestrian and cycle link along the bridge. Own door units will provide activity and passive surveillance along this new "bridge walk".
6. Block D is laid out around 2 internal courtyards, separated by a public pedestrian link running E-W.
7. Public open space is provided along the N-S pedestrian thoroughfare linking Station Road with the pocket park on Great Western Way.
8. The resident amenities for blocks C&D are located at the intersection of the 2 pedestrian links, at the heart of blocks C&D in a 2 storey high "Resident's Pavilion" overlooking the public space. Bicycle parking and ancillary accommodation are located on the ground floor, with easy access for residents.





## O2 SITE STRATEGY

### 2.3 PERMEABILITY

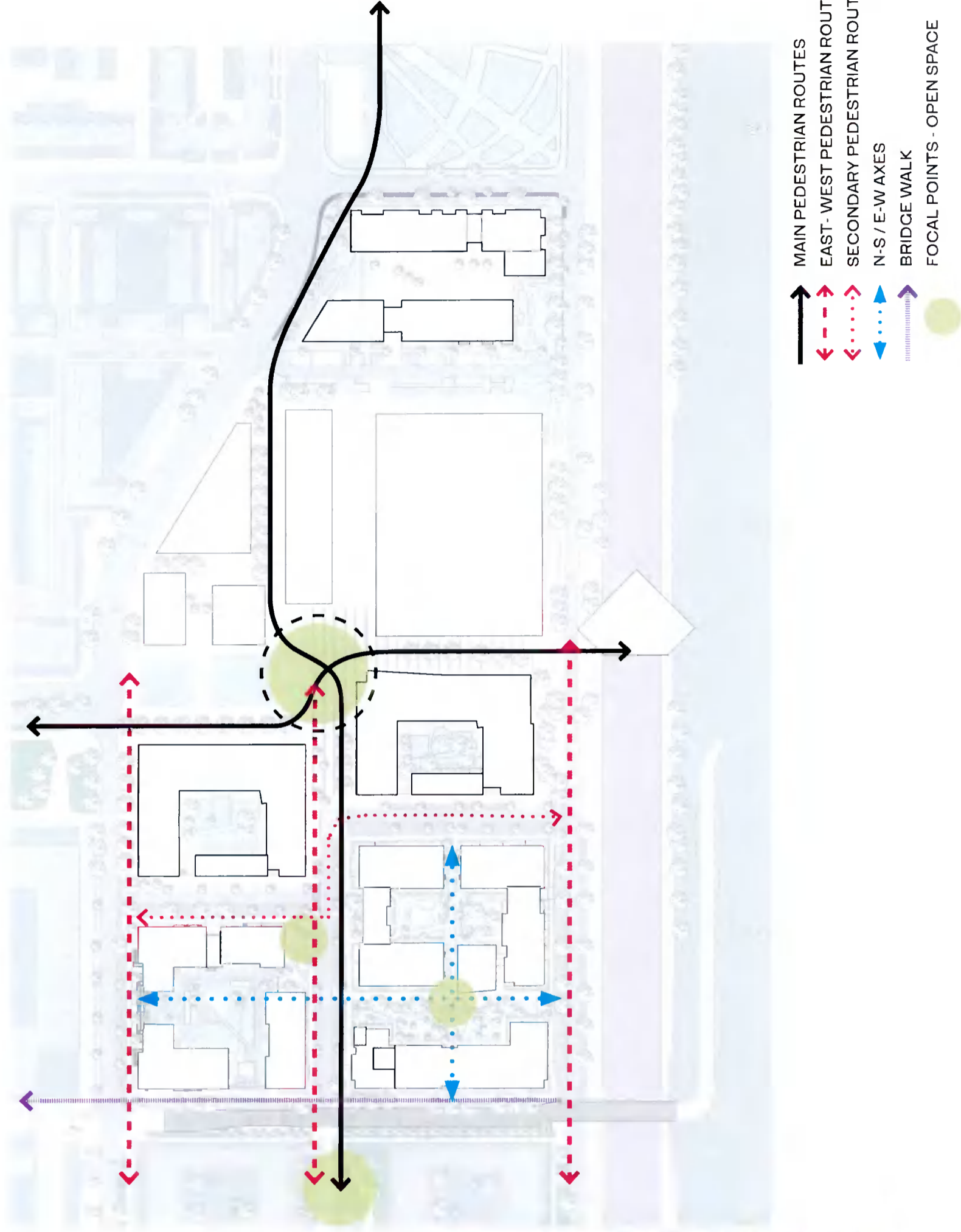
It is envisaged that many residents and visitors, accessing Blocks A C & D, but also making their way northwards towards the wider western and northwestern suburbs of Adamstown will pass through the public routes of the Western End of the town centre.

A sequence of pocket public open spaces along Great Western Way West Street provide interest and animation along this route linking Adamstown Plaza and the Boulevard Tile to the West.

In addition, public open spaces are provided along the N-S link to encourage cross movement and a vibrant public realm.



Concept image of N-S pedestrian link at Station Road looking towards the landmark building



**03**

**MASSING**

**3.1 BUILDING HEIGHT STRATEGY**

**3.2 BLOCK A MASSING**

**3.3 BLOCK C MASSING**

**3.4 BLOCK D MASSING**

**3.5 SITE SECTIONS**

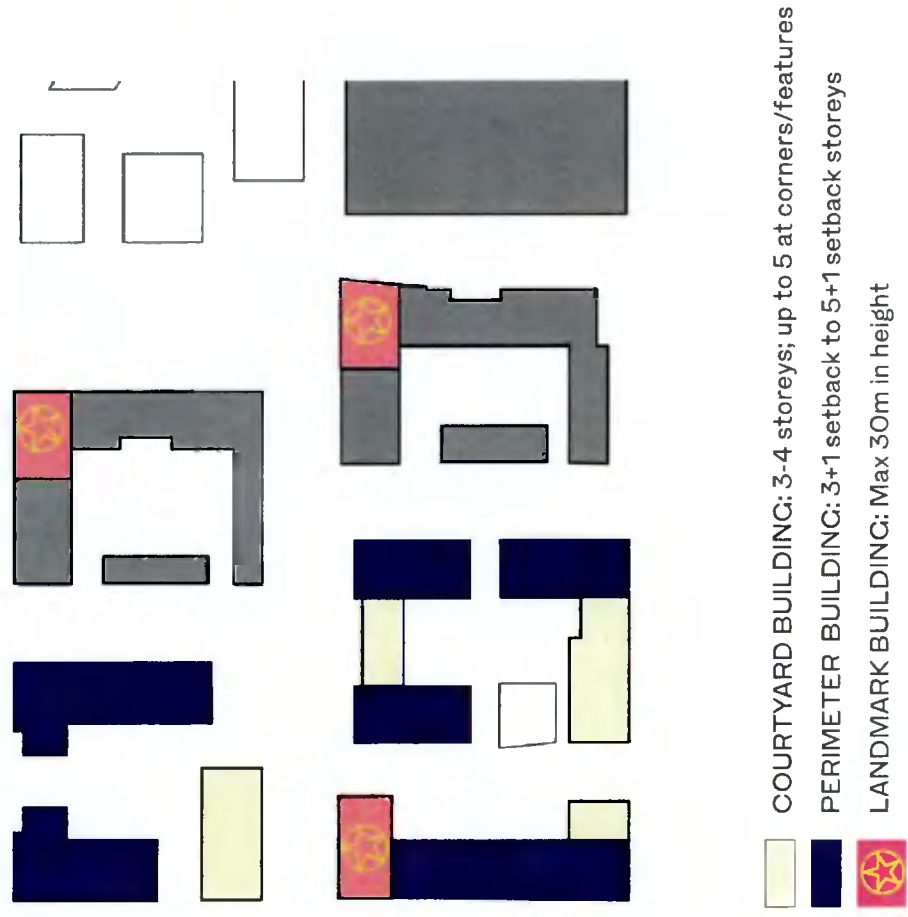


## 03 MASSING

### 3.1. BUILDING HEIGHT STRATEGY

The strategy around perimeter, courtyard and landmark building locations and how these relate to the SDZ has been outlined on previous pages.

The diagram on the right illustrates how this height strategy is expressed in the building form



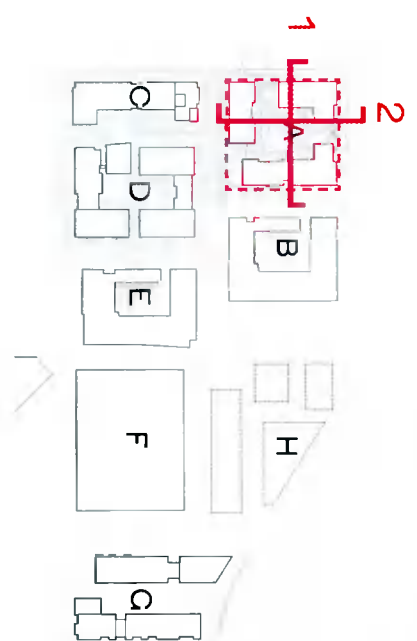
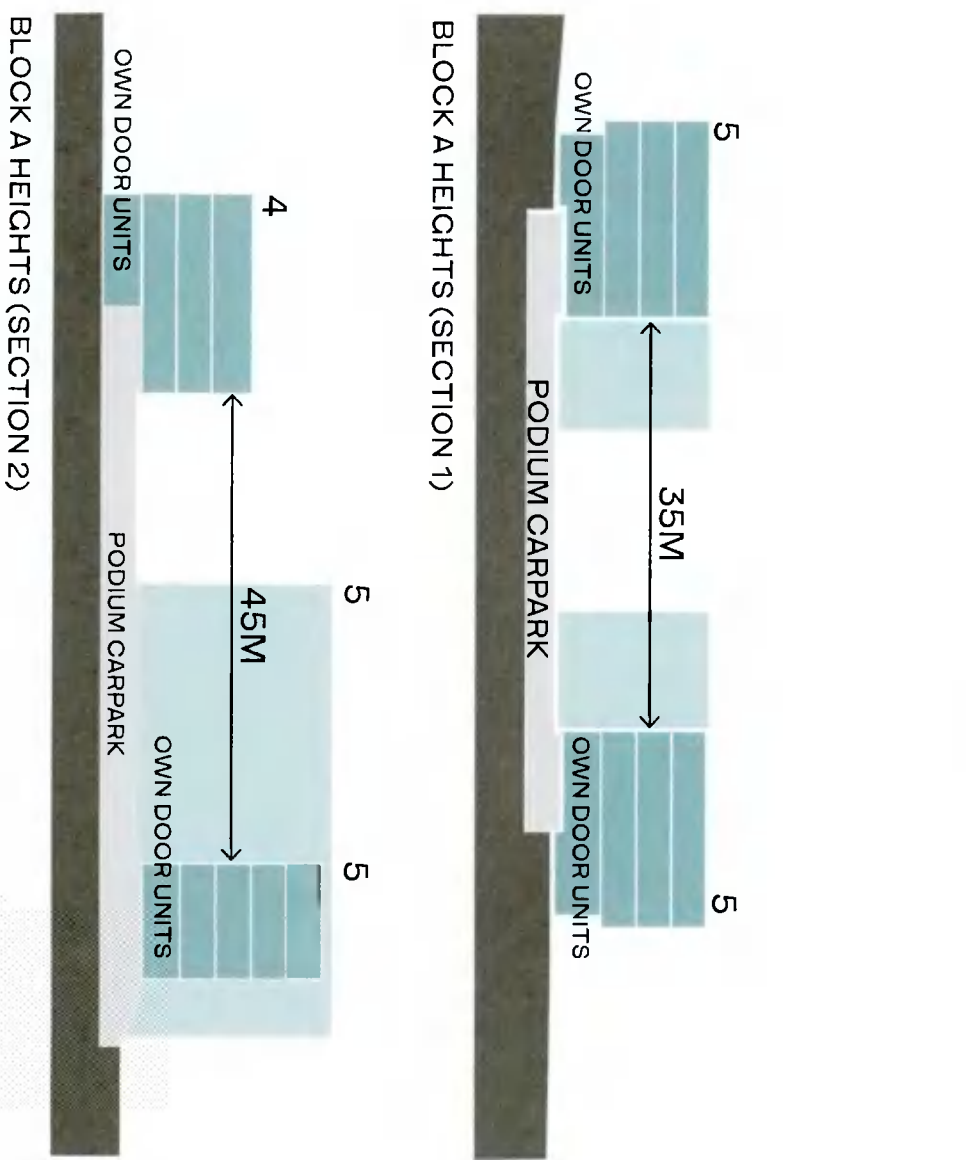
# 03 MASSING

## 3.2. BLOCK A MASSING

The existing topography conditions around block A, dropping circa 2m in level from Adamstown Avenue towards Great Western Way provides the opportunity of locating the carparking, bicycle parking and other ancillary accommodation in a semi basement with a landscaped podium above for the use of residents.

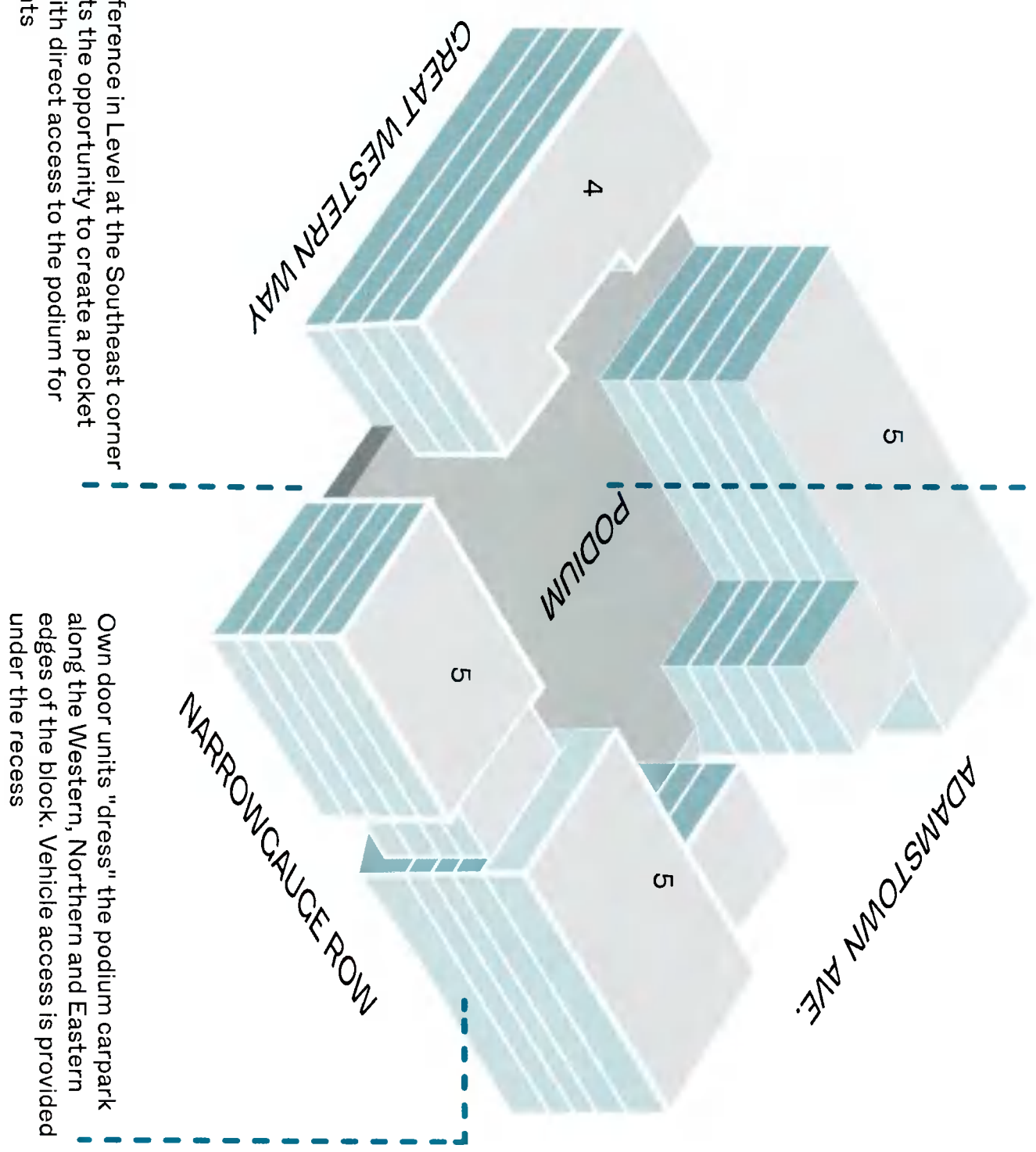
The topography along the Western side, where the Cattle Bridge gradually decreases in height has been carefully considered and is explained in subsequent pages.

On Adamstown Avenue, the building form is broken to allow for daylight penetration into the podium courtyard and offers a welcoming entrance for residents while maintaining an appropriate urban treatment and expression.



The landscaped podium provides a secure, intimate amenity open space for the residents.

The difference in level at the Southeast corner presents the opportunity to create a pocket park, with direct access to the podium for residents



Own door units "dress" the podium carpark along the Western, Northern and Eastern edges of the block. Vehicle access is provided under the recess



## 03 MASSING

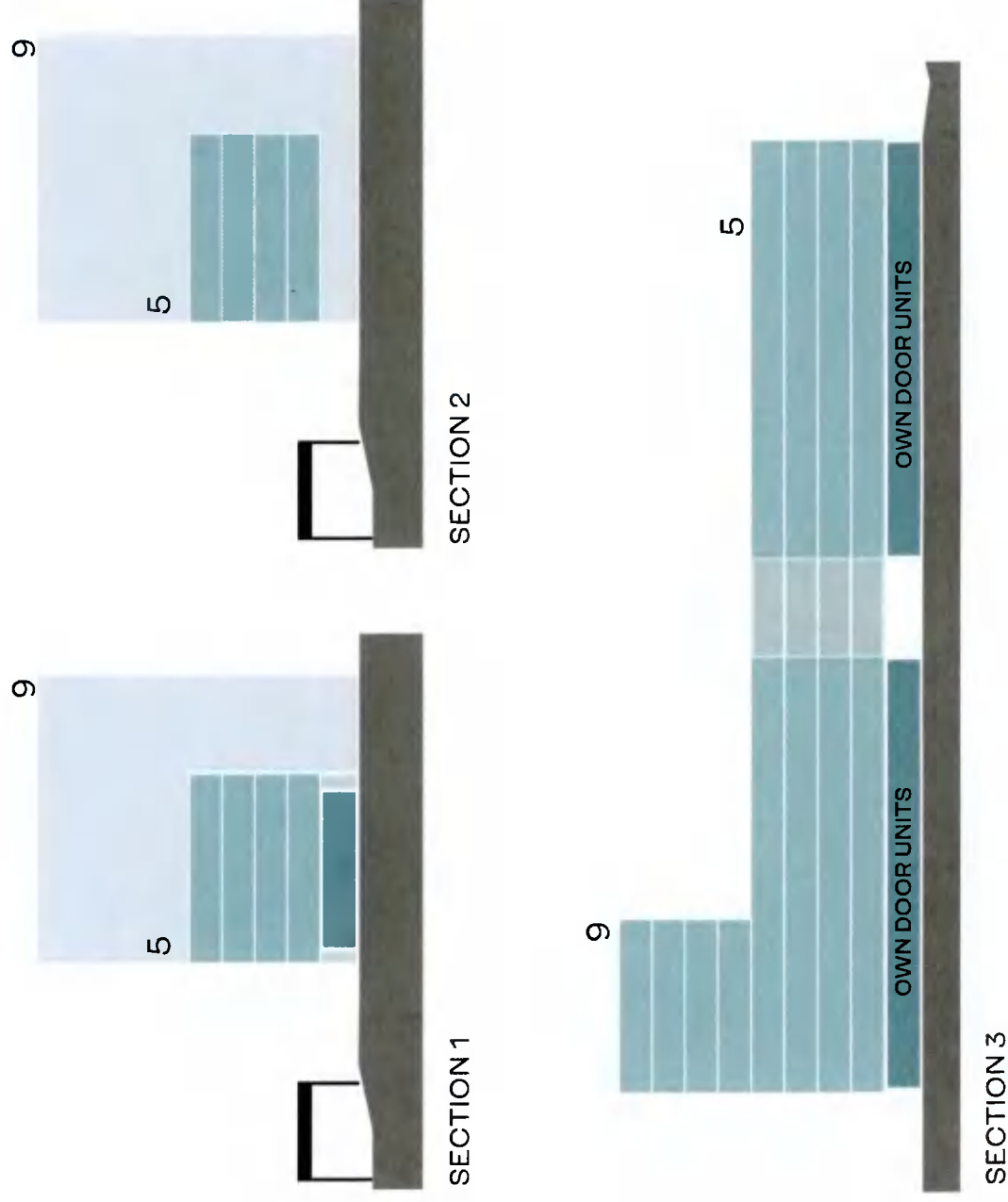
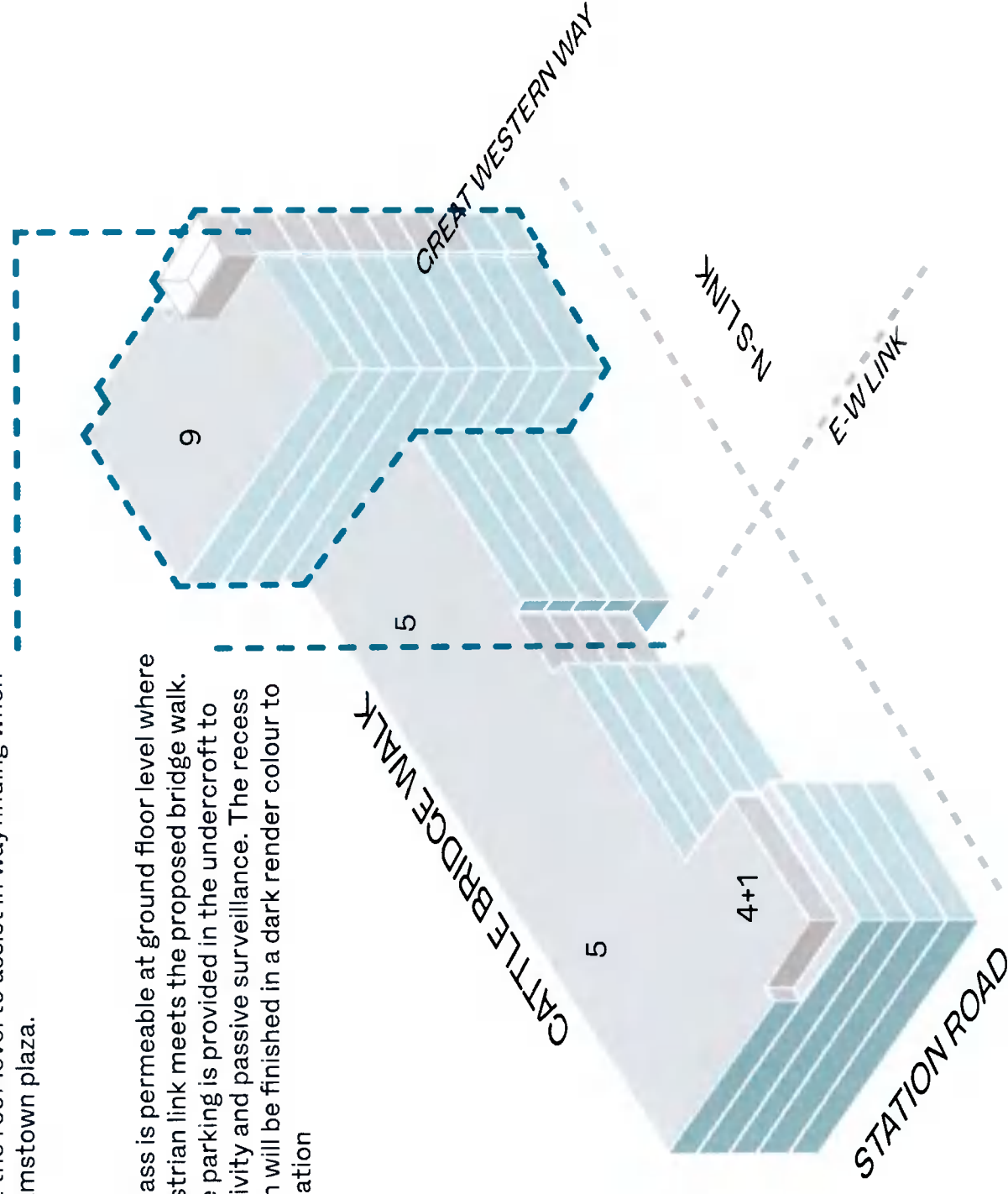
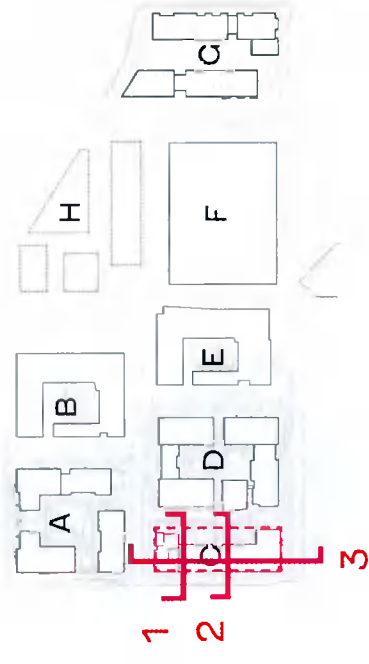
### 3.3 BLOCK C MASSING

Block C bookends the site along its Western edge. It is laid out as a N-S running linear block, crowned by the landmark structure at its Northern end, where Great Western Way meets the bridge.

Similarly, the building returns at its Southern end providing an urban frontage towards Station Road and enclosing the amenity open space for residents. Own door units will provide activity and passive surveillance to the open space on ground floor level.

The 9-storey high landmark building is located at the end of the visual axis running E-W across the Station Tile, becoming a visual marker at its Western end where it is most visible from Adamstown Square. The N-E corner balconies are enclosed in a distinctive metal cladding extending past the roof level to assist in wayfinding when seen from Adamstown plaza.

The building mass is permeable at ground floor level where the E-W pedestrian link meets the proposed bridge walk. Secure bicycle parking is provided in the undercroft to encourage activity and passive surveillance. The recess in the elevation will be finished in a dark render colour to provide articulation



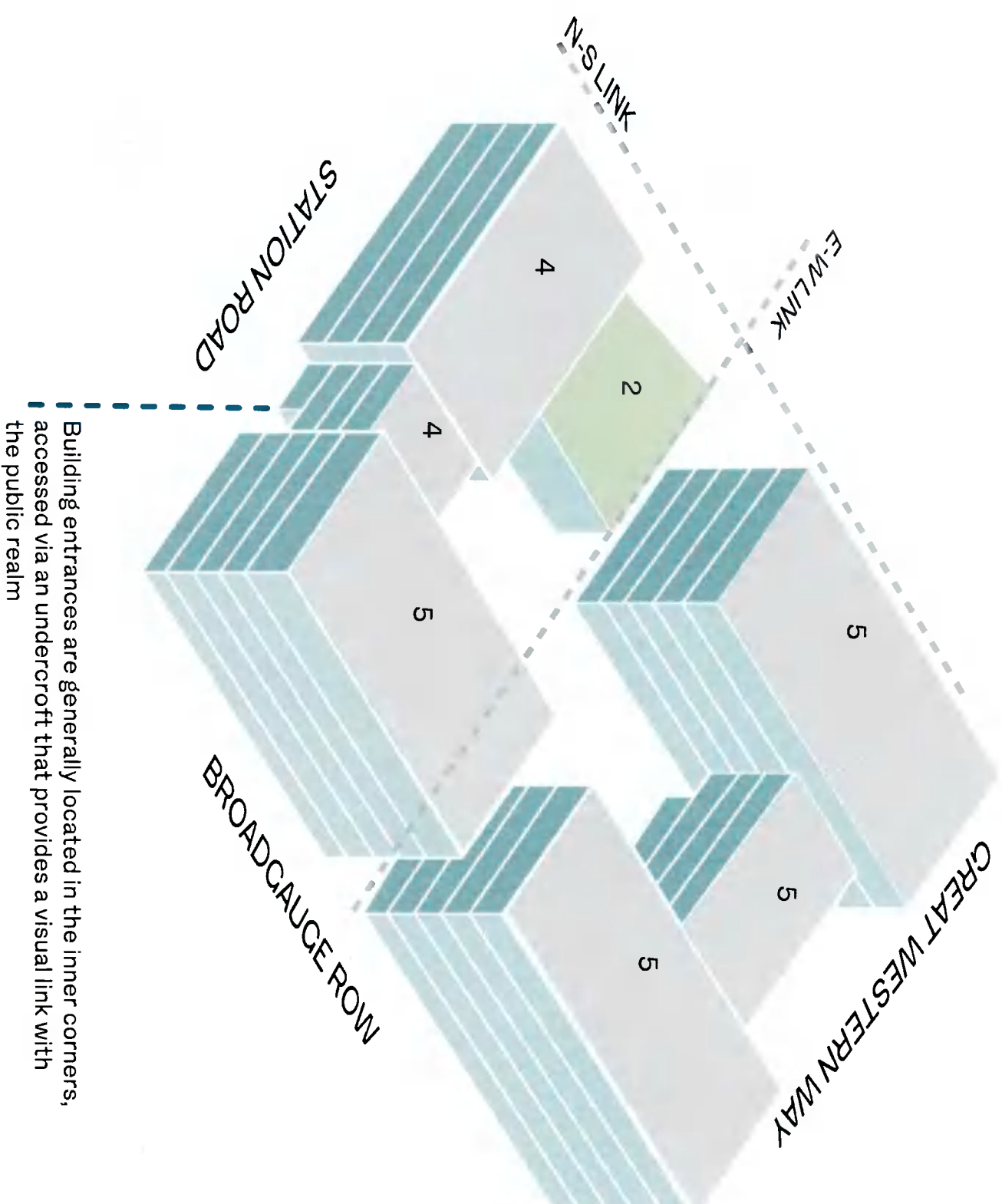
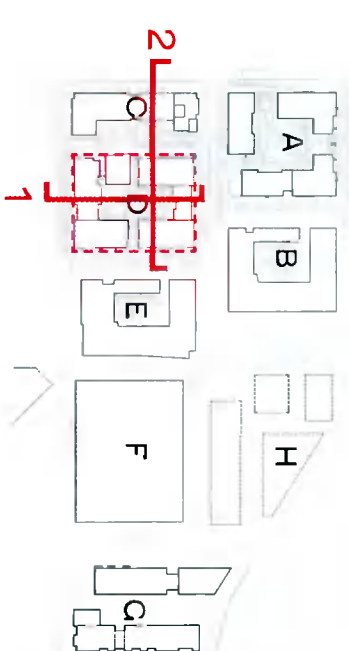
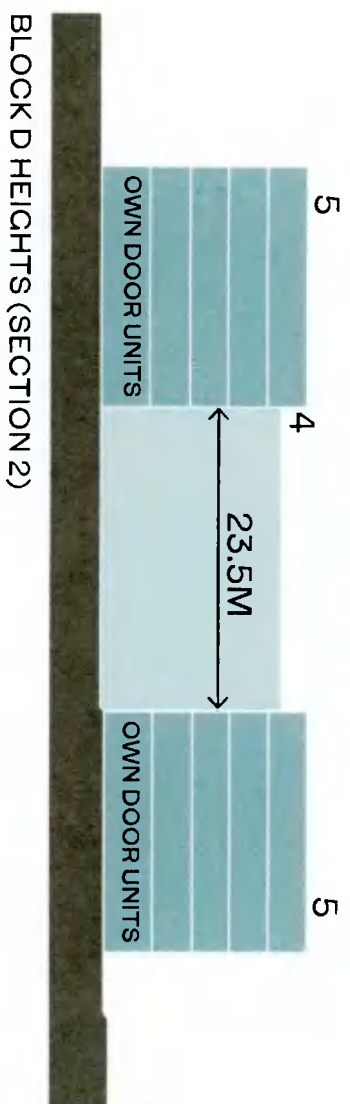
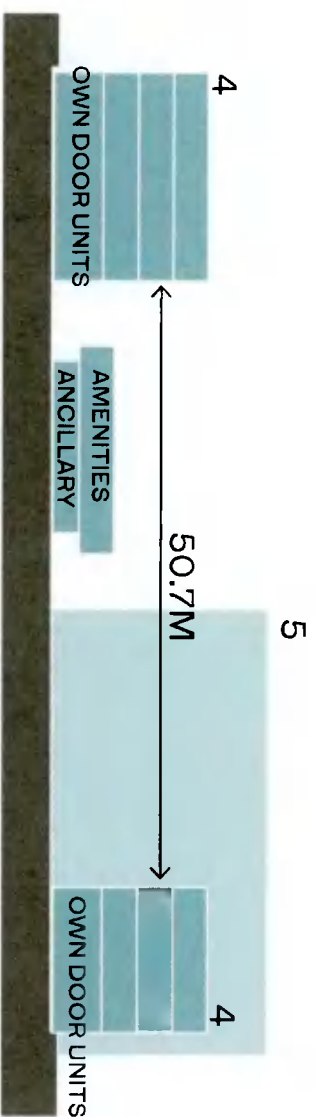
## 03 MASSING

### 3.4 BLOCK D MASSING

Block D is configured around a central courtyard, crossed by the E-W pedestrian link, with own door units providing activity, animation and passive surveillance both to public and resident's amenity open space.

Building entrances are generally located in the inner corners, accessed via an undercroft that provides a visual link with the public realm.

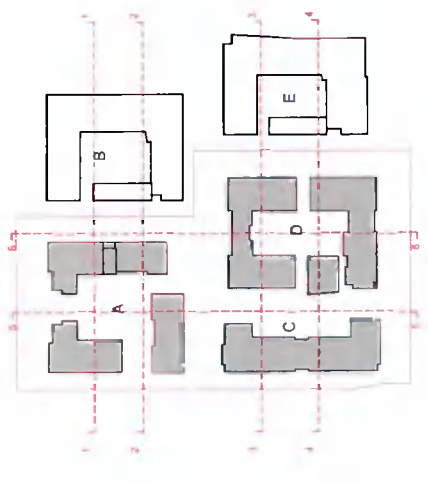
At the junction of the N-S link and the E-W link, a 2 storey resident's pavilion, connected to block D south, hosts the resident amenities which overlook the public open space. A green roof is proposed on this structure.





# O3 MASSING

## 3.5 SITE SECTIONS



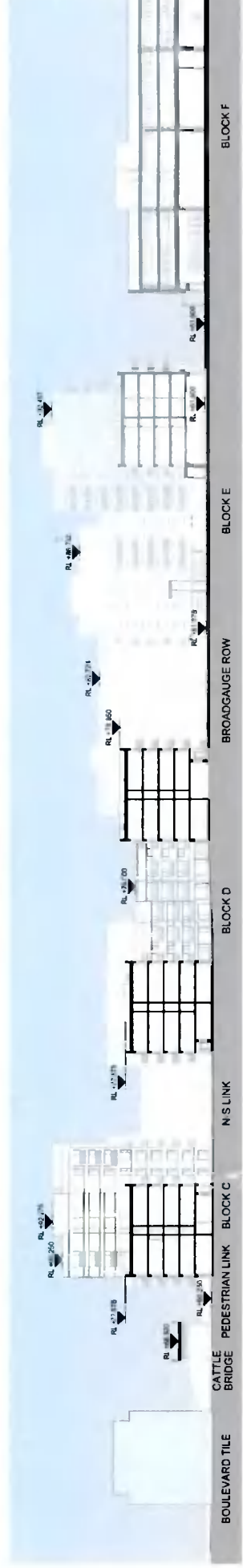
SECTION 1



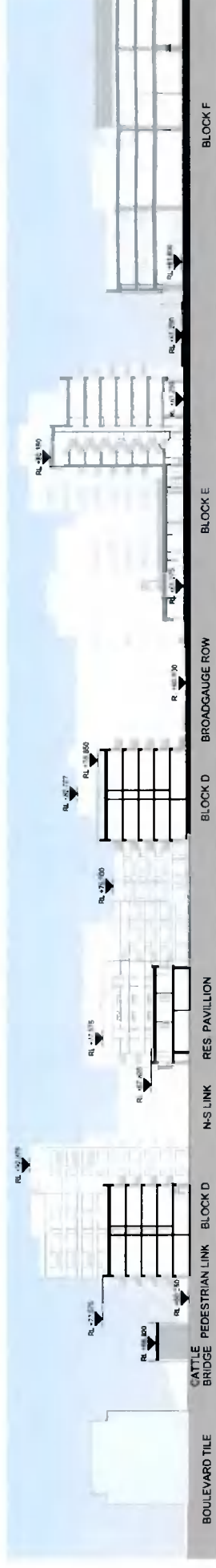
SECTION 2



SECTION 3



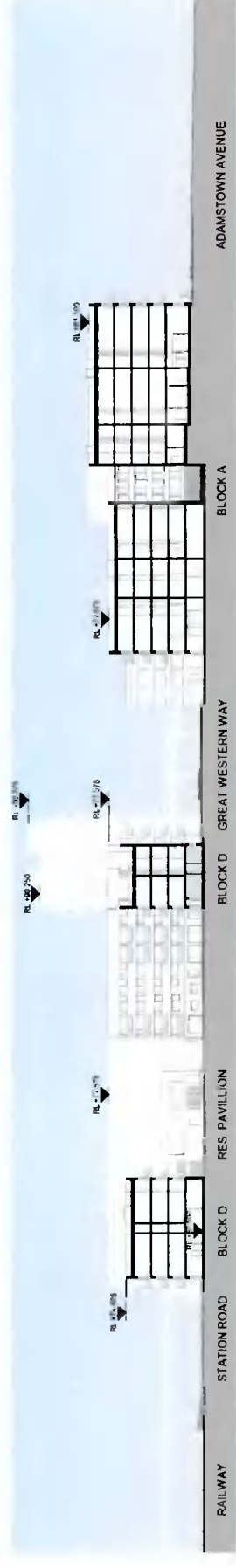
SECTION 4



SECTION 5



SECTION 6



**04**

**DESIGN**

**4.1 UNIT MIX**

**4.2 ORIENTATION & DUAL ASPECT**

**4.3 KEY FEATURES**

**4.4 RESIDENT AMENITIES**

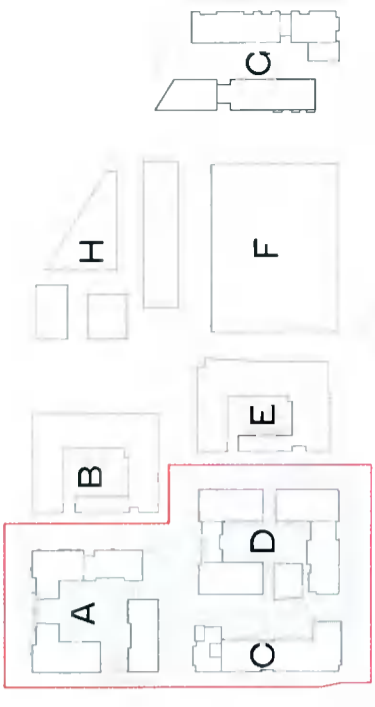
**4.5 WESTERN BOUNDARY**

**4.6 BLOCK A TOPOGRAPHY**



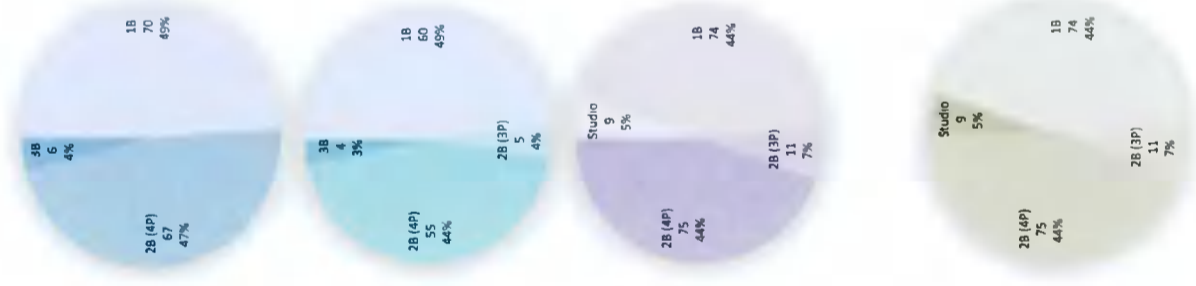
# O4 DESIGN

## 4.1 UNIT MIX

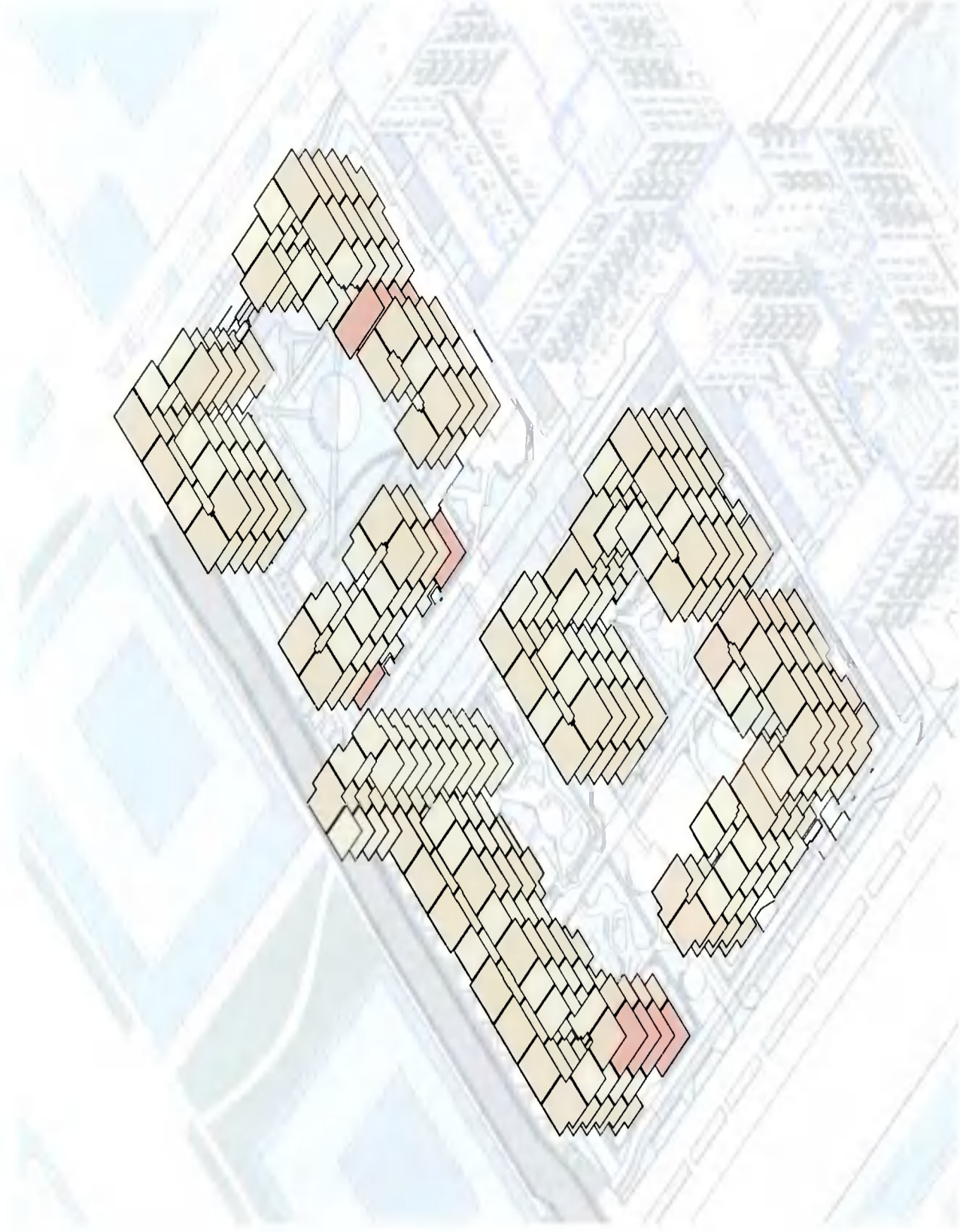


Apts	Type	Count	Mix	Apt area (average)	Total Area (nett)	Total area (gross)	N:C
A	Studio						
	1B	70	49%	50	3491		
	2B(3P)						
	2B(4P)	67	47%	76	5078		
	3B	6	4%	93	560		
11083	Residential				9128		82.4%
	Amenities				162		
	Plant				421		
	Ancillary / waste stores				156		
	<b>Total</b>	<b>143</b>	<b>100%</b>	<b>65</b>	<b>9290</b>	<b>11821</b>	<b>78.6%</b>
C	Studio						
	1B	60	48%	50	2996		
	2B(3P)	5	4%	69	346		
	2B(4P)	55	44%	74	4087		
	3B	4	3%	92	370		
9546	Residential				7798		81.7%
	Amenities						
	Plant				102		
	Ancillary / waste stores				33		
	<b>Total</b>	<b>124</b>	<b>100%</b>	<b>63</b>	<b>7798</b>	<b>9680</b>	<b>80.6%</b>
D	Studio						
	1B	9	5%	39	355		
	2B(3P)	74	44%	50	3678		
	2B(4P)	11	7%	67	734		
	3B	75	44%	78	5818		
12568	Residential				10585		84.2%
	Amenities						
	Plant				149		
	Ancillary / waste stores				40		
	<b>Total</b>	<b>169</b>	<b>100%</b>	<b>63</b>	<b>10585</b>	<b>12757</b>	<b>83.0%</b>
<b>SUMMARY (excludes pavillion)</b>							
436	Studio						
	1B	9	2%	39	355		
	2B(3P)	204	47%	50	10164		
	2B(4P)	16	4%	67	1080		
	3B	197	45%	76	14983		
33197	Residential				929		82.9%
	Amenities (*)				27511		
	Ancillary (*)				162		
	Plant (*)				229		
	<b>Total</b>	<b>436</b>	<b>100%</b>	<b>63</b>	<b>27673</b>	<b>34259</b>	<b>80.8%</b>

(\*) Amenities considered 100%Nett  
Plant & ancillary accommodation within building footprint included in GIFA  
Plant & ancillary located on outbuildings and/or rooftop excluded from GIFA



AXO - UNIT MIX  
● 1 BED  
● 2 BED  
● 3 BED





## 4.2 ORIENTATION & DUAL ASPECT

Buildings were primarily laid out as linear blocks running North-South to maximise the availability of East/West facing units, and to reduce the number of North facing units.

Blocks generally have a return running E-W to maximise the available number of dual aspect units. In block D where this was not feasible the units bookending the corridor have been designed to be dual aspect. There 7 north facing units in block D overlooking the communal landscaped gardens.

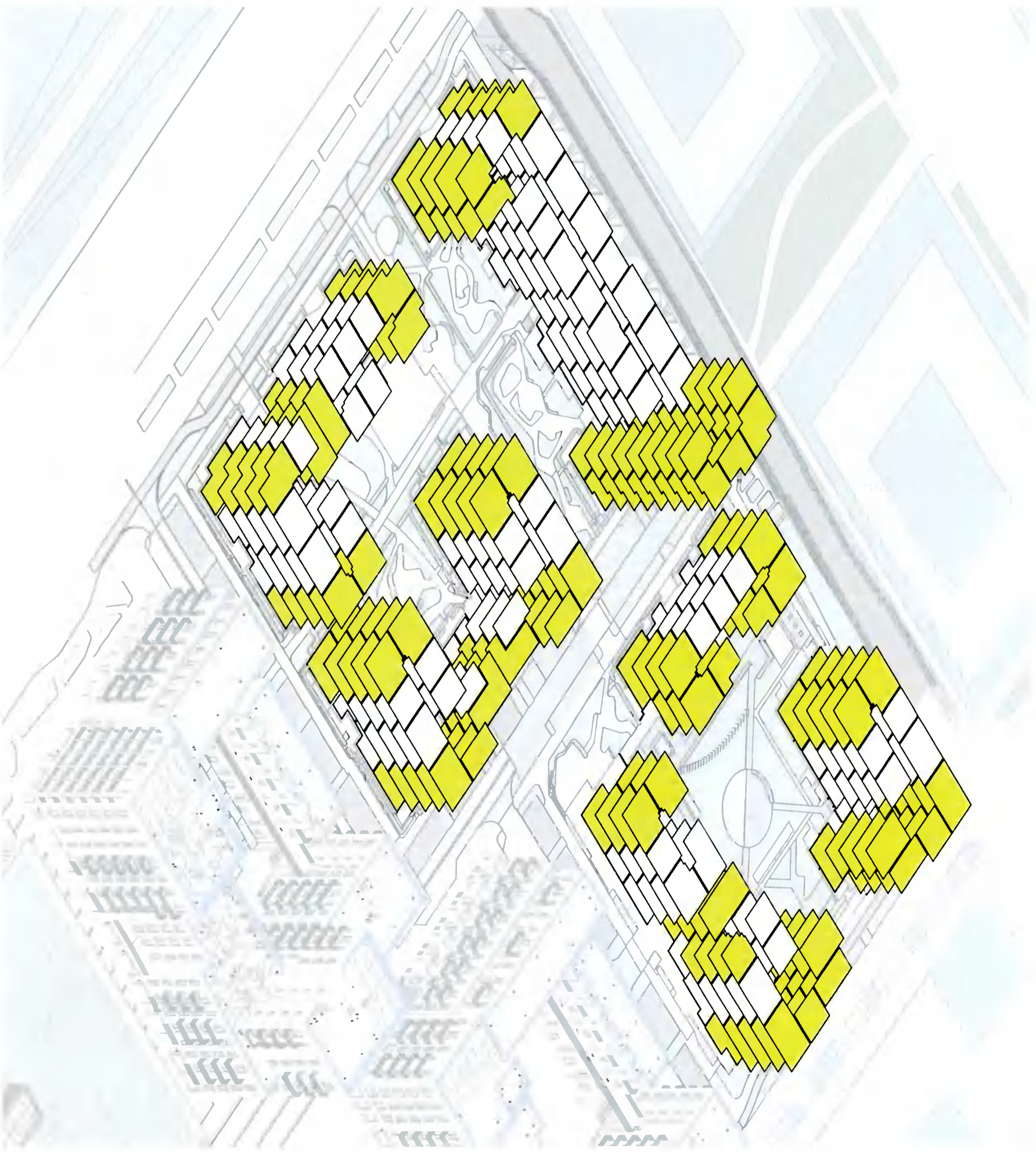
The overall Dual Aspect provision is 50% which is in line with the Apartment guidelines and SDZ.

In terms of minimum apartment areas, 53% of the units are at least 10% larger than the minimum requirements, in line with the Apartment Guidelines.

Dual aspect provision



Oversized unit provision

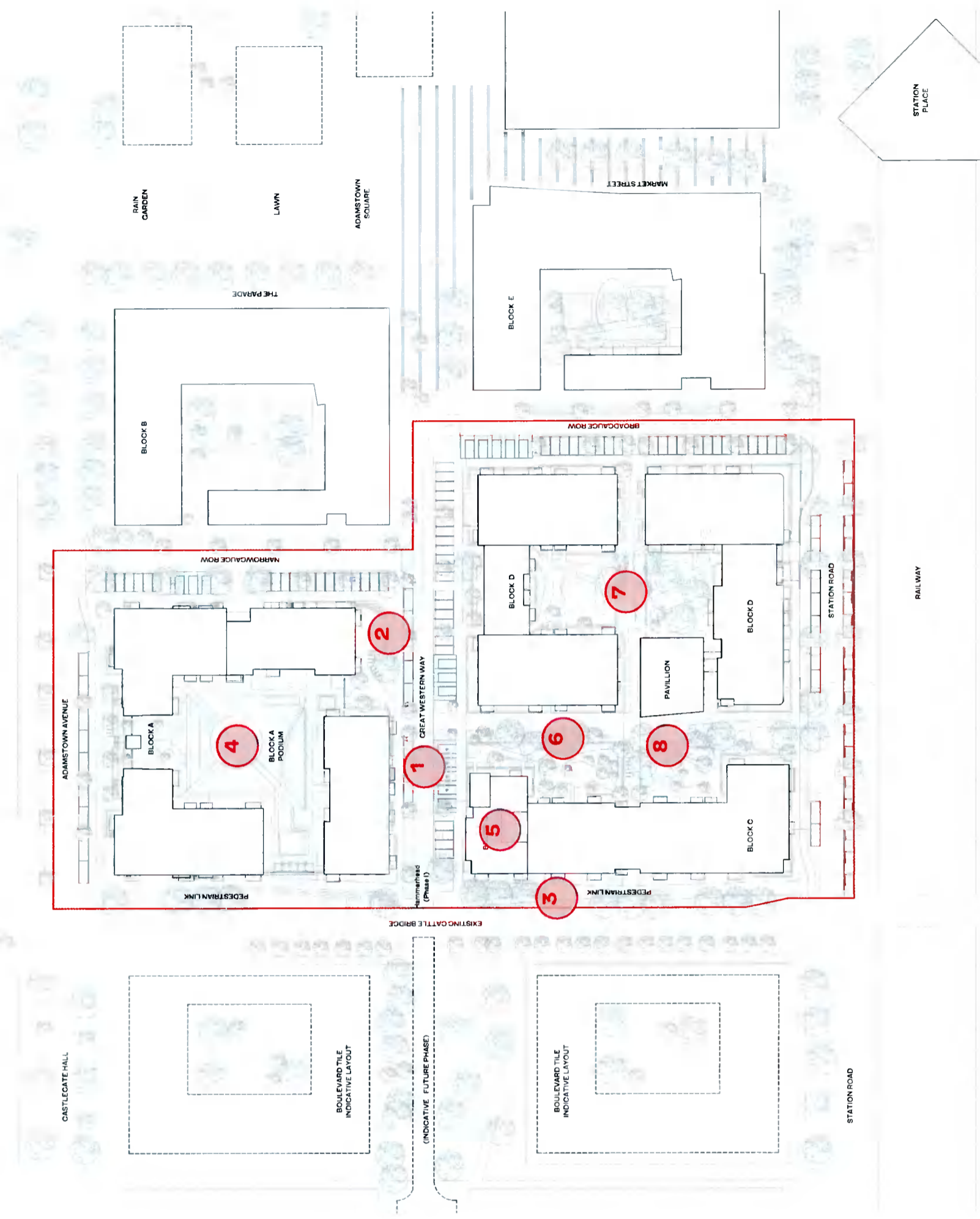




## O4 DESIGN

### 4.3 KEY FEATURES

1. Great Western Way (hammerhead arrangement), to be extended under the existing cattle bridge as part of a future phase of development in Adamstown Boulevard controlled by the Applicant
2. Pocket Park in front of block A paired with resident amenities
3. Pedestrian & cycle route along the existing Cattle Bridge
4. Block A - podium courtyard
5. Landmark building located at the end of the E-W visual axis
6. North-South pedestrian route and associated public open space
7. East-West pedestrian route
8. Resident's Pavilion hosting amenities and secure bicycle parking spaces



SITE PLAN

# 04 DESIGN



## 1. LAYOUT

The building blocks are mainly oriented facing East and West, with corner returns providing dual aspect corner units.

Units are designed as "open plan" with the habitable spaces on the perimeter and non habitable spaces along the corridor wall. Projecting balconies are provided in line with the Apartment Guidelines.

The cores are generally located in the inner corners, and where cores are placed on an external wall they are provided with a window to allow for natural daylight.

Internal corridors will be 1.5m wide, with passing points as required to meet the requirements of part M. With the exception of block C, corridors are kept under 15m to meet Part B requirements.

## 2. DUAL ASPECT

50% of units are dual aspect as described in previous pages

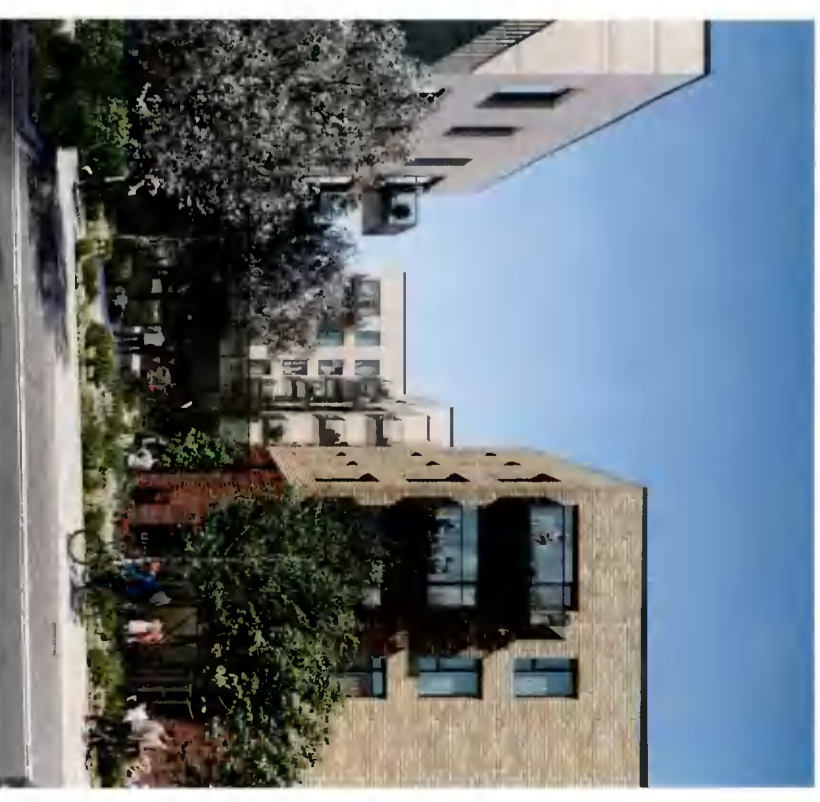
## 3. DAYLIGHT & SUNLIGHT

The report prepared by OCSC confirms that across the entire development excellent levels of internal daylight are achieved. A  $\geq 95\%$  compliance rate is achieved across the entire development.

Units have been designed with high floor to ceiling heights aiding to further enhance the opportunity for improved daylight levels, with appropriately sized windows to meet the daylight requirements.



E-W pedestrian link at block D



Block A pocket park & podium

TYPICAL FLOOR PLAN



## O4 DESIGN

### 4. OWN DOOR UNITS

The proposal includes for 71 no. own door units across all blocks. Own door units provide an element of animation to the ground floor, and improve the passive surveillance of the public realm.

### 5. AMENITIES

Block A amenities are strategically located at the Southeastern corner, paired with a pocket park

### 6. CARPARK

The existing topography is used to locate carparking, bicycle parking and ancillary accommodation in a naturally ventilated semi basement with a landscaped podium above.

### 7. OPEN SPACE

Public open space is organised along the main N-S pedestrian route that links Station Road with Great Western Way.

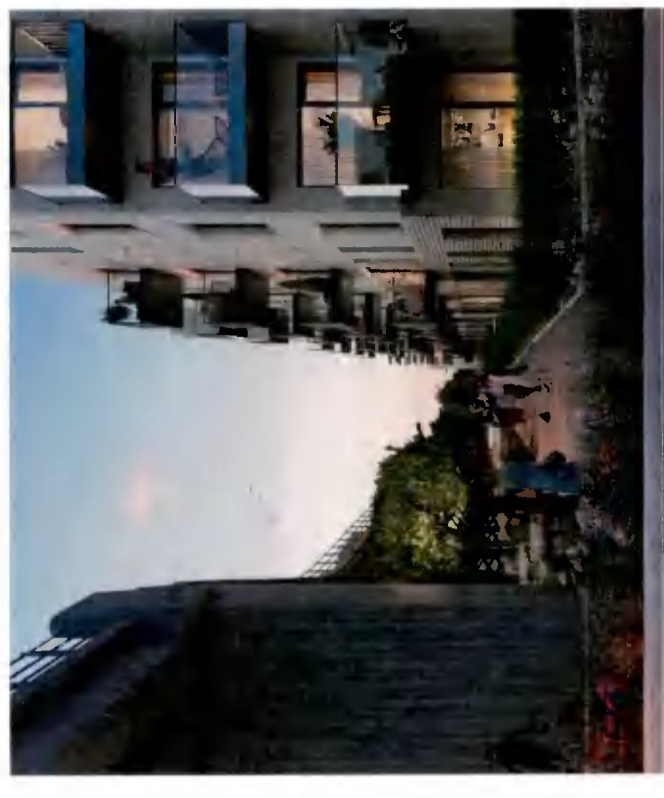
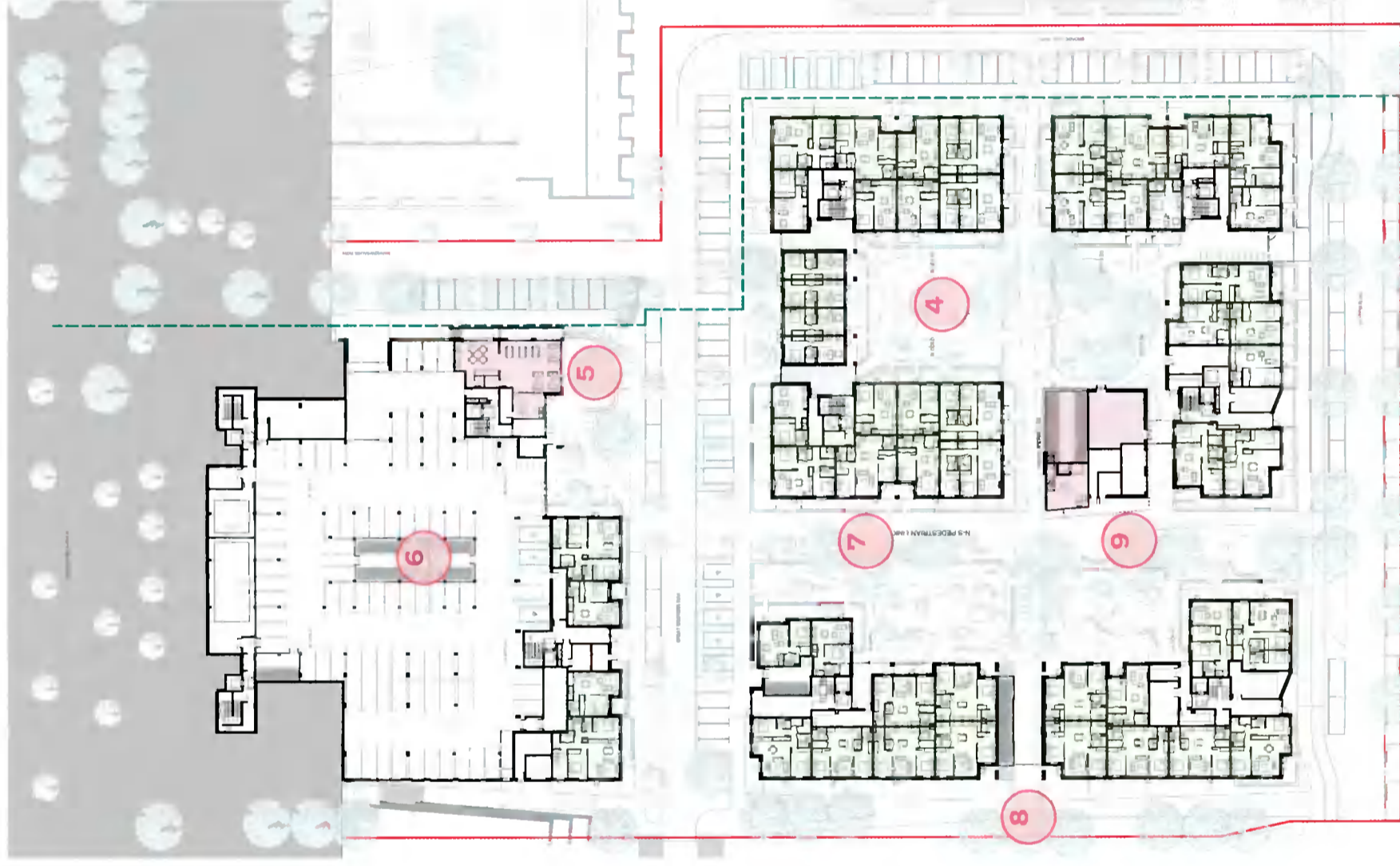
Resident's amenity open space is clearly defined yet visually permeable.

### 8. BRIDGE WALK

Own door units accessed from the proposed pedestrian route along the cattle bridge at the Western edge provide activity and passive surveillance to this area.

### 9. RESIDENT'S PAVILION

Located at the intersection of the 2 pedestrian and visual axes, the pavilion provides amenities for the residents on Level 1, with a reception desk and secure bicycle parking at ground floor. Other accommodation including the ESB substation and a central waste management facility are also located in this ancillary building for the resident's convenience.



Pedestrian bridge walk along block C



Block A pocket park

GROUND FLOOR PLAN



## 04 DESIGN

### 10. RESIDENT AMENITIES

Amenities for blocks C&D are located in a Resident's Pavilion in the heart of blocks C&D at the intersection of the 2 main pedestrian axes, overlooking the surrounding public open space.

### 11. OWN DOOR UNITS

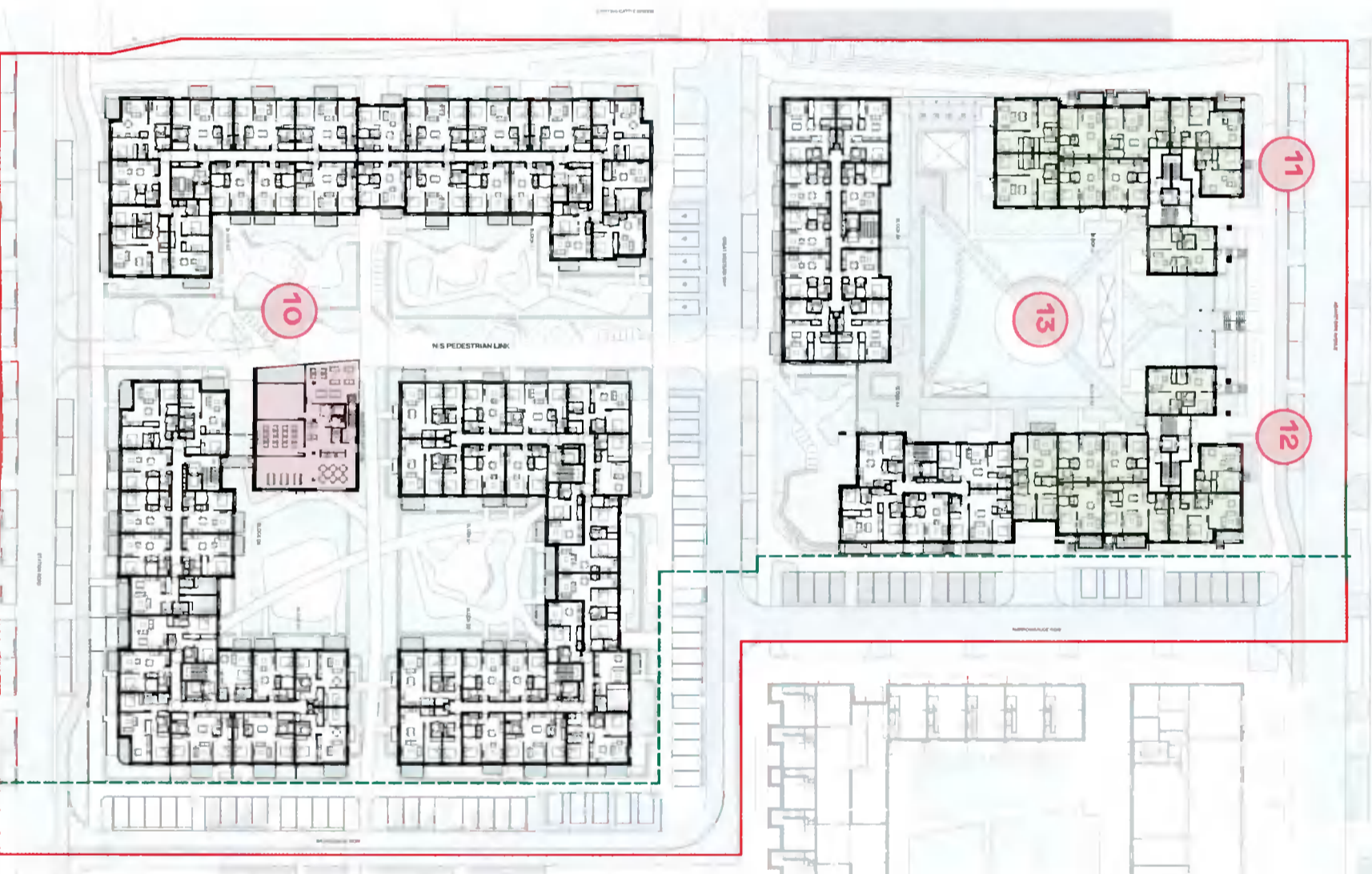
Own door units along the Northern half of block A dress the podium carpark and provide an appropriate urban edge and passive surveillance on the bridge walk, Adamstown Avenue and Narrowgauge Row.

### 12. ACCESSIBILITY

The level difference between Adamstown Avenue and the podium level (circa 1.5m) is solved with the inclusion of dual-access lifts on the Northern cores. The Southern cores provide additional connectivity to Level O and the resident amenities, allowing for universal access to the resident's open space.

### 13. BLOCK A PODIUM

The landscaped podium over the carpark in block A provides a generous amenity open space with excellent sunlight availability for the residents, overlooked by own door units.



Block A podium



N-S pedestrian link

FIRST FLOOR PLAN



## 04 DESIGN

### 4.4 RESIDENT AMENITIES

The resident amenity areas will be developed as the visible focal points to each building “cluster”, clearly splitting the community facilities into two separate, identifiable urban zones within the Adamstown Station tile.

1. Block A amenities are located in the Southeast corner, overlooking the proposed pocket park. Amenities will include a reception office and 2 large multi use rooms.
2. Block C&D amenities are located in a Resident's Pavilion at the centre of the block, with reception, bicycle parking and waste management on the ground floor; and 4 large multi use rooms located on the first floor overlooking the public open space below.

While the final brief will be ultimately defined by the operator, possible uses for the resident amenities include:

- Concierge & reception areas
- Cym
- Lounges & collaborative work spaces
- Study room & games room
- Multi-purpose communal rooms
- Resident support services: post room, administration, maintenance

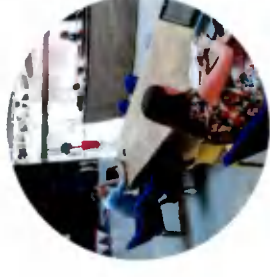


Resident's Pavilion

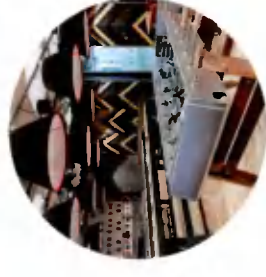
Adamstown District Centre



Universal Access  
Lift to podium & block A



Concierge, resident support services, deliveries & post room



Leisure / games room



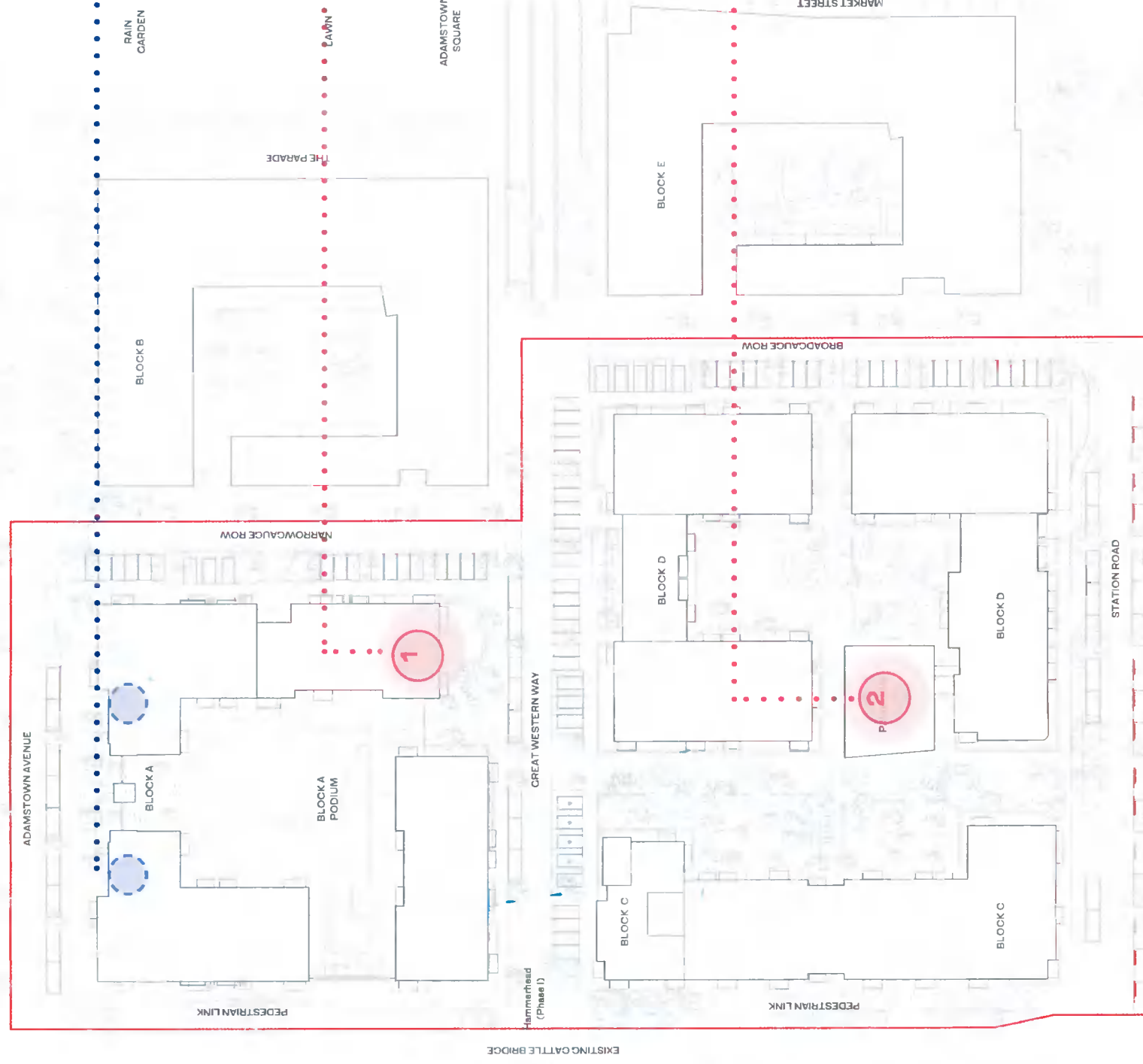
Cym & fitness suite



Lounge, work from home



Secure bicycle parking & resident facilities



RAILWAY

# 04 DESIGN

## 4.5 WESTERN BOUNDARY - CATTLE BRIDGE

The subject site is bound by an existing cattle bridge that provides a link to agricultural lands south of the railway.

The feasibility of the bridge crossing, as well as the appropriate distance, uses and architectural treatment of the bridge and the buildings facing it were subject of several Pre Planning Application Meetings with the Local Authority.

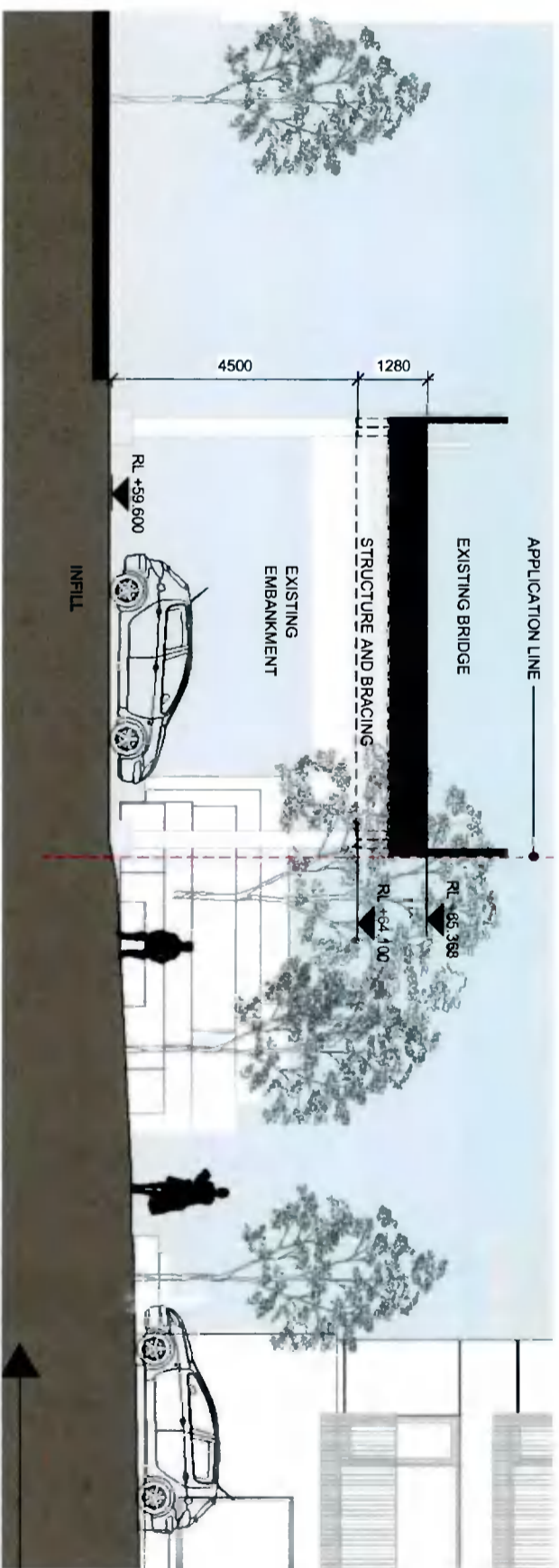
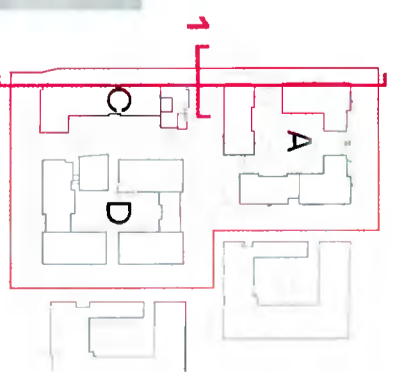
Initial feasibility studies carried out by the civil engineers in the design team suggest it is feasible to extend the road under the bridge from a technical point of view .

The site levels are relatively flat from Station Road to Great Western Way, where there is a proposal to extend the road in future development to link with the Boulevard Tile. From that point the bridge gradually descends, while the ground naturally ascends to meet the level of Adamstown Avenue.

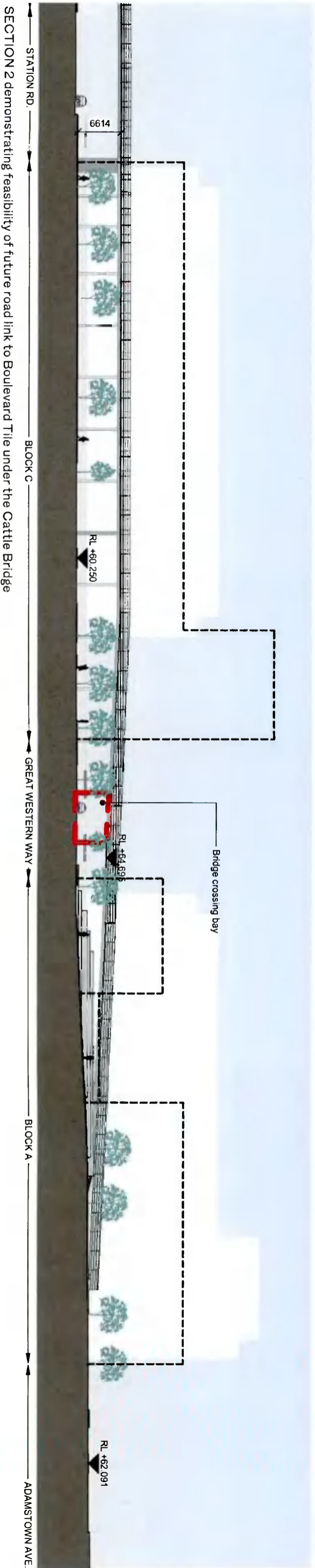
Two distinct zones North and South of Great Western Way present different edge conditions to the apartment blocks, which are explained in the following pages.



Photo from Station Road looking at the existing cattle bridge



SECTION 1 demonstrating feasibility of future road link to Boulevard Tile under the Cattle Bridge



SECTION 2 demonstrating feasibility of future road link to Boulevard Tile under the Cattle Bridge



## O4 DESIGN

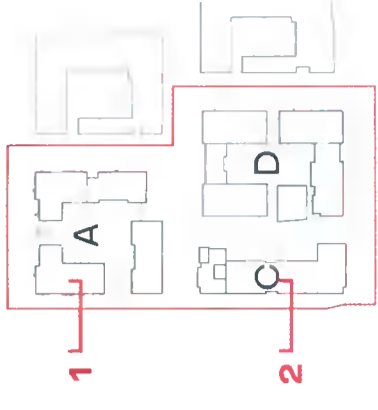
The existing cattle bridge presented a significant challenge during the design development of the proposal.

The conditions along the cattle bridge are substantially different for block A and for block C.

Block C is presented with an elevated structure, roughly in line with the second floor, which was a reason of concern in respect of the amenity of the units on ground and first floor. However, the height of the bridge allows for acceptable levels of daylight and sunlight as demonstrated by the assessment carried out by OCSC.

Own door units on ground floor will provide passive surveillance along the bridge walk.

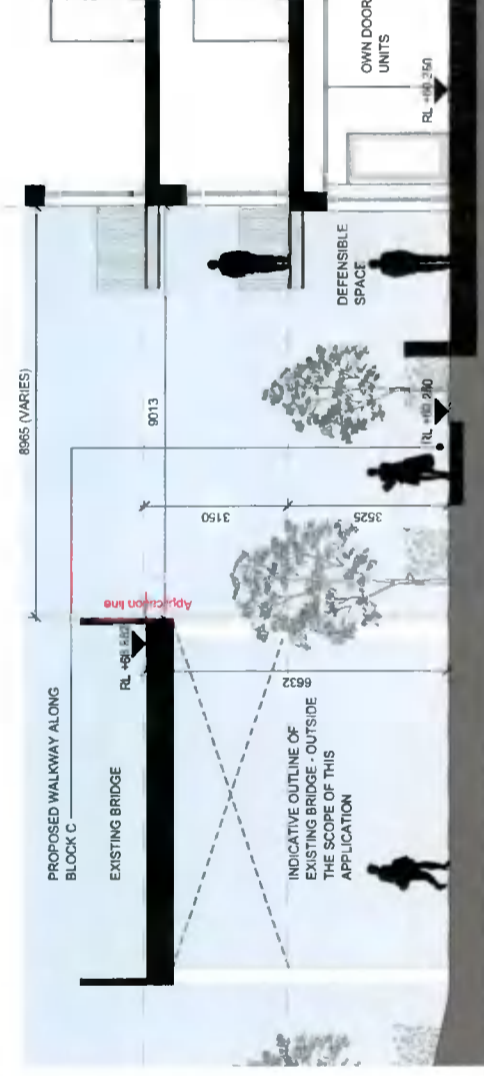
The challenge for Block A was integrating the existing embankment, which gradually reduces as the ground ramps up towards Adamstown Avenue. The embankment is treated with hard and soft landscaping, and an opening in the podium level provides a visual break as well as overlooking of this space. As the ground approaches the Northern end, own door units activate the building edge and assist with passive surveillance.



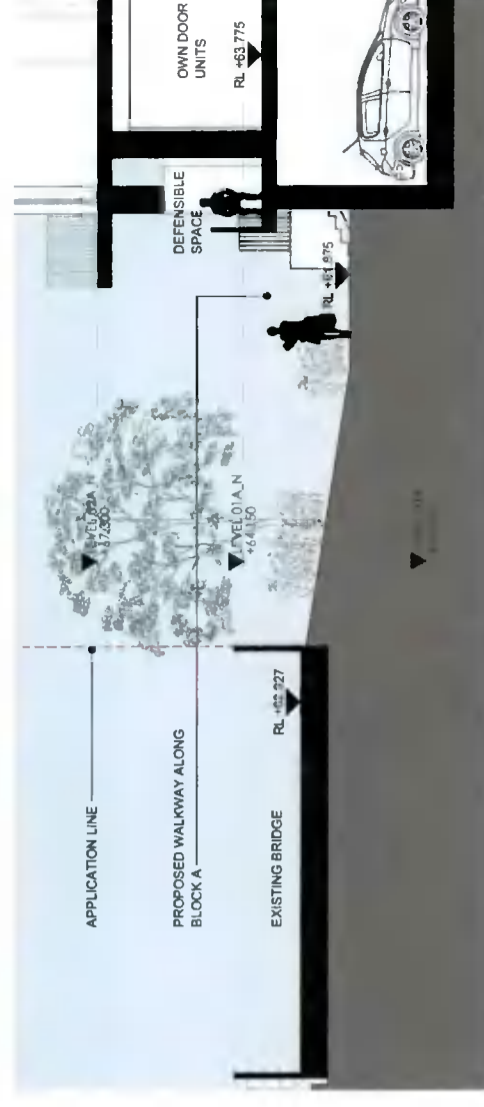
Bridge walk along block C



End of bridge walk at Adamstown Avenue - block A



CROSS SECTION THROUGH BLOCK C



CROSS SECTION THROUGH BLOCK A



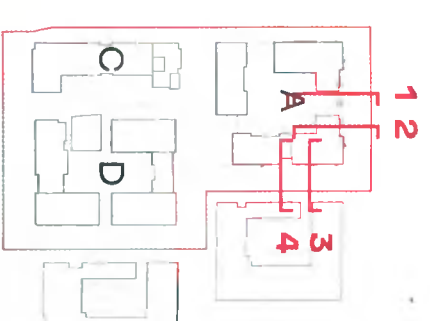
4.6 BLOCK A TOPOGRAPHY - EDGE CONDITIONS



Block A N-E corner



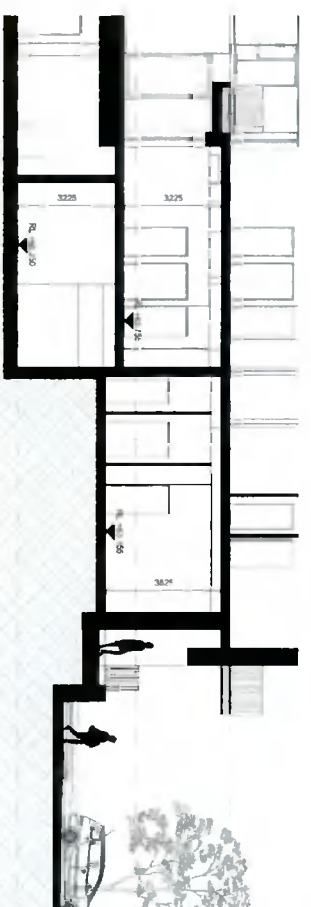
Block A Podium and pocket park



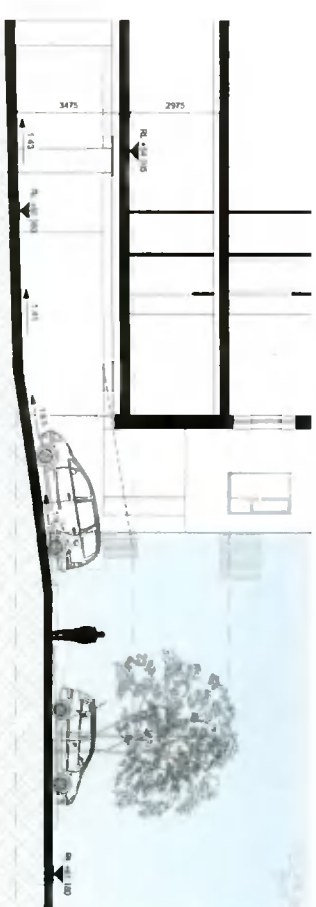
SECTION 1 - Podium interface on Adamstown Avenue



SECTION 2 - Entrance on Adamstown Avenue



SECTION 3 - Own door units on Narrowgauge Row



SECTION 4 - Carpark entrance along Narrowgauge Row



# **05 MOVEMENT STRATEGY**

**5.1 CAR PARKING**

**5.2 BICYCLE PARKING**

**5.3 EMERGENCY AND SERVICE ROUTES**

**5.4 PROPOSED ROAD AND PARKING LAYOUT**

# O5 MOVEMENT STRATEGY

## 5.1 CAR PARKING

It is proposed to provide residential parking at a ratio of 0.5 spaces per unit, plus 2no. visitor spaces.

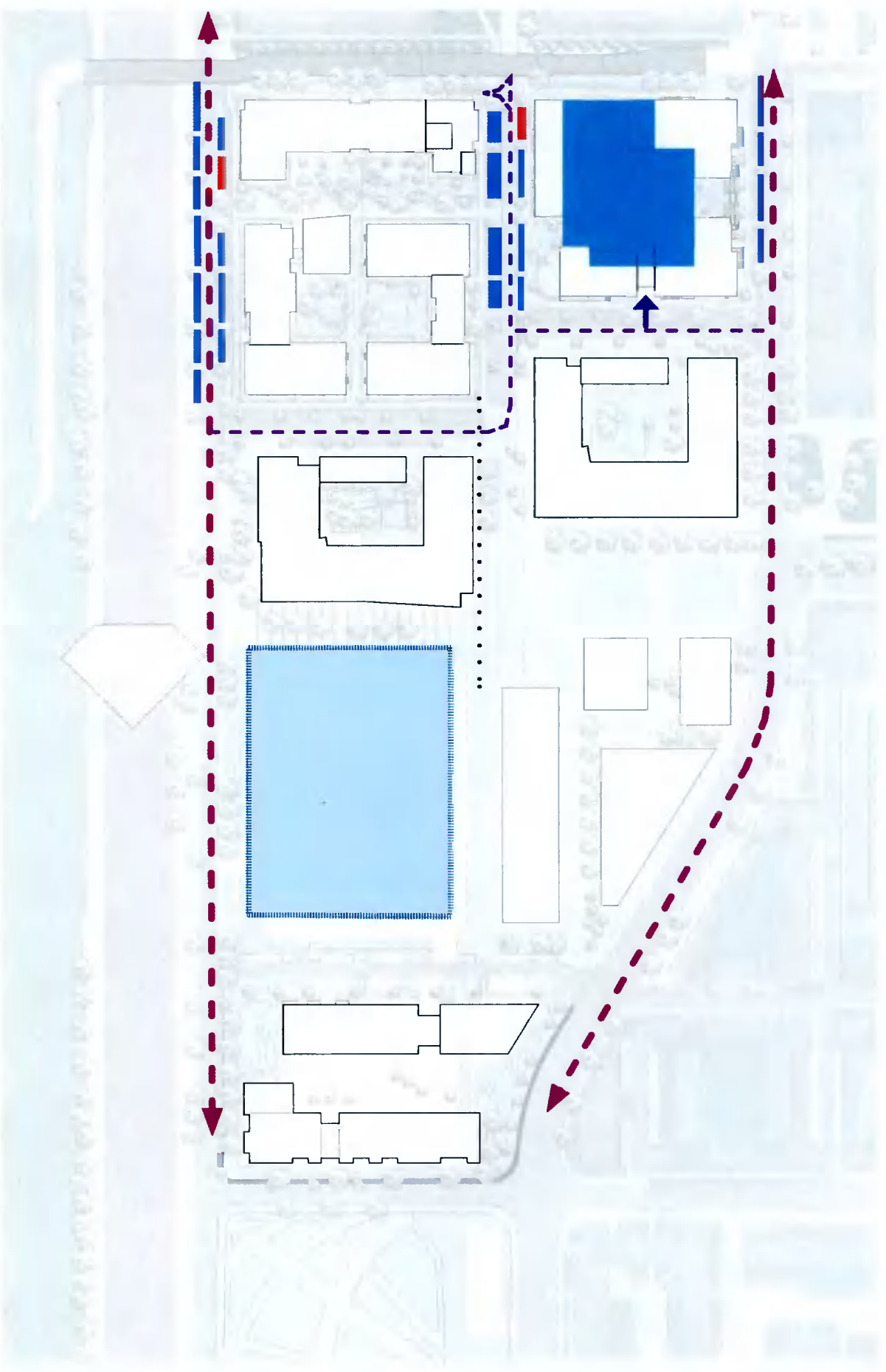
436 units x 50% = 218 car parking spaces + 2 visitor spaces


Total provision = 220 Parking spaces

5% of the total provision (11no.) will be for the use of disabled people

10% of the total provision (22no.) will be provided with electric charging points

Refer to Atkins carparking allocation drawing for details



-  CAR PARKING LOCATIONS
-  DROP OFF POINTS
-  PODIUM CAR PARKING ENTRANCE POINTS
-  MAIN ROADS
-  SECONDARY ROADS
-  MULTI STOREY CARPARK



## 05 MOVEMENT STRATEGY

### 5.2 BICYCLE PARKING

It is proposed to provide 1 bicycle parking per residential unit, resulting in a requirement for 436 resident bicycle spaces.

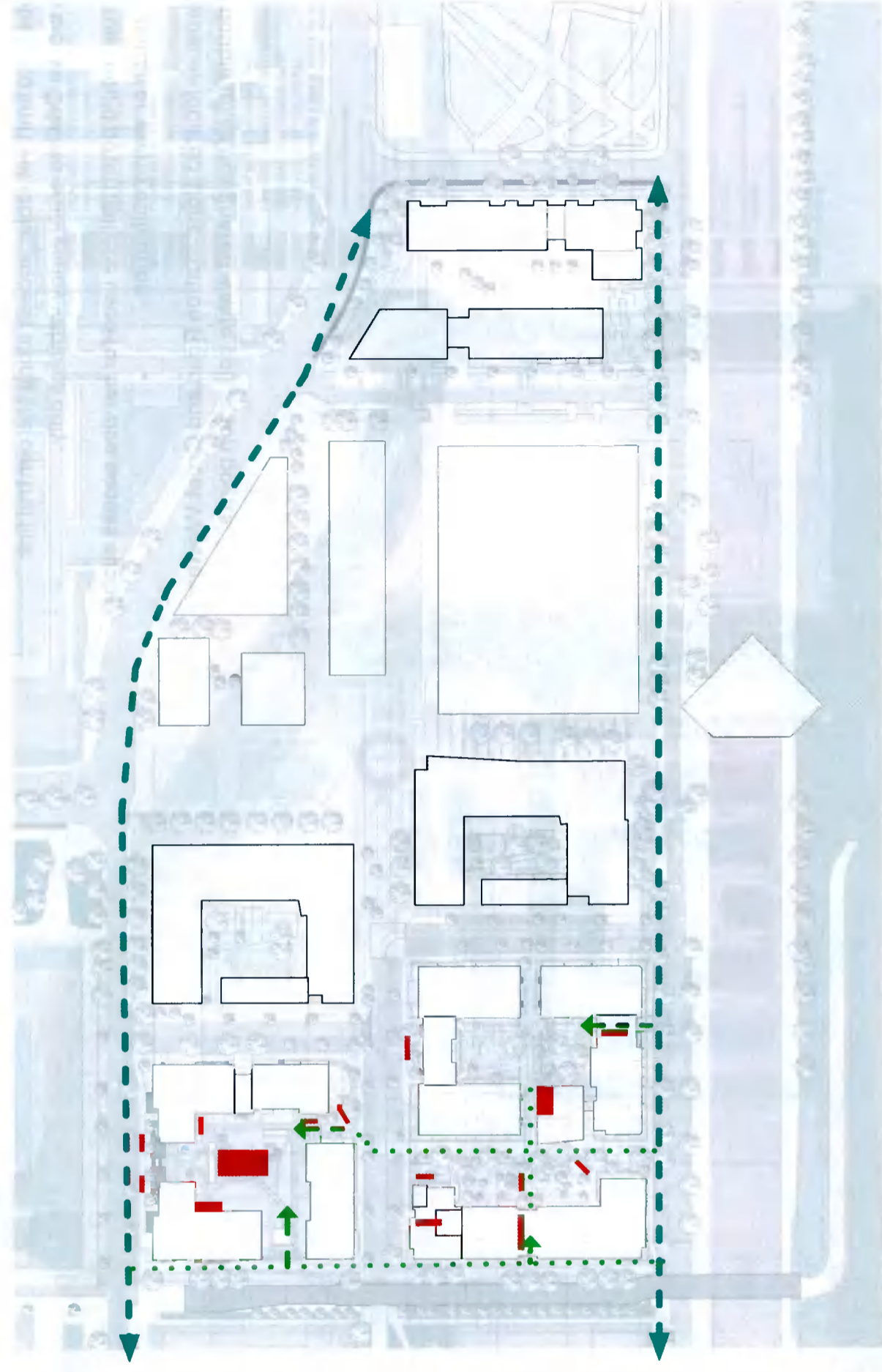
Visitor parking will be provided at a ratio of 1 space per 5 residential units, totaling 90no. visitor spaces to be provided in the public realm as Sheffield stands.

Resident bicycle parking spaces will be provided in a mix of stacked and Sheffield stands in secure locations across the site, as follows:

- Block A = 144
- Block C = 124
- Block D = 148
- Visitors = 90

Total provision = 526 Bicycle parking spaces

Refer to carparking allocation drawing for details



- RESIDENT BICYCLE PARKING
- VISITOR BICYCLE PARKING
- MAIN BICYCLE ROUTE
- RESIDENTS BICYCLE ROUTE

**06**

**CHARACTER**

**6.1 ELEVATIONAL STRATEGY**

**6.2 MATERIAL PALETTE**

**6.3 CONTEXT ELEVATIONS**

**6.4 ELEVATIONAL STUDIES**

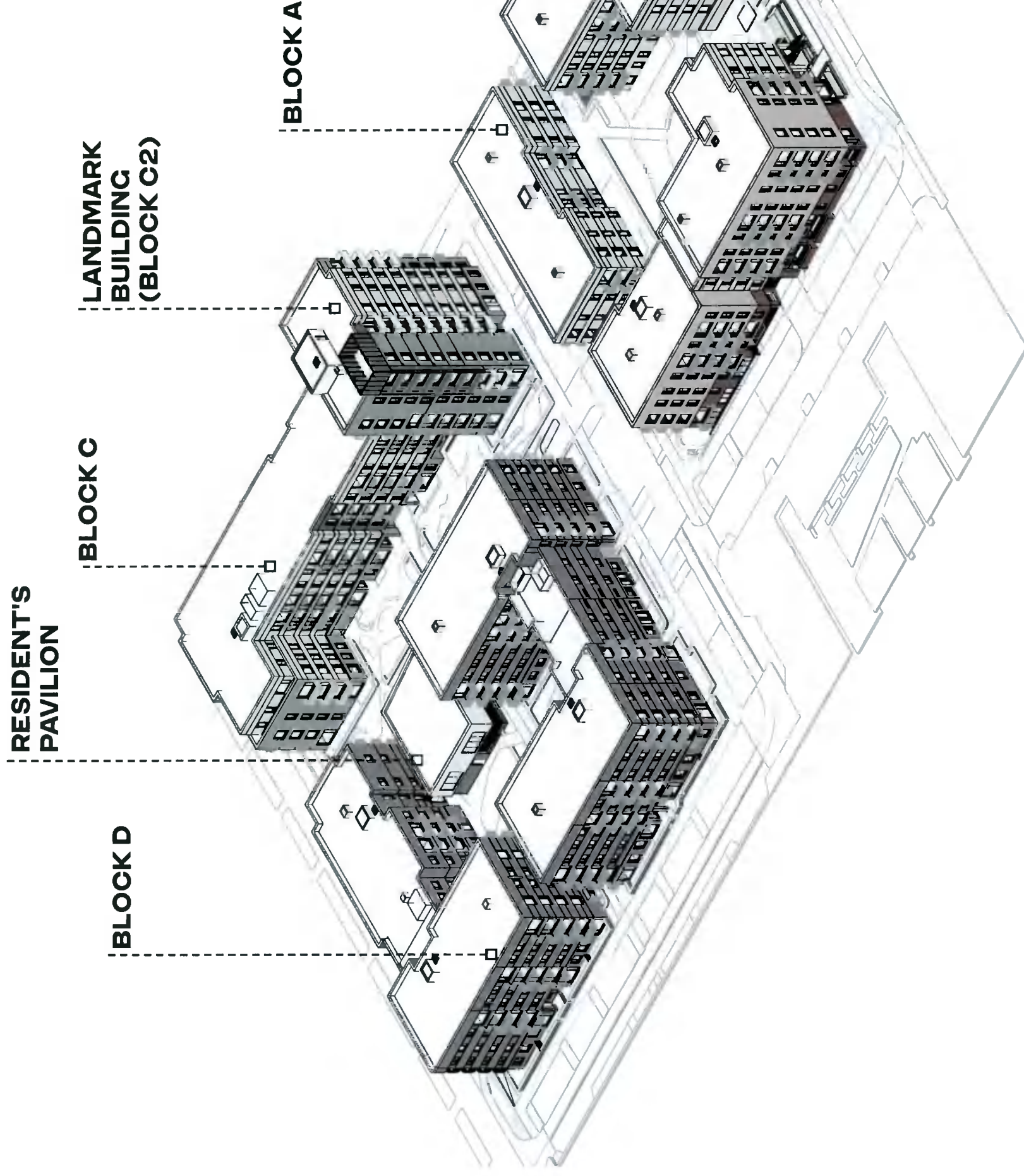


## 06 CHARACTER

### 6.1 ELEVATIONAL STRATEGY

The initial step was defining an elevational treatment strategy to include:

1. A material palette to create a unified 'neighbourhood' feel, with brick in complementary tones being the primary material.
2. A sense of individual building identity is created through subtle changes in brick colour from block to block.
3. Brick becomes the material for the public frontages
4. Render is used to the internal courtyard elevations
5. Landmark building to use a distinctive rainscreen cladding, clearly identifiable from a distance
6. Amenities at ground level of Block A and in the pavilion building Block D will be treated as clearly identifiable objects to assist with the way-finding strategy.
7. Robust materials for durability and ease of maintenance





# 06 CHARACTER

## 6.2 MATERIAL PALETTE

The material palette is designed to create a unified 'neighbourhood' feel, with brick in complementary tones.

Visual interest and a sense of individual building identity is created through subtle changes in brick colour from block to block, as well as alternating textures.

Brick is used due to its durability, robustness and grounds the scheme within its residential context.

The brick facades work in contrast, to the window frames, balustrades, copings and gates which are in tonal grays to tie these elements into the wider material strategy for the scheme.

All materials outlined above will help create buildings that resist deterioration over time. The building and open space elements can be easily and safely maintained and managed by the future operators of the scheme.

### BLOCK A



**BROWN / RED BRICK MIX**

*Standard mortar joint*



**RED / PINK BRICK**

*Light coloured mortar joint*



**ACRYLIC RENDER**

*Buff acrylic render on EIFS system*

### BLOCK C



**DARK RED BRICK MIX**

*Dark / red coloured mortar joint*



**TERRACOTTA ACRYLIC RENDER**

*EIFS system*



**WINDOWS, BALCONIES**

*PPC finish in selected colour*

### BLOCK D



**DARK BROWN / BLACK BRICK**

*Dark coloured mortar joint*



**BUFF / WHITE BRICK**

*Light coloured mortar joint*



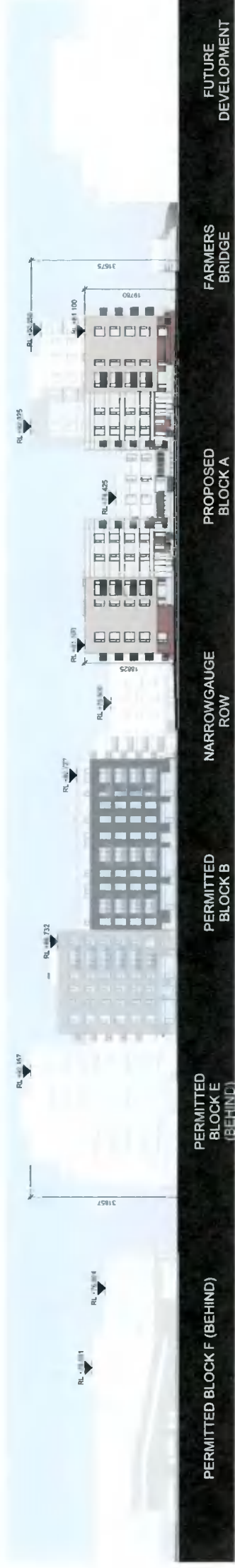
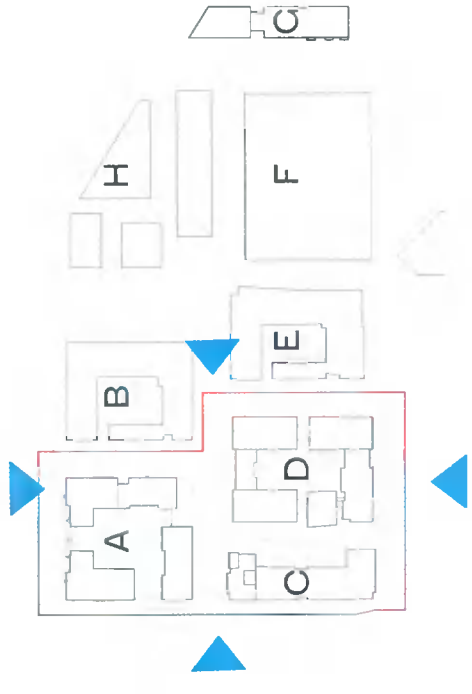
**ACRYLIC RENDER**

*Off white acrylic render on EIFS system*



# O6 CHARACTER

## 6.3 CONTEXT ELEVATIONS



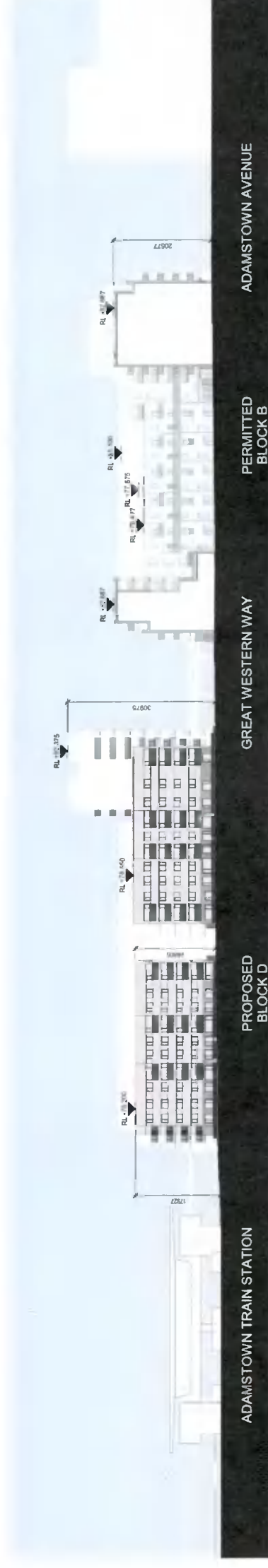
SITE ELEVATION - NORTH



SITE ELEVATION - SOUTH



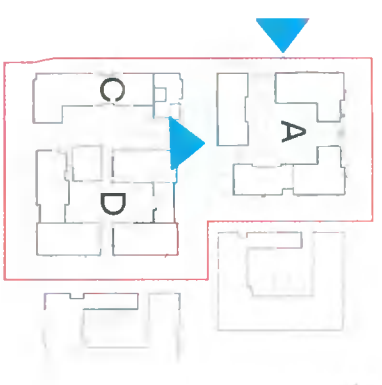
SITE ELEVATION - WEST



SITE ELEVATION - EAST



06 CHARACTER  
 6.4 ELEVATIONAL STUDIES  
 BLOCK A



BLOCK A SOUTH ELEVATION



BLOCK A EAST ELEVATION



Reference images for illustration purposes



# O6 CHARACTER

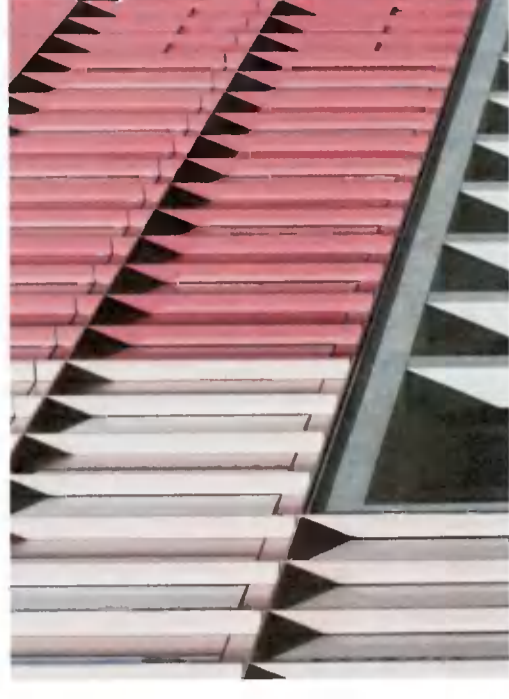
## BLOCK D



BLOCK D SOUTH ELEVATION



BLOCK D WEST ELEVATION

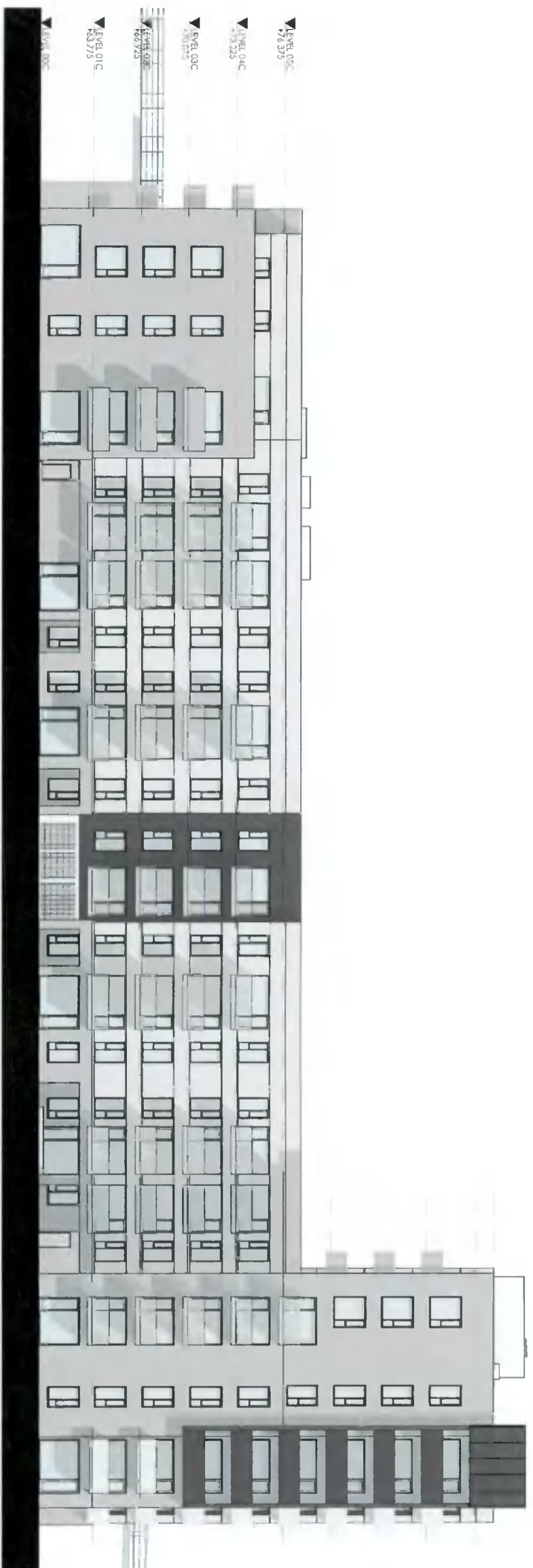


Reference images for illustration purposes

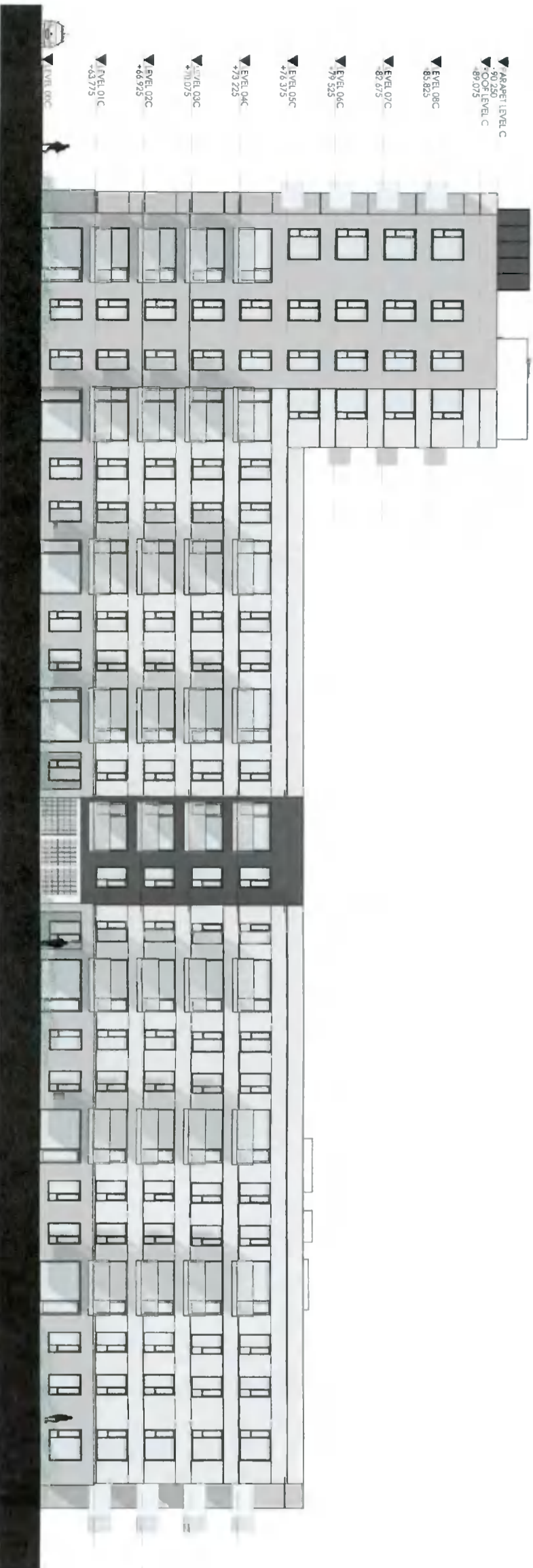


# 06 CHARACTER

## BLOCK C

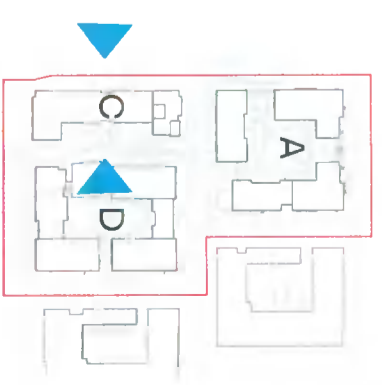


BLOCK C EAST ELEVATION



BLOCK C WEST ELEVATION

Adamstown District Centre



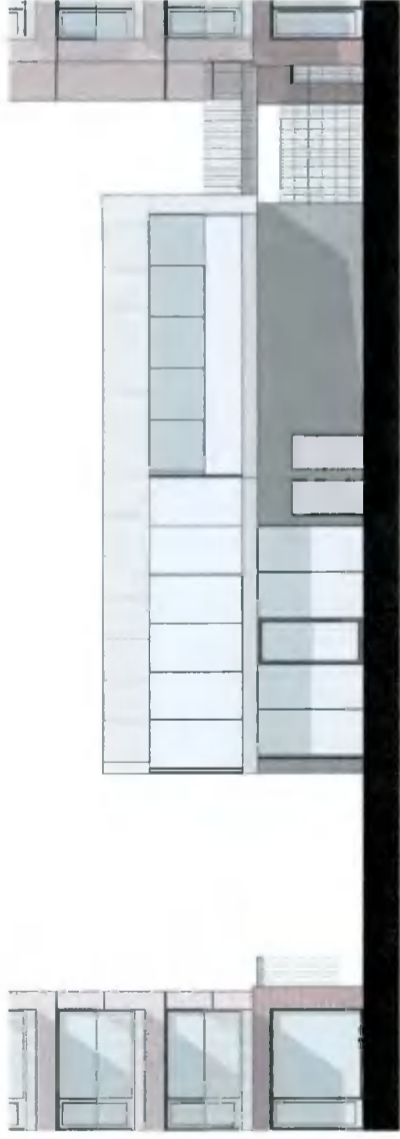
Reference images for illustration purposes



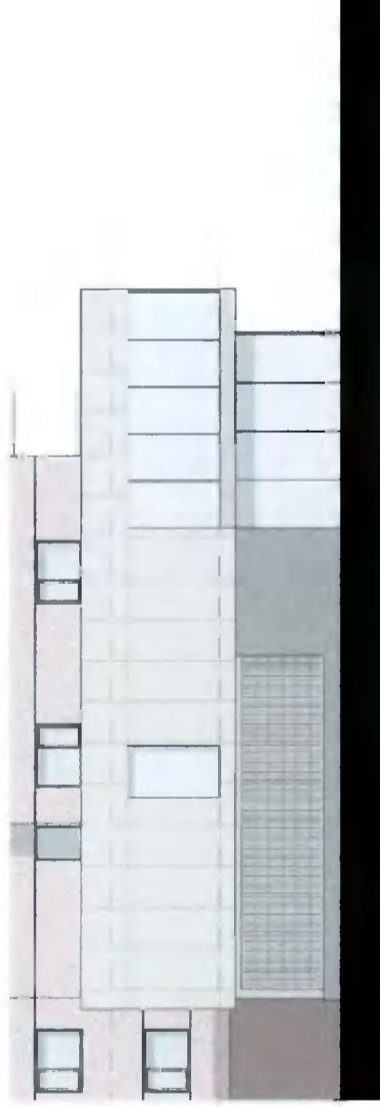
# 06 CHARACTER

## RESIDENT'S PAVILION

WEST ELEVATION



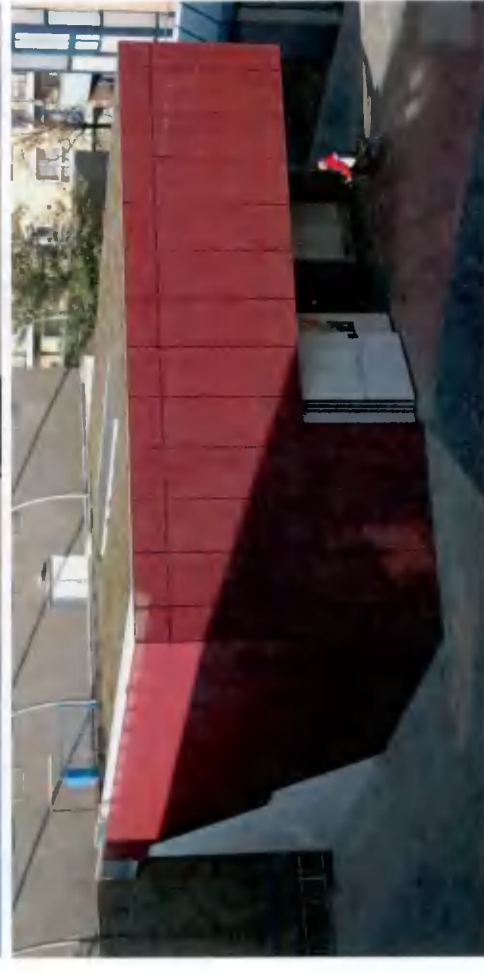
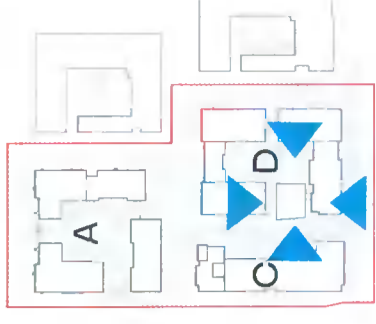
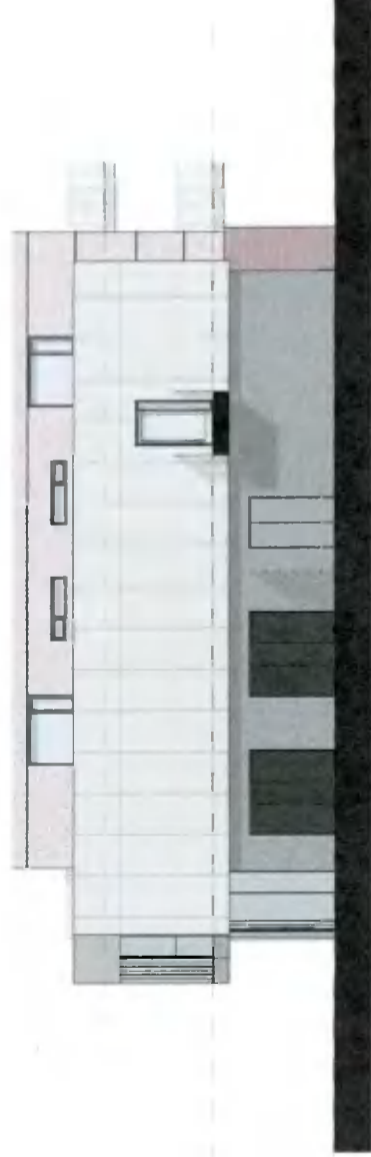
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



Reference images for illustration purposes

**07**

## **SCHEDULES**

**7.1 SUMMARY SCHEDULE**

**7.2 SCHEDULE OF ACCOMMODATION BY BLOCK**

**7.3 PROPOSED PART V SCHEDULE**

**7.4 HOUSING QUALITY ASSESSMENT (HQA)**



# 07 SCHEDULES

## 7.1 SUMMARY SCHEDULE & INDICATORS

SUMMARY OF AREAS			
Blocks A, C & D	Nett	Gross	N/G
RESIDENTIAL NETT	sqm 27,511		
RESIDENTIAL GROSS	sqm 33,197		83%
Resident Amenities	sqm 162		
Ancillary & waste stores	sqm 229		
Plant	sqm 672		
<b>Subtotal GFA blocks A, C &amp; D</b>	sqm 27,673	34,259	81%

ANCILLARY BUILDINGS		
Resident's Pavillion	Nett	Gross
Pavillion Building (*)	sqm 336	480
<b>Subtotal blocks A, C &amp; D + pavillion</b>	28,009	34,739
(*) excludes bicycle parking		
Carpark	sqm 2,332	
Bicycle parking (incl. pavillion)	sqm 331	
<b>TOTAL (incl. Carpark)</b>	sqm 37,402	

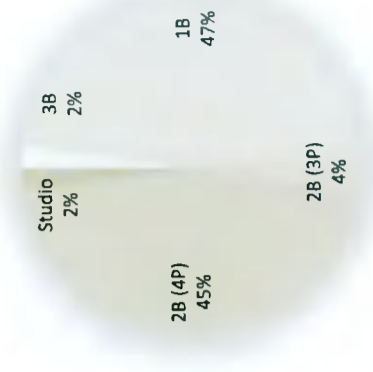
INDICATORS	GIA	Site area
PLOT RATIO	34,739 /	24,265 = <b>1.43</b>
DENSITY	436 /	2.43 = <b>180</b> (un/Ha.)

CARPARKING (*)	Podium			Subtotal	Ratio
	On street	MSCP			
Block A	56	16		72	50.3%
Block C	32	30		62	50.0%
Block D	12	72		84	49.7%
Visitor	2			2	0.9%
<b>Total</b>	88	60	72	220	50.5%

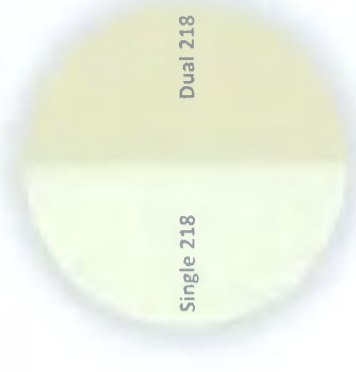
(\*) Disabled carpark allocation 5% / Electric vehicle provision 10%, included in totals

BICYCLE PARKING					
Requirement: 1 per 1 Residents:		436	Visitors@20%:	90	526
PROVIDED SPACES	Stacked	Sheffield	Subtotal	Ratio	
Block A	144		144	100.7%	
Block C	124		124	100.0%	
Block D	148	22	170	100.6%	
Visitor	88		88	20.2%	
<b>Total</b>	416	110	526	120.6%	

UNIT MIX					
	Blk A	Blk C	Blk D	Total	%
Studio	-	-	9	9	2%
1B	70	60	74	204	47%
2B (3P)	-	5	11	16	4%
2B (4P)	67	55	75	197	45%
3B	6	4	-	10	2%
<b>Total</b>	143	124	169	436	



Dual Aspect Provision				
	Total	Single	Dual	%
Studio	9	5	4	1%
1B	204	134	70	16%
2B (3P)	16	1	15	3%
2B (4P)	197	78	119	27%
3B	10	0	10	2%
<b>Total</b>	436	218	218	50%



Oversized units (+10%)					
	Total	Avg area	Area	Min.	+10%
Studio	9	39.5	355	9	0
1B	204	49.8	10,164	15	189
2B (3P)	16	67.5	1,080	11	5
2B (4P)	197	76.1	14,983	158	39
3B	10	92.9	929	10	0
<b>Total</b>	436	63.1	27,511	203	233



OPEN SPACE (*)		
	Provided	Required
OS1 Private Open Space (**)	sqm. 4,453	2,621
OS2 Communal Amenity Open Space	sqm. 3,281	2,621
OS3 Public Open Space	sqm. 3,138	-

(\*) Refer to Camlins landscape architect drawings

(\*\*) includes private open space on Level 0 & Level 1 and balconies

# 07 SCHEDULES

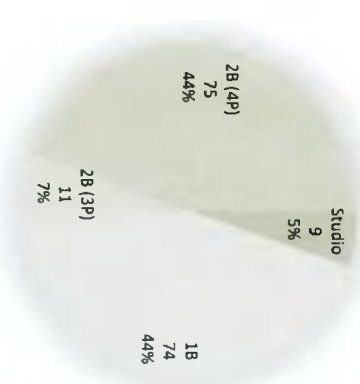
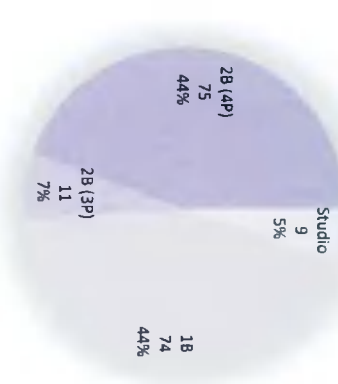
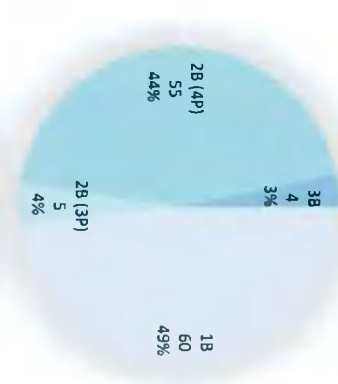
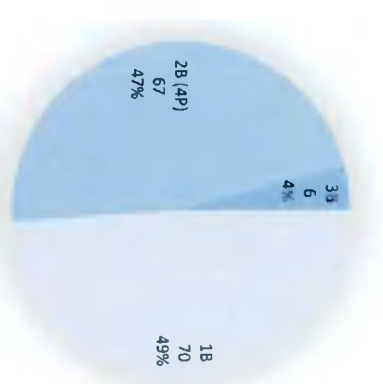
## 7.2 SCHEDULE OF ACCOMMODATION BY BLOCK

Apts	Type	Count	Mix	Apt area (average)	Total Area (nett)	Total area (gross)	N:C
A 143	Studio	70	49%	50	3491		
	1B						
	2B (3P)	67	47%	76	5078		
	2B (4P)	6	4%	93	560		
	3B						
	Residential				9128	11083	82.4%
	Amenities				162	162	
	Plant					421	
	Ancillary / waste stores					156	
	Total	143	100%	65	9290	11821	78.6%
C 124	Studio	60	48%	50	2996		
	1B						
	2B (3P)	5	4%	69	346		
	2B (4P)	55	44%	74	4087		
	3B	4	3%	92	370		
	Residential				7798	9546	81.7%
	Amenities						
	Plant					102	
	Ancillary / waste stores					33	
	Total	124	100%	63	7798	9680	80.6%
D 169	Studio	9	5%	39	355		
	1B	74	44%	50	3678		
	2B (3P)	11	7%	67	734		
	2B (4P)	75	44%	78	5818		
	3B						
	Residential				10585	12568	84.2%
	Amenities						
	Plant					149	
	Ancillary / waste stores					40	
	Total	169	100%	63	10585	12757	83.0%

SUMMARY (excludes pavilion)

Type	Count	Mix	Apt area (average)	Total Area (nett)	Total area (gross)	N:C
Studio	9	2%	39	355		
1B	204	47%	50	10164		
2B (3P)	16	4%	67	1080		
2B (4P)	197	45%	76	14983		
3B	10	2%	93	929		
Residential				27511	33197	82.9%
Amenities (*)	-			162	162	
Ancillary (*)					229	
Plant (*)					672	
Total	436	100%	63	27673	34259	80.8%

(\*) Amenities considered 100%Nett  
 Plant & ancillary accommodation within building footprint included in GIFA  
 Plant & ancillary located on outbuildings and/or rooftop excluded from GIFA

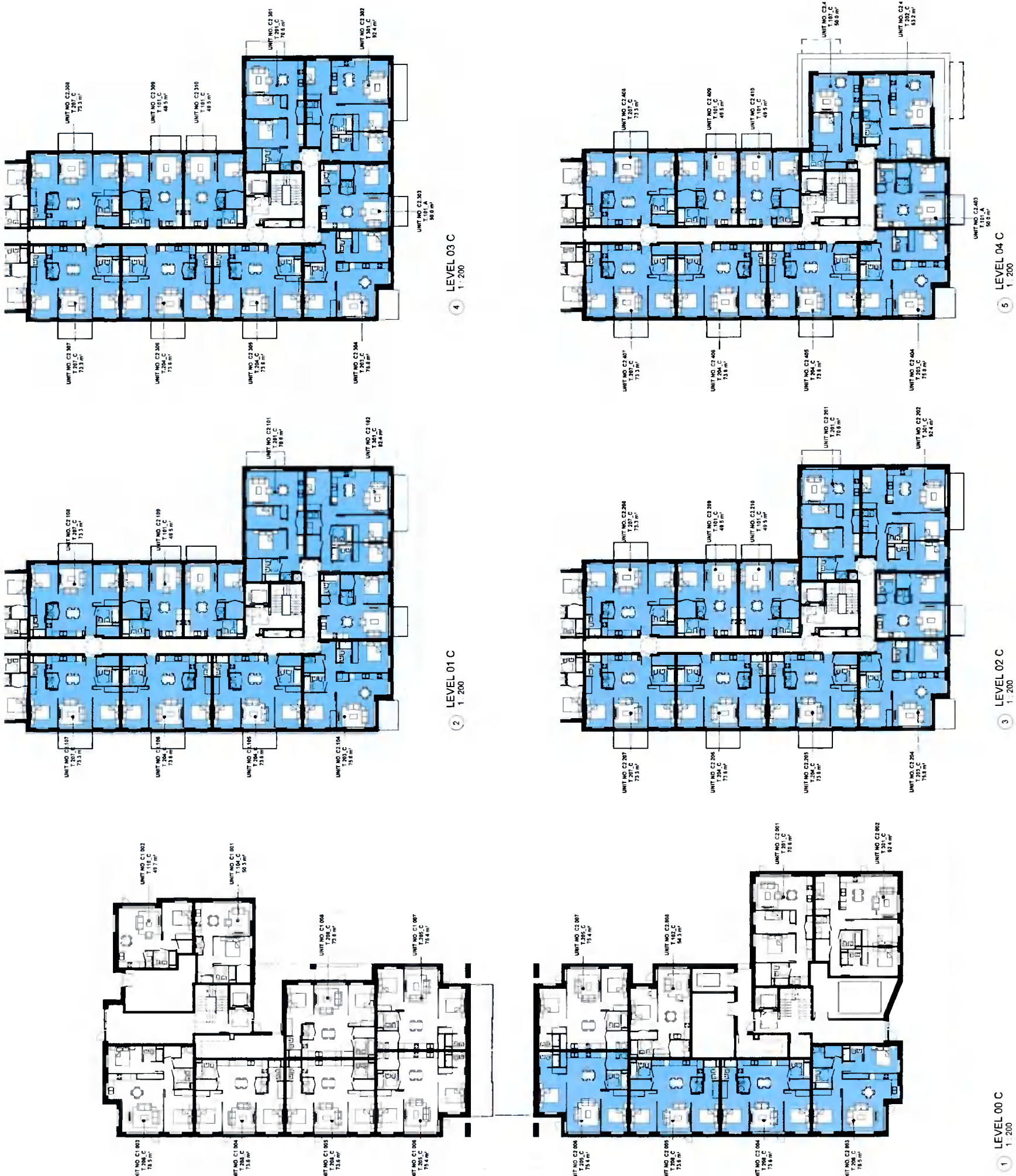




# 07 SCHEDULES

## 7.3 PROPOSED PART V SCHEDULE

Legend:



Block	Level	Unit Number	Unit Type	No. of Bedrooms	Apartment Area	Req'd Area	St. Apt. DualAspect	St. Apartment Orientation
C	Level 00	C2 003	T 206 C	2	78.5	73.0	Yes	SW
C	Level 00	C2 006	T 205 C	2	76.4	73.0		W
C	Level 00	C2 004	T 208 C	2	73.6	73.0		W
C	Level 01	C2 005	T 206 C	2	73.6	73.0		W
C	Level 01	C2 104	T 203 C	2	75.8	73.0	Yes	SW
C	Level 01	C2 102	T 201 C	3	92.4	90.0	Yes	S/E
C	Level 01	C2 101	T 201 C	2	70.6	63.0	Yes	N/E
C	Level 01	C2 110	T 101 C	1	49.5	45.0		E
C	Level 01	C2 107	T 207 C	2	73.0	73.0		E
C	Level 01	C2 109	T 101 C	1	49.5	45.0		E
C	Level 01	C2 103	T 101 C	1	45.0	45.0		E
C	Level 01	C2 105	T 101 C	1	50.0	45.0		S
C	Level 01	C2 106	T 204 C	2	73.8	73.0		S
C	Level 01	C2 108	T 204 C	2	71.6	73.0		W
C	Level 02	C2 204	T 200 C	2	76.8	73.0	Yes	SW
C	Level 02	C2 202	T 201 C	3	92.4	90.0	Yes	S/E
C	Level 02	C2 201	T 201 C	2	70.6	63.0	Yes	N/E
C	Level 02	C2 210	T 101 C	1	48.5	45.0		E
C	Level 02	C2 209	T 101 C	1	48.5	45.0		E
C	Level 02	C2 203	T 101 A	1	50.0	45.0		S
C	Level 02	C2 207	T 207 C	2	73.3	73.0		E
C	Level 02	C2 208	T 207 C	2	73.3	73.0		E
C	Level 02	C2 206	T 204 C	2	75.6	73.0		W
C	Level 03	C2 305	T 303 C	2	75.8	73.0		SW
C	Level 03	C2 302	T 301 C	3	92.4	90.0	Yes	S/E
C	Level 03	C2 301	T 301 C	2	70.6	63.0	Yes	N/E
C	Level 03	C2 310	T 101 C	1	49.5	45.0		E
C	Level 03	C2 307	T 207 C	2	73.3	73.0		W
C	Level 03	C2 308	T 207 C	2	73.3	73.0		E
C	Level 03	C2 306	T 101 A	1	49.5	45.0		E
C	Level 03	C2 303	T 101 A	1	50.0	45.0	Yes	S
C	Level 03	C2 305	T 204 C	2	73.6	73.0		W
C	Level 03	C2 304	T 204 C	2	75.8	73.0		SW
C	Level 04	C2 404	T 203 C	2	75.8	73.0	Yes	N/E
C	Level 04	C2 401	T 107 C	1	50.0	45.0		N/E
C	Level 04	C2 410	T 101 C	1	49.5	45.0		W
C	Level 04	C2 410	T 101 C	1	49.5	45.0		W
C	Level 04	C2 408	T 207 C	2	73.3	73.0		E
C	Level 04	C2 405	T 101 C	1	49.5	45.0		E
C	Level 04	C2 403	T 101 A	1	50.0	45.0	Yes	S/E
C	Level 04	C2 402	T 202 C	2	63.2	63.0		S
C	Level 04	C2 406	T 204 C	2	73.6	73.0	Yes	W
C	Level 04	C2 405	T 204 C	2	73.6	73.0		W
Grand total: 44								2877.9



07 SCHEDULES

7.4 HOUSING QUALITY ASSESSMENT

LOCATION	APARTMENT TYPE	APARTMENT AREA		Part V	ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS				
		Number of bedrooms	Number of bed spaces		Area Provided	Reqd + 10%	Unit over 10%	Dwelling Aspect	Orientation	Living/ Kitchen area provided	Living/ Kitchen room area required	Aggregate bedroom area provided	Aggregate bedroom area required	Storage area provided	Storage area required	Private terrace / balconies provided	Private terrace / balconies required	Provided	Required
A	Level 00	A4.001	T.302 A	3	5	96.6	90	99 NO	DUAL	S/W	37.1	34	36.8	32	10	9	9	9	9
A	Level 00	A4.002	T.102 A	1	2	50	45	49.5 YES	SINGLE	S	26.7	23	12	11	4.2	3	5	5	5
A	Level 00	A4.003	T.102 A	1	2	50	45	49.5 YES	SINGLE	S	26.7	23	12	11	4.2	3	5	5	5
A	Level 00	A4.004	T.302 A	3	5	96.6	90	99 NO	DUAL	S/E	37.1	34	36.8	32	10	9	9	9	9
A	Level 01	A1.101	T.201 A	2	4	73.2	73	80.3 NO	DUAL	N/S	30.9	30	24.4	24	6	6	7	7	7
A	Level 01	A1.102	T.109 A	1	2	47.3	45	49.5 NO	DUAL	N/E	25.4	23	12	11	3	3	5	5	5
A	Level 01	A1.103	T.209 A	2	4	73.4	73	80.3 NO	DUAL	N/W	30.7	30	25	24	6.2	6	7	7	7
A	Level 01	A1.104	T.208 A	2	4	77.2	73	80.3 NO	SINGLE	W	32.3	30	26.2	24	7.3	6	7	7	7
A	Level 01	A1.105	T.110 A	1	2	53.8	45	49.5 YES	SINGLE	W	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A1.106	T.210 A	2	4	78	73	80.3 NO	DUAL	S/W	33	30	24.6	24	8.2	6	7	7	7
A	Level 01	A1.107	T.210 A	2	4	78	73	80.3 NO	DUAL	S/E	33	30	24.6	24	8.2	6	7	7	7
A	Level 01	A1.108	T.104 A	1	2	50	45	49.5 YES	SINGLE	E	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A1.109	T.104 A	1	2	50	45	49.5 YES	SINGLE	E	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A2.101	T.201 A	2	4	73.2	73	80.3 NO	DUAL	N/S	30.9	30	24.4	24	6	6	7	7	7
A	Level 01	A2.102	T.109 A	1	2	47.3	45	49.5 NO	DUAL	N/W	25.4	23	12	11	3	3	5	5	5
A	Level 01	A2.103	T.209 A	2	4	73.4	73	80.3 NO	DUAL	N/E	30.7	30	25	24	6.2	6	7	7	7
A	Level 01	A2.104	T.208 A	2	4	77.2	73	80.3 NO	SINGLE	E	32.3	30	26.2	24	7.3	6	7	7	7
A	Level 01	A2.105	T.110 A	1	2	53.8	45	49.5 YES	SINGLE	E	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A2.106	T.301 A	3	5	91.6	90	99 NO	DUAL	E/W	36.9	34	32.8	32	9	9	9	9	9
A	Level 01	A2.107	T.104 A	1	2	50	45	49.5 YES	SINGLE	W	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A2.108	T.104 A	1	2	50	45	49.5 YES	SINGLE	W	28.3	23	11.6	11	3.7	3	5	5	5
A	Level 01	A3.101	T.206 A	1	2	53.5	45	49.5 YES	DUAL	S/W	31.5	23	11.5	11	3.2	3	5	5	5
A	Level 01	A3.102	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7
A	Level 01	A3.103	T.101 A	1	2	50	45	49.5 YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 01	A3.104	T.203 A	2	4	74	73	80.3 NO	SINGLE	E	32.1	30	24.4	24	6	6	7	7	7
A	Level 01	A3.105	T.202 A	2	4	74	73	80.3 NO	SINGLE	W	31.7	30	24.4	24	6.3	6	7	7	7
A	Level 01	A4.101	T.103 A	1	2	48.2	45	49.5 NO	DUAL	N/E	25.8	23	11.6	11	3.7	3	5	5	5
A	Level 01	A4.102	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/W	32.1	30	25	24	6	6	7	7	7
A	Level 01	A4.103	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/W	32.1	30	25	24	6	6	7	7	7
A	Level 01	A4.104	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 01	A4.105	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 01	A4.106	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 01	A4.107	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7
A	Level 01	A4.108	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/E	32.1	30	25	24	6	6	7	7	7
A	Level 01	A4.109	T.103 A	1	2	48.2	45	49.5 NO	DUAL	N/W	25.8	23	11.6	11	3.7	3	5	5	5
A	Level 02	A3.201	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7
A	Level 02	A3.202	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7
A	Level 02	A3.203	T.101 A	1	2	50	45	49.5 YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 02	A3.204	T.203 A	2	4	74	73	80.3 NO	SINGLE	E	32.1	30	24.4	24	6	6	7	7	7
A	Level 02	A3.205	T.202 A	2	4	74	73	80.3 NO	SINGLE	W	31.7	30	24.4	24	6.3	6	7	7	7
A	Level 02	A4.201	T.103 A	1	2	48.2	45	49.5 NO	DUAL	N/E	25.8	23	11.6	11	3.7	3	5	5	5
A	Level 02	A4.202	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/W	32.1	30	25	24	6	6	7	7	7
A	Level 02	A4.203	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/W	32.1	30	25	24	6	6	7	7	7
A	Level 02	A4.204	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 02	A4.205	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 02	A4.206	T.101 A	1	2	50	45	49.5 YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 02	A4.207	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7
A	Level 02	A4.208	T.206 A	2	4	75.7	73	80.3 NO	DUAL	N/E	32.1	30	25	24	6	6	7	7	7
A	Level 02	A4.209	T.103 A	1	2	48.2	45	49.5 NO	DUAL	N/W	25.8	23	11.6	11	3.7	3	5	5	5
A	Level 02	A1.201	T.207 A	2	4	74.9	73	80.3 NO	DUAL	S/E	32.1	30	24.4	24	6	6	7	7	7
A	Level 02	A1.202	T.107 A	1	2	50	45	49.5 YES	DUAL	N/E	28	23	11.4	11	3.7	3	5	5	5
A	Level 02	A1.203	T.105 A	1	2	50.2	45	49.5 YES	DUAL	N/E	27.7	23	12.5	11	3	3	5	5	5
A	Level 02	A1.204	T.205 A	2	4	81.2	73	80.3 YES	DUAL	N/W	36.4	30	26.3	24	6.6	6	7	7	7
A	Level 02	A1.205	T.204 A	2	4	73.7	73	80.3 NO	SINGLE	W	31.5	30	24.7	24	6	6	7	7	7
A	Level 02	A1.206	T.101 A	1	2	50	45	49.5 YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5
A	Level 02	A1.207	T.206 A	2	4	75.7	73	80.3 NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7



# 07 SCHEDULES

## HOUSING QUALITY ASSESSMENT

Block	Level	Unit No.	APARTMENT TYPE		APARTMENT AREA		Part V		ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS		
			Type	Number of bedrooms	Number of bed spaces	Area Provided	Required	Rend + 10%	Unit over 10%	Dwelling Aspect	Orientation	Living/ Kitchen area provided m2	Living/ Kitchen room area required m2	Aggregate bedroom area provided m2	Aggregate bedroom area required m2	Storage area provided m2	Storage area required m2	Private terrace/ balconies provided m2	Private terrace/ balconies required	Provided	Required
A	Level 02	A1.208	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 02	A1.209	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 02	A1.210	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 02	A2.201	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/W	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 02	A2.202	T.107_A	1	2	50	45	49.5	YES	DUAL	N/W	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 02	A2.203	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/W	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 02	A2.204	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/E	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 02	A2.205	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	E	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 02	A2.206	T.106_A	1	2	48.4	45	49.5	NO	DUAL	S/E	26.6	23	11.7	11	3.2	3	5	5	5	5
A	Level 02	A2.207	T.301_A	3	5	91.6	90	99	NO	DUAL	E/W	36.9	34	32.8	32	9	9	9	9	9	9
A	Level 02	A2.208	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 02	A2.209	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A3.301	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A3.302	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A3.303	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A3.304	T.203_A	2	4	74	73	80.3	NO	SINGLE	E	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 03	A3.305	T.202_A	2	4	74	73	80.3	NO	SINGLE	W	31.7	30	24.4	24	6.3	6	7	7	7	7
A	Level 03	A4.301	T.103_A	1	2	48.2	45	49.5	NO	DUAL	N/E	25.8	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A4.302	T.206_A	2	4	75.7	73	80.3	NO	DUAL	N/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A4.303	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A4.304	T.101_A	1	2	50	45	49.5	YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A4.305	T.101_A	1	2	50	45	49.5	YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A4.306	T.101_A	1	2	50	45	49.5	YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A4.307	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A4.308	T.206_A	2	4	75.7	73	80.3	NO	DUAL	N/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A4.309	T.103_A	1	2	48.2	45	49.5	NO	DUAL	N/W	25.8	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A4.303	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/W	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 03	A1.301	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/E	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 03	A1.302	T.107_A	1	2	50	45	49.5	YES	DUAL	N/E	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 03	A1.303	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/E	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 03	A1.304	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/W	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 03	A1.305	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	W	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 03	A1.306	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A1.307	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A1.308	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 03	A1.309	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A1.310	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A2.301	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/W	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 03	A2.302	T.107_A	1	2	50	45	49.5	YES	DUAL	N/W	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 03	A2.303	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/E	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 03	A2.304	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	E	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 03	A2.305	T.106_A	1	2	48.4	45	49.5	NO	DUAL	S/E	26.6	23	11.7	11	3.2	3	5	5	5	5
A	Level 03	A2.307	T.301_A	3	5	91.6	90	99	NO	DUAL	E/W	36.9	34	32.8	32	9	9	9	9	9	9
A	Level 03	A2.308	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 03	A2.309	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 04	A3.401	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 04	A3.402	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 04	A3.403	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 04	A3.404	T.203_A	2	4	74	73	80.3	NO	SINGLE	E	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 04	A3.405	T.202_A	2	4	74	73	80.3	NO	SINGLE	W	31.7	30	24.4	24	6.3	6	7	7	7	7
A	Level 04	A1.401	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/E	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 04	A1.402	T.107_A	1	2	50	45	49.5	YES	DUAL	N/E	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 04	A1.403	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/E	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 04	A1.404	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/W	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 04	A1.405	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	W	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 04	A1.406	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5

# 07 SCHEDULES

## HOUSING QUALITY ASSESSMENT

Block	LOCATION	Level	Unit No.	Type	APARTMENT TYPE		APARTMENT AREA		Part V	ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS	
					Number of bedrooms	Number of bed spaces	Area Provided	Required		Reqd + 10%	Unit over 10%	Dwelling Aspect	Orientation	Living/ Kitchen room area provided m2	Living/ Kitchen room area required m2	Aggregate bedroom area provided m2	Aggregate bedroom area required m2	Storage area provided m2	Storage area required m2	Private terrace/ balconies provided m2	Private terrace/ balconies required m2
A	Level 04	A1.407	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/W	32.1	30	25	24	6	6	7	7	7	7
A	Level 04	A1.408	T.206_A	2	4	75.7	73	80.3	NO	DUAL	S/E	32.1	30	25	24	6	6	7	7	7	7
A	Level 04	A1.409	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 04	A1.410	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 04	A2.401	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/W	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 04	A2.402	T.107_A	1	2	50	45	49.5	YES	DUAL	N/W	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 04	A2.403	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/W	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 04	A2.404	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/E	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 04	A2.405	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	E	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 04	A2.406	T.106_A	1	2	48.4	45	49.5	NO	DUAL	S/E	26.6	23	11.7	11	3.2	3	5	5	5	5
A	Level 04	A2.407	T.301_A	3	5	91.6	90	99	NO	DUAL	E/W	36.9	34	32.8	32	9	9	9	9	9	9
A	Level 04	A2.408	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 04	A2.409	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 05	A1.501	T.207_A	2	4	74.9	73	80.3	NO	DUAL	S/E	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 05	A1.502	T.107_A	1	2	50	45	49.5	YES	DUAL	N/E	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 05	A1.503	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/E	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 05	A1.504	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/W	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 05	A1.505	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	W	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 05	A1.506	T.101_A	1	2	50	45	49.5	YES	SINGLE	E	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 05	A1.507	T.101_A	1	2	74.9	73	80.3	NO	DUAL	S/W	32.1	30	24.4	24	6	6	7	7	7	7
A	Level 05	A2.502	T.107_A	1	2	50	45	49.5	YES	DUAL	N/W	28	23	11.4	11	3.7	3	5	5	5	5
A	Level 05	A2.503	T.105_A	1	2	50.2	45	49.5	YES	DUAL	N/W	27.7	23	12.5	11	3	3	5	5	5	5
A	Level 05	A2.504	T.205_A	2	4	81.2	73	80.3	YES	DUAL	N/E	36.4	30	26.3	24	6.6	6	7	7	7	7
A	Level 05	A2.505	T.204_A	2	4	73.7	73	80.3	NO	SINGLE	E	31.5	30	24.7	24	6	6	7	7	7	7
A	Level 05	A2.506	T.106_A	1	2	48.4	45	49.5	NO	DUAL	S/E	26.6	23	11.7	11	3.2	3	5	5	5	5
A	Level 05	A2.507	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 05	A2.508	T.101_A	1	2	50	45	49.5	YES	SINGLE	W	27.5	23	11.6	11	3.7	3	5	5	5	5
A	Level 00	C1.001	T.104_C	1	2	50.3	45	49.5	YES	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 00	C2.003	T.206_C	2	4	78.5	73	80.3	NO	DUAL	S/W	33	30	25.9	24	7.5	6	7	7	7	7
C	Level 00	C2.004	T.208_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C2.005	T.208_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C2.006	T.205_C	2	4	75.4	73	80.3	NO	SINGLE	W	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C1.002	T.208_C	1	2	49.7	45	49.5	YES	DUAL	N/E	27.5	23	11.7	11	3.8	3	5	5	5	5
C	Level 00	C1.003	T.206_C	2	4	78.5	73	80.3	NO	DUAL	N/W	33	30	25.9	24	7.5	6	7	7	7	7
C	Level 00	C1.004	T.208_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C1.005	T.208_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C1.006	T.205_C	2	4	75.4	73	80.3	NO	SINGLE	W	33.4	30	24.7	24	6.1	6	7	7	7	7
C	Level 00	C1.007	T.205_C	2	4	75.4	73	80.3	NO	SINGLE	E	33.4	30	24.7	24	6.1	6	7	7	7	7
C	Level 00	C1.008	T.208_C	2	4	73.6	73	80.3	NO	SINGLE	E	31.4	30	24.5	24	6.4	6	7	7	7	7
C	Level 00	C2.001	T.201_C	2	3	70.6	63	69.3	YES	DUAL	N/E	33.2	28	22.7	20	6.4	5	6	6	6	6
C	Level 00	C2.002	T.301_C	3	5	92.4	90	99	NO	DUAL	S/E	36.5	34	33.7	32	9.1	9	9	9	9	9
C	Level 00	C2.007	T.205_C	2	4	75.4	73	80.3	NO	SINGLE	E	33.4	30	24.7	24	6.1	6	7	7	7	7
C	Level 00	C2.008	T.102_C	1	2	54.3	45	49.5	YES	SINGLE	E	28.6	23	13	11	5.2	3	5	5	5	5
C	Level 01	C1.105	T.204_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 01	C1.106	T.204_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 01	C2.103	T.101_A	1	2	50	45	49.5	YES	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
C	Level 01	C2.106	T.204_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 01	C2.105	T.204_C	2	4	73.6	73	80.3	NO	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 01	C1.101	T.104_C	1	2	50.3	45	49.5	YES	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 01	C1.102	T.103_C	1	2	49.7	45	49.5	YES	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 01	C1.103	T.105_C	1	2	50.1	45	49.5	YES	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 01	C1.104	T.203_C	2	4	75.8	73	80.3	NO	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 01	C1.107	T.207_C	2	4	73.3	73	80.3	NO	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7



07 SCHEDULES  
HOUSING QUALITY ASSESSMENT

LOCATION	Level	Unit No.	Type	APARTMENT TYPE			APARTMENT AREA			Part V	ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS	
				Number of bedrooms	Number of bed spaces	Area Provided	Required	Read + 30%	Unit over 10%		Y/N	Dwelling Aspect	Orientation	Living/ Kitchen room area provided m2	Living/ Kitchen room area required m2	Aggregate bedroom area provided m2	Aggregate bedroom area required m2	Storage area provided m2	Storage area required m2	Private terrace / balconies provided m2	Private terrace / balconies required m2	Provided
C	Level 01	C1.108	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	W	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 01	C1.109	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	E	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 01	C1.110	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 01	C1.111	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 01	C1.112	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 01	C2.101	T.201_C	2	3	70.6	63	69.3	YES	Yes	DUAL	N/E	33.2	28	22.7	20	6.4	5	6	6	6	6
C	Level 01	C2.102	T.301_C	3	5	92.4	90	99	NO	Yes	DUAL	S/E	36.5	34	33.7	32	9.1	9	9	9	9	9
C	Level 01	C2.104	T.203_C	2	4	75.8	73	80.3	NO	Yes	DUAL	S/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 01	C2.107	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 01	C2.108	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 01	C2.109	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 01	C2.110	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 02	C1.201	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 02	C1.202	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 02	C1.205	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 02	C1.206	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 02	C1.207	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 02	C1.208	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	W	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 02	C1.209	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	E	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 02	C1.210	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 02	C1.211	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 02	C1.212	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 02	C2.203	T.101_A	1	2	50	45	49.5	YES	Yes	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
C	Level 02	C2.205	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 02	C2.206	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 02	C1.203	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 02	C1.204	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 02	C2.201	T.201_C	2	3	70.6	63	69.3	YES	Yes	DUAL	N/E	33.2	28	22.7	20	6.4	5	6	6	6	6
C	Level 02	C2.202	T.301_C	3	5	92.4	90	99	NO	Yes	DUAL	S/E	36.5	34	33.7	32	9.1	9	9	9	9	9
C	Level 02	C2.204	T.203_C	2	4	75.8	73	80.3	NO	Yes	DUAL	S/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 02	C2.207	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 02	C2.208	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 02	C2.209	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 02	C2.210	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 03	C1.301	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 03	C1.305	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 03	C1.306	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 03	C1.308	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	W	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 03	C1.309	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	E	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 03	C1.311	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 03	C1.312	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 03	C2.303	T.101_A	1	2	50	45	49.5	YES	Yes	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
C	Level 03	C2.305	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 03	C2.306	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 03	C1.302	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 03	C1.303	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 03	C1.304	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 03	C1.307	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 03	C1.310	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 03	C2.301	T.201_C	2	3	70.6	63	69.3	YES	Yes	DUAL	N/E	33.2	28	22.7	20	6.4	5	6	6	6	6
C	Level 03	C2.302	T.301_C	3	5	92.4	90	99	NO	Yes	DUAL	S/E	36.5	34	33.7	32	9.1	9	9	9	9	9
C	Level 03	C2.304	T.203_C	2	4	75.8	73	80.3	NO	Yes	DUAL	S/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 03	C2.307	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 03	C2.308	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 03	C2.309	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 03	C2.310	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 04	C1.401	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5

# 07 SCHEDULES

## HOUSING QUALITY ASSESSMENT

LOCATION	APARTMENT TYPE	APARTMENT AREA				Part V	ORIENTATION	LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS						
		Number of bedrooms	Number of bed spaces	Area Provided	Required			Reqd + 10%	Unit over 10%	Dwelling Aspect	Orientation	Living/ Kitchen room area provided	Living/ Kitchen room area required	Aggregate bedroom area provided	Aggregate bedroom area required	Storage area provided	Storage area required	Private terrace / balconies provided	Private terrace / balconies required	Provided	Required	
C	Level 04	C1.402	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 04	C1.405	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 04	C1.406	T.204_C	2	4	73.6	73	80.3	NO	No	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 04	C1.408	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	W	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 04	C1.409	T.106_C	1	2	50	45	49.5	YES	No	SINGLE	E	27.6	23	11.6	11	3.7	3	5	5	5	5
C	Level 04	C1.411	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 04	C1.412	T.101_C	1	2	49.5	45	49.5	YES	No	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 04	C2.403	T.101_A	1	2	50	45	49.5	YES	Yes	SINGLE	S	27.5	23	11.6	11	3.7	3	5	5	5	5
C	Level 04	C2.405	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 04	C2.406	T.204_C	2	4	73.6	73	80.3	NO	Yes	SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
C	Level 04	C1.403	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 04	C1.404	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 04	C1.407	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 04	C1.410	T.207_C	2	4	73.3	73	80.3	NO	No	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 04	C2.401	T.107_C	1	2	50	45	49.5	YES	Yes	DUAL	N/E	27.1	23	11.4	11	4.2	3	5	5	5	5
C	Level 04	C2.402	T.202_C	2	4	63.2	63	69.3	NO	Yes	DUAL	S/E	30.7	28	20.2	20	5	5	6	6	6	6
C	Level 04	C2.404	T.203_C	2	4	75.8	73	80.3	NO	Yes	DUAL	S/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 04	C2.407	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	W	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 04	C2.408	T.207_C	2	4	73.3	73	80.3	NO	Yes	SINGLE	E	31.2	30	24.5	24	6.1	6	7	7	7	7
C	Level 04	C2.409	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 04	C2.410	T.101_C	1	2	49.5	45	49.5	YES	Yes	SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 05	C1.501	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 05	C1.502	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 05	C1.503	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 05	C1.504	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 05	C1.505	T.101_C	1	2	49.5	45	49.5	YES	No	DUAL	S/W	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 06	C1.605	T.101_C	1	2	49.5	45	49.5	YES	No	DUAL	S/W	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 06	C1.601	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 06	C1.602	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 06	C1.603	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 06	C1.604	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 07	C1.705	T.101_C	1	2	49.5	45	49.5	YES	No	DUAL	S/W	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 07	C1.701	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
C	Level 07	C1.702	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 07	C1.703	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 07	C1.704	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 08	C1.803	T.105_C	1	2	50.1	45	49.5	YES	No	DUAL	N/E	27.1	23	11.7	11	4.4	3	5	5	5	5
C	Level 08	C1.802	T.103_C	1	2	49.7	45	49.5	YES	No	DUAL	N/E	27.9	23	11.7	11	3.1	3	5	5	5	5
C	Level 08	C1.805	T.101_C	1	2	49.5	45	49.5	YES	No	DUAL	S/W	27.1	23	11.4	11	3.7	3	5	5	5	5
C	Level 08	C1.804	T.203_C	2	4	75.8	73	80.3	NO	No	DUAL	N/W	32.7	30	24.6	24	6.6	6	7	7	7	7
C	Level 08	C1.801	T.104_C	1	2	50.3	45	49.5	YES	No	DUAL	S/E	27	23	12.2	11	4	3	5	5	5	5
D	Level 00	D1.001	T.102_D	1	2	49.5	45	49.5	YES	No	DUAL	N/W	28.2	23	11.7	11	3	3	4	4	4	4
D	Level 00	D1.002	T.204_D	2	4	74.3	73	80.3	NO	No	DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 00	D1.003	T.214_D	2	4	77.9	73	80.3	NO	No	SINGLE	W	35.7	30	24.6	24	6	6	7	7	7	7
D	Level 00	D1.004	T.101_D	1	2	53.7	45	49.5	YES	No	SINGLE	W	28.9	23	13.4	11	4.6	3	5	5	5	5
D	Level 00	D1.005	T.209_D	2	4	82.8	73	80.3	YES	No	DUAL	S/W	35.9	30	26.3	24	8.3	6	7	7	7	7
D	Level 00	D1.007	T.104_D	1	2	49.5	45	49.5	YES	No	SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D1.008	T.104_D	1	2	49.5	45	49.5	YES	No	SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D1.009	T.104_D	1	2	49.5	45	49.5	YES	No	SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D1.010	T.002_D	1	1	39	37	40.7	NO	No	DUAL	N/S	30.3	30	0	0	3	3	4	4	4	4
D	Level 00	D2.010	T.002_D	1	1	39	37	40.7	NO	No	DUAL	N/S	30.3	30	0	0	3	3	4	4	4	4
D	Level 00	D4.001	T.216_D	2	4	75.7	73	80.3	NO	No	DUAL	N/W	30.1	30	27.5	24	6.3	6	7	7	7	7
D	Level 00	D4.003	T.104_D	1	2	49.5	45	49.5	YES	No	SINGLE	N	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D4.004	T.104_D	1	2	49.5	45	49.5	YES	No	SINGLE	N	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D1.006	T.209_D	2	4	82.8	73	80.3	YES	No	DUAL	S/E	35.9	30	26.3	24	8.3	6	7	7	7	7
D	Level 00	D4.002	T.207_D	2	4	81.6	73	80.3	YES	No	DUAL	S/W	35.3	30	27.8	24	6.7	6	7	7	7	7
D	Level 00	D4.006	T.101_D	1	2	53.7	45	49.5	YES	No	SINGLE	N	28.9	23	13.4	11	4.6	3	5	5	5	5



07 SCHEDULES  
HOUSING QUALITY ASSESSMENT

LOCATION	Level	Unit No.	APARTMENT TYPE		APARTMENT AREA			Part V		ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS		
			Type	Number of bedrooms	Number of bed spaces	Area Provided	Required	Reqd + 10%	Unit over 10%	Y/N	Dwelling Aspect	Orientation	Living/ Kitchen room area provided	Living/ Kitchen room area required	Aggregate bedroom area provided	Aggregate bedroom area required	Storage area provided	Storage area required	Private terrace / balconies provided	Private terrace / balconies required	Provided	Required
D	Level 00	D2.005	T.209_D	2	4	82.8	73	80.3	YES		DUAL	S/W	35.9	30	26.3	24	8.3	6	7	7	7	7
D	Level 00	D2.006	T.209_D	2	4	82.8	73	80.3	YES		DUAL	S/E	35.9	30	26.3	24	8.3	6	7	7	7	7
D	Level 00	D2.007	T.104_D	1	2	49.5	45	49.5	YES		SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D2.008	T.104_D	1	2	49.5	45	49.5	YES		SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D2.009	T.104_D	1	1	39	37	40.7	NO		DUAL	N/S	30.3	30	0	0	3	3	4	4	4	4
D	Level 00	D3.001	T.104_D	1	2	49.5	45	49.5	YES		SINGLE	S	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D3.002	T.215_D	2	4	76.3	73	80.3	NO		DUAL	S/E	32.1	30	26.3	24	6	6	7	7	7	7
D	Level 00	D3.003	T.203_D	2	3	71.9	63	69.3	YES		SINGLE	W	22.2	28	22.2	20	5	5	6	6	6	6
D	Level 00	D3.004	T.217_D	2	4	85.2	73	80.3	YES		SINGLE	E	38.6	30	28.1	24	6.8	6	7	7	7	7
D	Level 00	D3.005	T.202_D	2	3	68.2	63	69.3	NO		DUAL	N/E	28.7	28	24.4	20	7.2	5	6	6	6	6
D	Level 00	D3.006	T.202_D	2	3	68.2	63	69.3	NO		DUAL	N/W	28.7	28	24.4	20	7.2	5	6	6	6	6
D	Level 00	D3.007	T.104_D	1	2	49.5	45	49.5	YES		SINGLE	W	24.8	23	13.3	11	4.8	3	5	5	5	5
D	Level 00	D3.008	T.001_D	1	1	39.8	37	40.7	NO		SINGLE	W	30.8	30	0	0	3	3	4	4	4	4
D	Level 00	D4.005	T.211_D	2	4	78.8	73	80.3	NO		DUAL	N/S	35.6	30	25.1	24	6.2	6	7	7	7	7
D	Level 00	D2.001	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 00	D2.002	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 00	D2.003	T.214_D	2	4	77.9	73	80.3	NO		SINGLE	W	35.7	30	24.6	24	6	6	7	7	7	7
D	Level 00	D2.004	T.101_D	1	2	53.7	45	49.5	YES		SINGLE	W	28.9	23	13.4	11	4.6	3	5	5	5	5
D	Level 01	D1.103	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 01	D1.104	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D1.105	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 01	D1.106	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 01	D1.107	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D1.108	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D1.110	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7	7
D	Level 01	D4.103	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D4.104	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D4.105	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D1.101	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 01	D1.102	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 01	D1.109	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5	5
D	Level 01	D4.101	T.213_D	2	4	74	73	80.3	NO		DUAL	N/W	30.9	30	24.6	24	6.7	6	7	7	7	7
D	Level 01	D4.102	T.212_D	2	4	78.9	73	80.3	NO		DUAL	S/W	35.6	30	24.8	24	6.1	6	7	7	7	7
D	Level 01	D4.106	T.211_D	2	4	78.8	73	80.3	NO		DUAL	N/S	35.6	30	25.1	24	6.2	6	7	7	7	7
D	Level 01	D4.107	T.105_D	1	2	48	45	49.5	NO		SINGLE	N	26.8	23	11.4	11	3	3	5	5	5	5
D	Level 01	D4.108	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	N	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D3.101	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D3.102	T.205_D	2	4	76.7	73	80.3	NO		DUAL	S/E	33.6	30	24.4	24	6.1	6	7	7	7	7
D	Level 01	D3.103	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 01	D3.104	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 01	D3.105	T.201_D	2	3	65.7	63	69.3	NO		DUAL	N/E	30.7	28	21.7	20	5.6	5	6	6	6	6
D	Level 01	D3.106	T.201_D	2	3	65.7	63	69.3	NO		DUAL	S/E	30.7	28	21.7	20	5.6	5	6	6	6	6
D	Level 01	D3.107	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D3.108	T.001_D	1	1	39.8	37	40.7	NO		SINGLE	W	30.8	30	0	0	3	3	4	4	4	4
D	Level 01	D3.109	T.210_D	2	4	80.7	73	80.3	YES		DUAL	N/S	37.3	30	25.2	24	6.1	6	7	7	7	7
D	Level 01	D2.101	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 01	D2.102	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 01	D2.103	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 01	D2.104	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D2.105	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 01	D2.106	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 01	D2.107	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D2.108	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 01	D2.109	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5	5
D	Level 01	D2.110	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7	7
D	Level 02	D1.202	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 02	D1.203	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7

# 07 SCHEDULES

## HOUSING QUALITY ASSESSMENT

LOCATION	APARTMENT TYPE	APARTMENT AREA		Part V	ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS							
		Number of bedrooms	Number of bed spaces		Area Provided	Required	Redd + 10%	Unit over 10%	Y/N	Dwelling Aspect	Orientation	Living/ kitchen area provided	Living/ kitchen room area required	Aggregate bedroom area provided	Aggregate bedroom area required	Storage area provided	Storage area required	Private terrace / balconies provided	Private terrace / balconies required	Provided	Required	
D	Level 02	D1.204	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D1.205	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 02	D1.206	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 02	D1.207	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D1.208	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D1.209	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5	5
D	Level 02	D1.210	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7	7
D	Level 02	D4.203	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D4.204	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D4.205	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D1.201	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 02	D4.201	T.213_D	2	4	74	73	80.3	NO		DUAL	N/W	30.9	30	24.6	24	6.7	6	7	7	7	7
D	Level 02	D4.202	T.212_D	2	4	78.9	73	80.3	NO		DUAL	S/W	35.6	30	24.8	24	6.1	6	7	7	7	7
D	Level 02	D4.206	T.211_D	2	4	78.8	73	80.3	NO		DUAL	N/S	35.6	30	25.1	24	6.2	6	7	7	7	7
D	Level 02	D4.207	T.105_D	1	2	48	45	49.5	NO		SINGLE	N	26.8	23	11.4	11	3	3	5	5	5	5
D	Level 02	D4.208	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	N	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D3.201	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D3.202	T.205_D	2	4	76.7	73	80.3	NO		DUAL	S/E	33.6	30	24.4	24	6.1	6	7	7	7	7
D	Level 02	D3.203	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 02	D3.204	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 02	D3.205	T.201_D	2	3	65.7	63	69.3	NO		DUAL	N/E	30.7	28	21.7	20	5.6	5	6	6	6	6
D	Level 02	D3.206	T.201_D	2	3	65.7	63	69.3	NO		DUAL	S/E	30.7	28	21.7	20	5.6	5	6	6	6	6
D	Level 02	D3.207	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D3.208	T.001_D	1	1	39.8	37	40.7	NO		SINGLE	W	30.8	30	0	0	3	3	4	4	4	4
D	Level 02	D3.209	T.210_D	2	4	80.7	75	80.3	YES		DUAL	N/S	37.3	30	25.2	24	6.1	6	7	7	7	7
D	Level 02	D2.201	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 02	D2.202	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 02	D2.203	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 02	D2.204	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D2.205	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 02	D2.206	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 02	D2.207	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D2.208	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 02	D2.209	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5	5
D	Level 02	D2.210	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7	7
D	Level 03	D1.302	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7	7
D	Level 03	D1.303	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	W	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 03	D1.304	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D1.305	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 03	D1.306	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7	7
D	Level 03	D1.307	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D1.308	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D4.303	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D4.304	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D4.305	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D1.301	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5	5
D	Level 03	D1.309	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5	5
D	Level 03	D1.310	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7	7
D	Level 03	D4.301	T.213_D	2	4	74	73	80.3	NO		DUAL	N/W	30.9	30	24.6	24	6.7	6	7	7	7	7
D	Level 03	D4.302	T.212_D	2	4	78.9	73	80.3	NO		DUAL	S/W	35.6	30	24.8	24	6.1	6	7	7	7	7
D	Level 03	D4.306	T.211_D	2	4	78.8	73	80.3	NO		DUAL	N/S	35.6	30	25.1	24	6.2	6	7	7	7	7
D	Level 03	D4.307	T.105_D	1	2	48	45	49.5	NO		SINGLE	N	26.8	23	11.4	11	3	3	5	5	5	5
D	Level 03	D4.308	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	N	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D3.301	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5	5
D	Level 03	D3.302	T.205_D	2	4	76.7	73	80.3	NO		DUAL	S/E	33.6	30	24.4	24	6.1	6	7	7	7	7
D	Level 03	D3.303	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7
D	Level 03	D3.304	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7	7



07 SCHEDULES  
HOUSING QUALITY ASSESSMENT

LOCATION	Level	Unit No.	Type	APARTMENT TYPE		APARTMENT AREA			Part V	ORIENTATION		LIVING/KITCHEN AREA		BEDROOM AREA		STORAGE		PRIVATE OS		COMMUNAL OS	
				Number of bedrooms	Number of bed spaces	Area Provided	Reqd + 10%	Unit over 10%		Dwelling Aspect	Orientation	Living/ Kitchen room area provided m2	Living/ Kitchen room area required m2	Aggregate bedroom area provided m2	Aggregate bedroom area required m2	Storage area provided m2	Storage area required m2	Private terrace / balconies provided m2	Private terrace / balconies required m2	Provided m2	Required m2
D	Level 03	D3.305	T.201_D	2	3	65.7	63	69.3	NO		DUAL	N/E	30.7	28	21.7	20	5.6	5	6	6	6
D	Level 03	D3.306	T.201_D	2	3	65.7	63	69.3	NO		DUAL	S/E	30.7	28	21.7	20	5.6	5	6	6	6
D	Level 03	D3.307	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 03	D3.308	T.001_D	1	1	39.8	37	40.7	NO		SINGLE	W	30.8	30	0	0	3	3	4	4	4
D	Level 03	D3.309	T.210_D	2	4	80.7	73	80.3	YES		DUAL	N/S	37.3	30	25.2	24	6.1	6	7	7	7
D	Level 03	D2.301	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3.3	3	5	5	5
D	Level 03	D2.302	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7
D	Level 03	D2.303	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7
D	Level 03	D2.304	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 03	D2.305	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 03	D2.306	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 03	D2.307	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 03	D2.308	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 03	D2.309	T.103_D	1	2	50.5	45	49.5	YES		SINGLE	S	26.7	23	11.5	11	4.7	3	5	5	5
D	Level 03	D2.310	T.206_D	2	4	80.6	73	80.3	YES		DUAL	N/S	37.7	30	24.9	24	6	6	7	7	7
D	Level 04	D1.402	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7
D	Level 04	D1.403	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	W	31.4	30	24.4	24	6	6	7	7	7
D	Level 04	D1.404	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D1.405	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 04	D1.406	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 04	D1.407	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D1.408	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D1.401	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5
D	Level 04	D3.401	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	S	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D3.402	T.205_D	2	4	76.7	73	80.3	NO		DUAL	S/E	33.6	30	24.4	24	6.1	6	7	7	7
D	Level 04	D3.403	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7
D	Level 04	D3.404	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7
D	Level 04	D3.405	T.201_D	2	3	65.7	63	69.3	NO		DUAL	N/E	30.7	28	21.7	20	5.6	5	6	6	6
D	Level 04	D3.406	T.201_D	2	3	65.7	63	69.3	NO		DUAL	S/E	30.7	28	21.7	20	5.6	5	6	6	6
D	Level 04	D3.407	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D3.408	T.001_D	1	1	39.8	37	40.7	NO		SINGLE	W	30.8	30	0	0	3	3	4	4	4
D	Level 04	D2.401	T.102_D	1	2	49.5	45	49.5	YES		DUAL	N/W	28.2	23	11.7	11	3	3	5	5	5
D	Level 04	D2.402	T.204_D	2	4	74.3	73	80.3	NO		DUAL	N/W	31	30	25	24	6.4	6	7	7	7
D	Level 04	D2.403	T.204_C	2	4	73.6	73	80.3	NO		SINGLE	E	31.4	30	24.4	24	6	6	7	7	7
D	Level 04	D2.404	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	E	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D2.405	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/E	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 04	D2.406	T.208_D	2	4	80.3	73	80.3	YES		DUAL	S/W	36.9	30	25.2	24	6.1	6	7	7	7
D	Level 04	D2.407	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5
D	Level 04	D2.408	T.101_C	1	2	49.5	45	49.5	YES		SINGLE	W	27.1	23	11.4	11	3.7	3	5	5	5



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