

Comhairle Chontae Atha Cliath Theas

PR/0561/22

Record of Executive Business and Chief Executive's Order

Reg. Reference: SD21B/0630 **Application Date:** 16-Dec-2021

Submission Type: Additional Information **Registration Date:** 05-Apr-2022

Correspondence Name and Address: Peter Brennan Hayfield House, Knocklyon Road, Dublin 16

Proposed Development: Construction of a single storey extension to the side and rear; window to the front; internal reconfiguration and all ancillary works necessary to facilitate the development.

Location: 100, Whitecliff, Rathfarnham, Dublin 16

Applicant Name: Ciaran & Nikki Brangan

Application Type: Permission

(SW)

Description of Site and Surroundings:

Site Area: stated as 0.264 Hectares.

Site Description:

The subject site is located in Whitecliff. The site consists of an existing semi-detached two-storey dwelling. The surrounding properties are predominantly semi-detached, however, the property immediately to the south is detached. The property has a front garden/driveway, and a back garden.

Proposal:

Construction of a single-storey extension to the side and rear; window to the front; internal reconfigurations and all ancillary works necessary to facilitate the development.

Zoning:

The subject site is subject to zoning objective RES – ‘To protect and/or improve residential amenity’.

Consultations:

Water Services: No objection, subject to conditions.

Irish Water: No objection, subject to conditions.

SEA Sensitivity Screening – no overlap is recorded in the SEA monitoring system.

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Submissions/Observations /Representations

None received.

Relevant Planning History

Subject site:

None.

Adjacent sites:

SD08B/0036 Conversion of a carport to study, relocation of front door and provision for 2 no. windows **Permission Granted**

SD05A/0604 Two storey 4 bedroom detached domestic house. New vehicular access and associated site works. **Permission Granted**

Relevant Enforcement History

S5191 Non compliance with Conditions 4, 11 of SD05A/0604 **Closed (Complies with permission) (Relates to a detached house in the side garden)**

Pre-Planning Consultation

None recorded for the subject site according to APAS.

Relevant Policy in South Dublin County Council Development Plan 2016 – 2022

Section 2.4.1 Residential Extensions

Policy H18 Residential Extensions

It is the policy of the Council to support the extension of existing dwellings subject to the protection of residential and visual amenities.

Policy H18 Objective 1:

To favourably consider proposals to extend existing dwellings subject to the protection of residential and visual amenities and compliance with the standards set out in Chapter 11 Implementation and the guidance set out in the South Dublin County Council House Extension Design Guide, 2010 (or any superseding guidelines).

Section 11.3.1 Residential

Section 11.3.1 (iv) Dwelling Standards

Section 11.3.1 (v) Privacy

Section 11.3.3 Additional Accommodation

Section 11.3.3 (i) Extensions

Section 11.4.2 Car Parking Standards

Table 11.24 Maximum Parking Rates (Residential Development)

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Section 11.4.4 Car Parking Design and Layout

Section 11.7.2 Energy Performance in New Buildings

Section 11.8.2 Appropriate Assessment

South Dublin County Council House Extension Design Guide (2010)

The House Extension design guide contains the following guidance on house extensions, including for side and rear extensions:

Elements of Good Extension Design:

- *Respect the appearance and character of the house and local area;*
- *Provide comfortable internal space and useful outside space;*
- *Do not overlook, overshadow or have an overbearing affect on properties next door;*
- *Consider the type of extension that is appropriate and how to integrate it; and*
- *Incorporate energy efficient measures where possible.*

Side extensions:

-Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise. Where the style and materials do not seamlessly match the main house, it is best to recess a side extension by at least 50cm to mark the change.

-Leave a gap of at least 1m between the extension and the side party boundary with the adjoining property to avoid creating a terraced effect. A larger gap may be required if that is typical between properties along the street.

-Match the roof shape and slope of the existing house. In the case of houses with hipped roofs it can be particularly difficult to continue the ridge line and roof shape; however it is more visually pleasing to do so if this will not result in a terracing effect with the adjoining house.

-Do not include a flat roof to a prominent extension unless there is good design or an architectural reason for doing so.

-Do not incorporate blank gable walls where extensions face onto public footpaths and roads.

-The use of a 'false' roof to hide a flat roofed extension is rarely successful, particularly if visible from the side.

-Avoid locating unsightly pipework on side elevations that are visible from public view. Consider disguising or recessing the pipework if possible.

-Extending a hipped roof to the side to create a gabled end or half-hip will rarely be acceptable, particularly if the hipped roof is visually prominent and typical of other houses along the street.

-Avoid the use of prominent parapet walls to the top of side extensions

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For rear extensions:

- *Match or complement the style, materials and details of the main house unless there are good architectural reasons for doing otherwise.*
- *Match the shape and slope of the roof of the existing house, although flat-roofed single storey extensions may be acceptable if not prominent from a nearby public road or area.*
- *Make sure enough rear garden is retained.*
- *Do not create a higher ridge level than the roof of the main house.*
- *The roofline of large extensions to the rear of single storey bungalows should not be visible from public view to the front or to the side of the bungalow.*

Relevant Government Guidelines

Project Ireland 2040 National Planning Framework, Government of Ireland, 2018
Regional, Spatial & Economic Strategy 2019 - 2031, Eastern & Midlands Regional Assembly, 2019.

Section 5 – Dublin Metropolitan Area Strategic Plan, in Regional, Spatial and Economic Strategy 2019 – 2031.

Sustainable Residential Development In Urban Areas - Guidelines for Planning Authorities, Department of the Environment, Heritage and Local Government (2008).

Urban Design Manual: A Best Practice Guide, A Companion Document to the Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas, Department of the Environment, Heritage and Local Government, (2008).

Quality Housing for Sustainable Communities-Best Practice Guidelines, Department of the Environment, Heritage and Local Government, (2007).

Appropriate Assessment of Plans and Projects in Ireland – Guidance for Planning Authorities, Department of the Environment, Heritage and Local Government, 2009.

Assessment

The main issues for assessment relate to:

- Zoning and Council policy;
- Visual and Residential Amenity;
- Services and Drainage;
- Environmental Impact Assessment; and
- Appropriate Assessment.

Zoning and Council Policy

The proposed development is consistent in principle with zoning objective RES – ‘To protect and/or improve residential amenity’. New residential extensions to existing dwellings are permissible in principle under this zoning objective, subject to their being in accordance with the relevant provisions of the South Dublin County Council House Extension Design Guide 2010.

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Visual and Residential Amenity

Single storey extension to the side and rear

The proposed extension to the rear would be in place of an existing rear extension. The current extension projects approx. 5m to the rear and the proposed extension would have the same projection. The width of existing and proposed extensions are also the same. It is apparent that the proposal is a re-configuration of the existing rear extension and uses some of the existing structure. The main changes are fenestration and roof detail. The current extension has a height of approx. 2.4m (eaves). There is an existing boundary wall, which is 3m high and extends the majority of the length of the extension. The rear extension would be set off the boundary with No.100A Whitecliff, however, it would be immediately adjacent to the boundary with No. 101 Whitecliff. It would have a flat roof with a height of 3.45m. The applicant has submitted 3D images, which assist in the assessment of the proposal. It is noted that No. 101 also has an extension, however, this does not extend the full width of the rear elevation and is set off the boundary and there is a set of French doors in between. The rear extension would result in an increase in overshadowing of this area. Given there is an existing 3m high wall. The applicant is requested to provide a revised roof design of no greater than this height. This could either be eaves height or a monopitch roof, which falls towards the boundary with No101. The applicant is requested to provide this via **additional information**.

The side extension would meet the rear extension and extend part of the length of the rear extension. It would be 4.76m long and 3.45m high. The proposal would meet the boundary with 100A Whitecliff. It is noted that there are ground floor windows on this elevation, however, the floor plans for SD05A/0604 indicate that this is for a W/C and utility and there are no habitable rooms on this elevation. The impact of this element of the proposal is considered acceptable in terms of visual and residential amenity.

The proposed structures would not be visible from the street. Notwithstanding this, it is considered that the design is acceptable.

New window to the front elevation

It is noted that the proposed development would also seek permission for the provision of a new ground floor window, within the front elevation to serve an existing living/study area. No objections are raised in relation to this element of the proposal.

Services and Drainage

Water Services and Irish Water have no objections, subject to conditions.

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Screening for Environmental Impact Assessment

Having regard to the modest nature of the proposed development, and the distance of the site from nearby sensitive receptors, there is no likelihood of significant effects on the environment arising from the proposed development. The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination is not required.

Screening for Appropriate Assessment

The applicant has not provided information to assist the screening for Appropriate Assessment. Having regard to the nature of the development, connection to public services and the distance from the Natura 2000 sites the proposed development would not require a Stage 2 Appropriate Assessment.

Development Contributions

Residential extension (habitable) 13sq.m

40sq.m previous extension

40sq.m exemption.

Assessable area is 13sq.m

SEA monitoring

Building Use Type Proposed: Residential extension

Floor Area: 13sq.m

Land Type: Brownfield/Urban Consolidation.

Site Area: 0.264 Hectares.

Conclusion

In conclusion, the principle of an extension is acceptable, however, additional information is required regarding the roof design of the proposal, to ensure the proposed development would accord with the 'RES' land-use zoning and would not seriously injure the amenities of the area, and would accord with the South Dublin County Development Plan 2016 - 2022 and the proper planning and sustainable development of the area.

Recommendation

Request additional information.

Additional information requested: 18 February 2022

Additional information received: 5 April 2022

Consultations:

Water Services: No further comments provided.

Parks: No comment.

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Roads: No objections.

Item 1:

The Planning Authority has concerns regarding the impact of the proposed rear extension, both in term of overbearing impact and over shadowing, on adjoining property located at No. 101 Whitecliff. The applicant is requested to provide a revised roof design for the proposed rear extension, which is no higher than the existing boundary wall with No. 101. A revised design could include a reduction to the eaves height to match the boundary wall or the introduction of a monopitch roof, which falls towards the boundary with No101.

Applicant's response:

The applicant has opted for a monopitch roof that is no higher than the boundary wall with No101 on the north elevation.

Assessment:

The proposal has been significantly reduced in height along the boundary with No101 and the impact is now considered acceptable in terms of residential amenity in this regard. However, it is noted that the applicant has increased the height along the southern elevation and the Planning Authority now has concerns regarding the impact on residential amenity of the property to the south. The initial submission indicated a height of 3.45m at this location and a condition is recommended restricting the height along the southern boundary to this in the event of grant.

Development Contributions

Residential extension - 9sq.m

30sq.m previous extension

40sq.m exemption.

Assessable area is Nil.

SEA monitoring

Building Use Type Proposed: Residential extension

Floor Area: 9sq.m

Land Type: Brownfield/Urban Consolidation.

Site Area: 0.264 Hectares.

Conclusion

Having regard to the 'RES' zoning objective of the site, it is considered that subject to the conditions set out below, the proposed development would not significantly detract from the character of the surrounding area and would be in accordance with the current South Dublin County Council Development Plan. As such, the proposed development would be in accordance with the proper planning and sustainable development of the area. It is, therefore, recommended that permission be granted subject to conditions set out below.

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Recommendation

I recommend that a decision be made pursuant to the Planning & Development Act 2000, as amended, for the reasons set out in the First Schedule hereto, to Grant Permission for the said development in accordance with the said plans and particulars, subject to the condition(s) specified in the Second Schedule hereto, the reasons for the imposition of the said condition(s) being as set out in the said Second Schedule.

FIRST SCHEDULE

It is considered that the proposed development accords with the policies and objectives of South Dublin County Council, as set out in the South Dublin County Council Development Plan 2016 - 2022 and subject to the conditions set out hereunder in the Second Schedule is hereby in accordance with the proper planning and sustainable development of the area.

SECOND SCHEDULE

Conditions and Reasons

1. Development to be in accordance with submitted plans and details.
The development shall be carried out and completed in its entirety in accordance with the plans, particulars and specifications lodged with the application, and as amended by Further Information received on 5 April 2022, save as may be required by the other conditions attached hereto.
REASON: To ensure that the development shall be in accordance with the permission, and that effective control be maintained.
2. (a) External Finishes.
All external finishes shall harmonise in colour or texture that is complementary to the house or its context.
REASON: In the interest of visual amenity.

(b) Restriction on Use.
The house and the proposed extension shall be jointly used as a single dwelling unit for residential purposes and shall not be sub-divided or used for any commercial purposes, and the extension shall not be sold, let (including short-term letting), leased or otherwise transferred or conveyed, by way of sale, letting or otherwise save as part of the single dwelling unit.
REASON: To prevent unauthorised development.

(c) Drainage .
(i) Include water butts and green roofs where feasible as part of SuDS (Sustainable Drainage Systems) measures for the development

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(ii) All works shall comply with the Building Regulations -Technical guidance document- Part H Drainage and Wastewater disposal.

(ii) There shall be complete separation of the foul and surface water drainage systems, both in respect of installation and use.

(iii) All drainage works for this development shall comply fully with the Greater Dublin Regional Code of Practice for Drainage Works.

(iv) All development shall be carried out in compliance with Irish Water Standards codes and practices.

REASON: In the interests of public health, the proper planning and sustainable development of the area and in order to ensure adequate water supply and drainage provision.

(d) Minimise Air Blown Dust.

During the construction and or demolition phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. The applicant/developer shall comply with British Standard B.S. 5228 Noise Control on Construction and Open sites and British Standard B.S. 6187 Code of Practice for demolition.

REASON: In the interest of public health and to uphold the Council's policies set out in the South Dublin County Council Development Plan.

(e) Construction Noise and Hours.

To control, limit and prevent the generation of unacceptable levels of Environmental Noise Pollution from occurring during construction activity, Equipment or Machinery (to include pneumatic drills, on-site construction vehicles, generators, etc.) that could give rise to unacceptable levels of noise pollution as set out generally for evening and night-time in S.I. No. 140/2006 - Environmental Noise Regulations 2006 shall only be operated on the site between 7.00 hours and 19.00 hours weekdays and between 9.00 hours and 13.00 hours on Saturdays. No works shall take place at any time on Sundays, Bank Holidays or Public Holidays.

Any construction work outside these hours that could give rise to unacceptable levels of noise pollution shall only be permitted following a written request to the Planning Authority and the subsequent receipt of the written consent of the Planning Authority, having regard to the reasonable justification and circumstances and a commitment to minimise as far as practicable any unacceptable noise outside the hours stated above. In this respect, the applicant or developer shall also comply with BS 5228:2009 Noise and Vibration Control on Construction and Open Sites, and have regard to the World Health Organisation (WHO) – Guidelines for Community Noise (1999).

The applicant or developer shall also endeavour to engage in local consultation in respect

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of any noise sensitive location within 30 metres of the development as approved prior to construction activity commencing on site. Such noise sensitive locations should be provided with the following:

- Schedule of works to include approximate timeframes
- Name and contact details of contractor responsible for managing noise complaints
- Hours of operation- including any scheduled times for the use of equipment likely to be the source of significant noise.

REASON: In the interest of public health by the prevention of unacceptable levels of noise pollution which could interfere with normal sleep and rest patterns and/or when people could reasonably expect a level of quietness, the proper planning and sustainable development of the area and to uphold the Council's amenity policies set out in the South Dublin County Council Development Plan.

3. Amendments.

Prior to the commencement of development the applicant, owner or developer shall submit the following for the written agreement of the Planning Authority:

Revised plans that incorporate all of the following amendments-

The height of the southern elevation of the proposed extension shall not exceed 3.45m.

REASON: To protect the amenities of the area and in the interests of the proper planning and sustainable development of the area.

NOTE: The applicant is advised that under the provisions of Section 34 (13) of the Planning and Development Act 2000 (as amended) a person shall not be entitled solely by reason of a permission to carry out any development.

NOTE: The applicant or developer should ensure that all necessary measures shall be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works and to ensure that any such instances arising are remedied immediately.

NOTE: Adequate provision should be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons, including sanitary conveniences. The minimum requirements should be as per Part M of the Building Regulations.

NOTE: The applicant/developer of these lands is advised that in the event of encroachment or oversailing of adjoining property, the consent of the adjoining property owner is required.

NOTE: Notwithstanding any grant of planning permission; if an applicant requires permission to access local authority land (e.g. public footpaths, public open space or

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roadways) in order to access utilities, or for any other reason; the applicant should apply via <https://maproadroadworkslicensing.ie/MRL/> for a licence from the Local Authority to carry out those works.

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REG. REF. SD21B/0630

LOCATION: 100, Whitecliff, Rathfarnham, Dublin 16

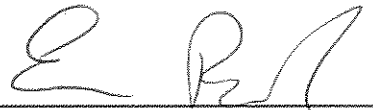
Colm Harte

**Colm Harte,
Senior Executive Planner**

ORDER: A decision pursuant to Section 34(1) of the Planning & Development Act 2000, as amended, to Grant Permission for the reasons set out in the First Schedule above, in accordance with the said plans and particulars, subject to the condition(s) specified in the Second Schedule above, the reasons for the imposition of the said condition(s) being as set out in the said Second Schedule is hereby made.

Date:

29/4/22



Eoin Burke, Senior Planner