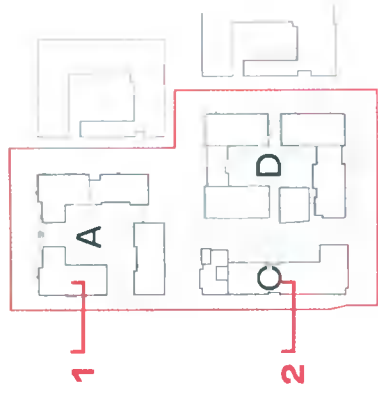


## O4 DESIGN



The existing cattle bridge presented a significant challenge during the design development of the proposal.

The conditions along the cattle bridge are substantially different for block A and for block C.

Block C is presented with an elevated structure, roughly in line with the second floor, which was a reason of concern in respect of the amenity of the units on ground and first floor. However, the height of the bridge allows for acceptable levels of daylight and sunlight as demonstrated by the assessment carried out by OCSC.

Own door units on ground floor will provide passive surveillance along the bridge walk.

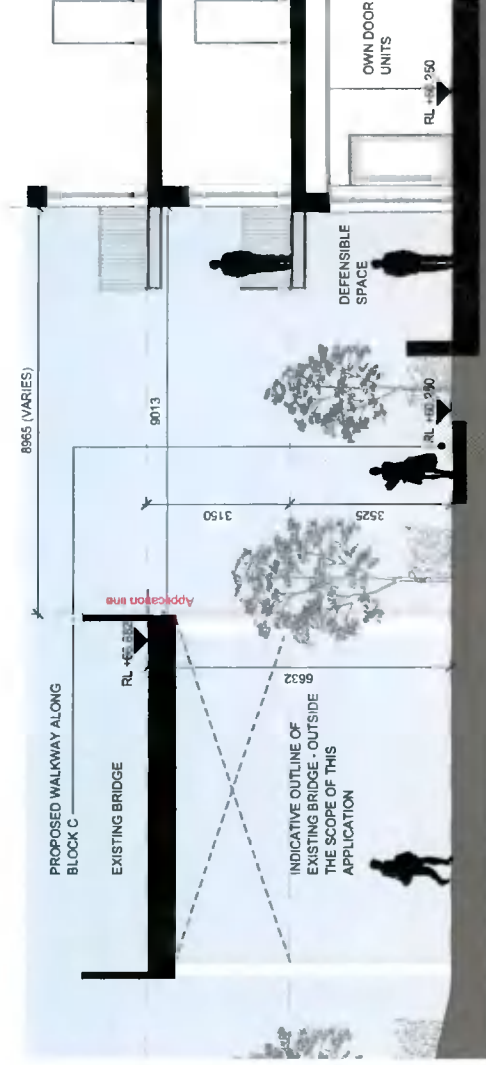


Bridge walk along block C

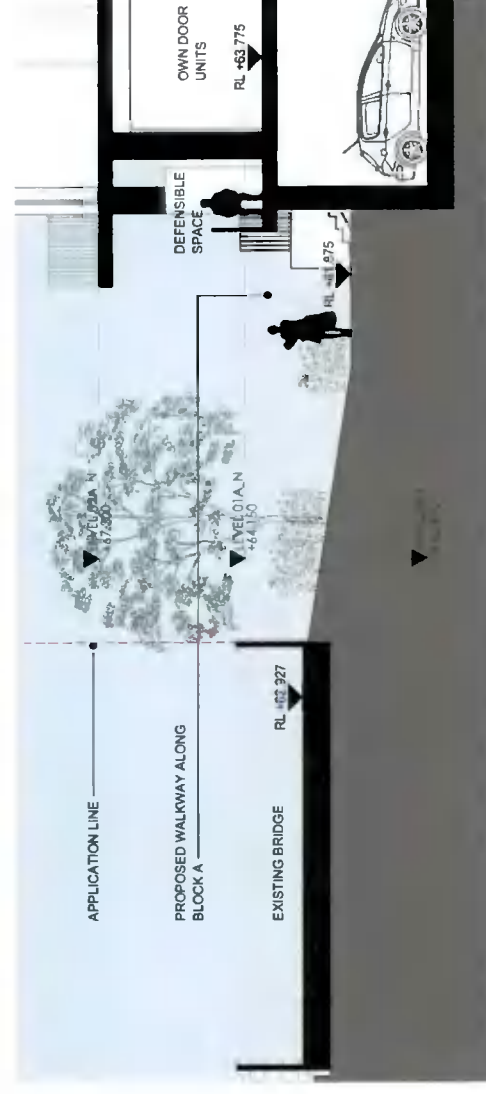


End of bridge walk at Adamstown Avenue - block A

The challenge for Block A was integrating the existing embankment, which gradually reduces as the ground ramps up towards Adamstown Avenue. The embankment is treated with hard and soft landscaping, and an opening in the podium level provides a visual break as well as overlooking of this space. As the ground approaches the Northern end, own door units activate the building edge and assist with passive surveillance.



CROSS SECTION THROUGH BLOCK C



CROSS SECTION THROUGH BLOCK A

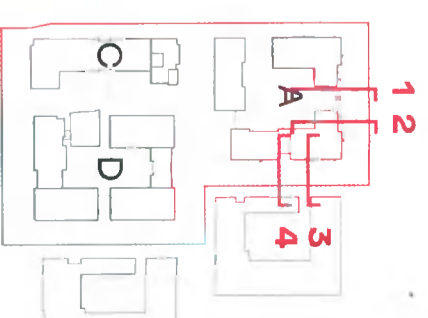
4.6 BLOCK A TOPOGRAPHY - EDGE CONDITIONS



Block A N-E corner



Block A Podium and pocket park



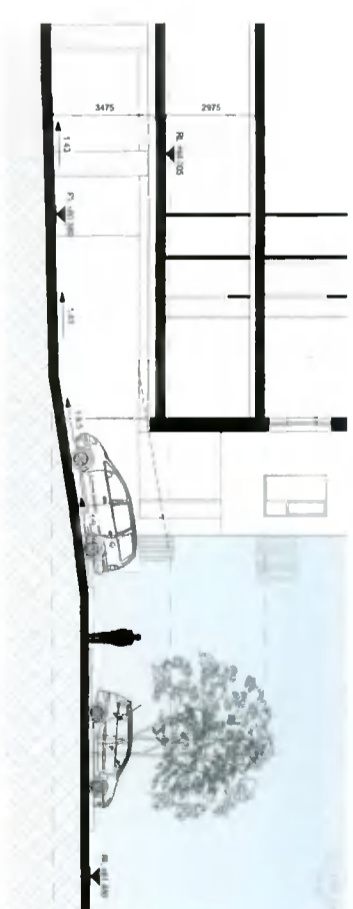
SECTION 1 - Podium interface on Adamstown Avenue



SECTION 2 - Entrance on Adamstown Avenue



SECTION 3 - Own door units on Narrowgauge Row



SECTION 4 - Carpark entrance along Narrowgauge Row

**05**

**MOVEMENT STRATEGY**

**5.1 CAR PARKING**

**5.2 BICYCLE PARKING**

**5.3 EMERGENCY AND SERVICE ROUTES**

**5.4 PROPOSED ROAD AND PARKING LAYOUT**

# 06

## CHARACTER

6.1 ELEVATIONAL STRATEGY

6.2 MATERIAL PALETTE

6.3 CONTEXT ELEVATIONS

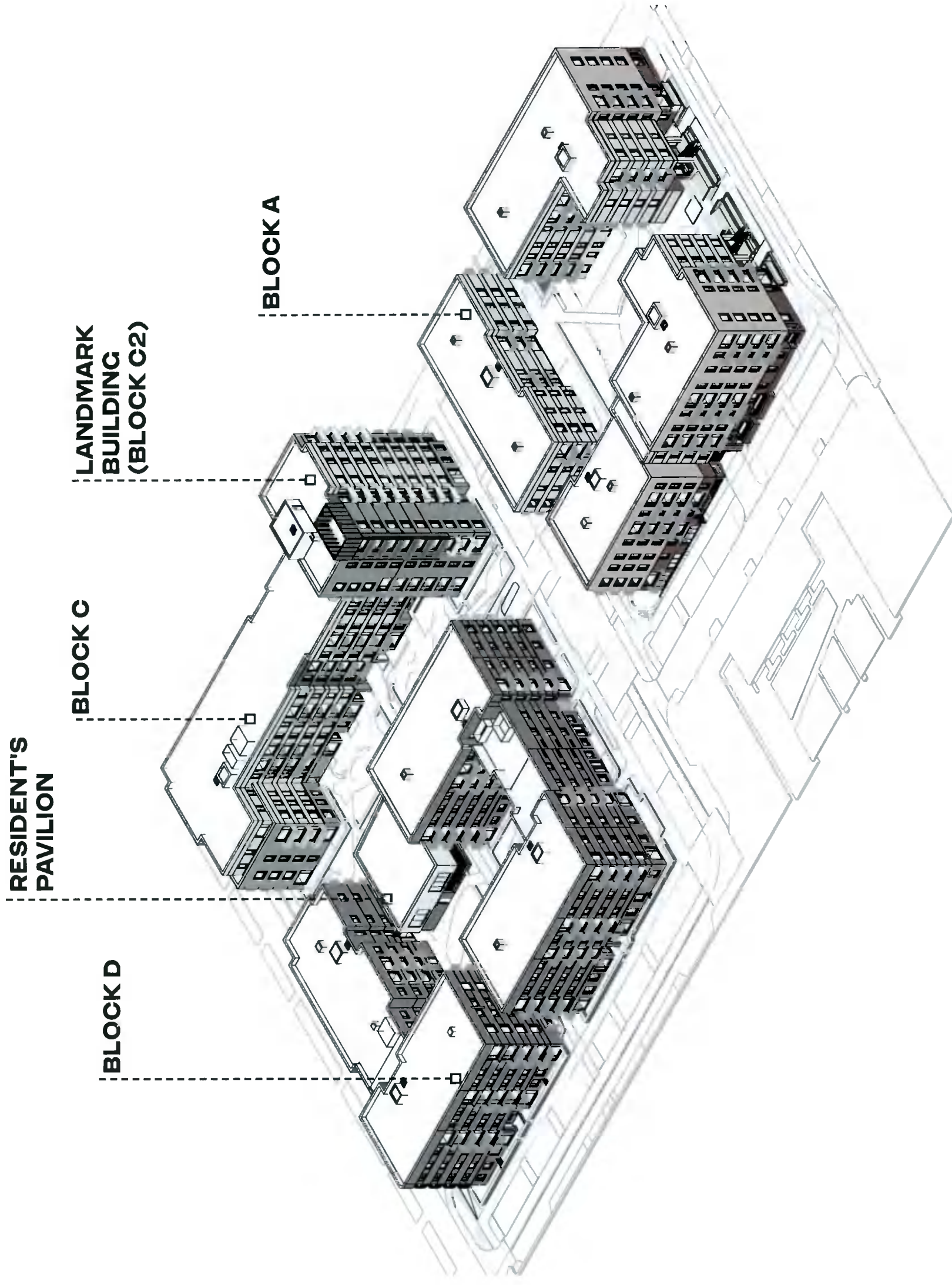
6.4 ELEVATIONAL STUDIES

## 06 CHARACTER

### 6.1 ELEVATIONAL STRATEGY

The initial step was defining an elevational treatment strategy to include:

1. A material palette to create a unified 'neighbourhood' feel, with brick in complementary tones being the primary material.
2. A sense of individual building identity is created through subtle changes in brick colour from block to block.
3. Brick becomes the material for the public frontages
4. Render is used to the internal courtyard elevations
5. Landmark building to use a distinctive rainscreen cladding, clearly identifiable from a distance
6. Amenities at ground level of Block A and in the pavilion building Block D will be treated as clearly identifiable objects to assist with the way-finding strategy.
7. Robust materials for durability and ease of maintenance



## 06 CHARACTER

### 6.2 MATERIAL PALETTE

The material palette is designed to create a unified 'neighbourhood' feel, with brick in complementary tones.

Visual interest and a sense of individual building identity is created through subtle changes in brick colour from block to block, as well as alternating textures.

Brick is used due to its durability, robustness and grounds the scheme within its residential context.

The brick facades work in contrast, to the window frames, balustrades, copings and gates which are in tonal grays to tie these elements into the wider material strategy for the scheme.

All materials outlined above will help create buildings that resist deterioration over time. The building and open space elements can be easily and safely maintained and managed by the future operators of the scheme.

#### BLOCK A



##### **BROWN / RED BRICK MIX**

*Standard mortar joint*



##### **RED / PINK BRICK**

*Light coloured mortar joint*



##### **ACRYLIC RENDER**

*Buff acrylic render on EIFS system*

#### BLOCK C



##### **DARK RED BRICK MIX**

*Dark / red coloured mortar joint*



##### **TERRACOTTA ACRYLIC RENDER**

*EIFS system*



##### **WINDOWS, BALCONIES**

*PPC finish in selected colour*

#### BLOCK D



##### **DARK BROWN / BLACK BRICK**

*Dark coloured mortar joint*



##### **BUFF / WHITE BRICK**

*Light coloured mortar joint*

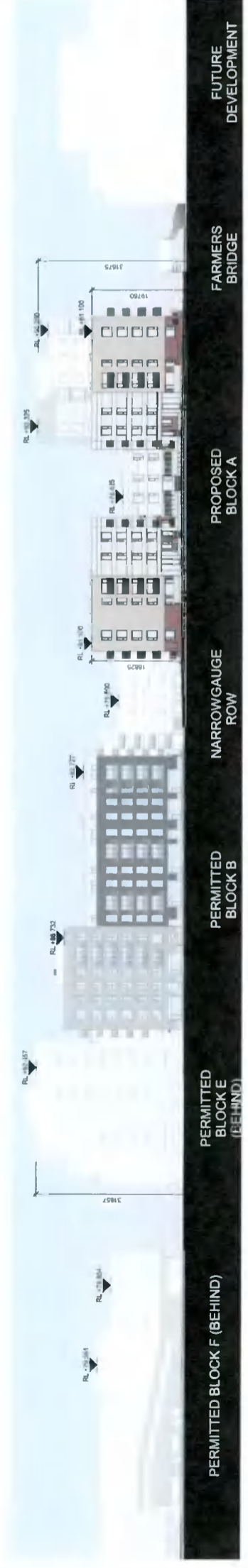
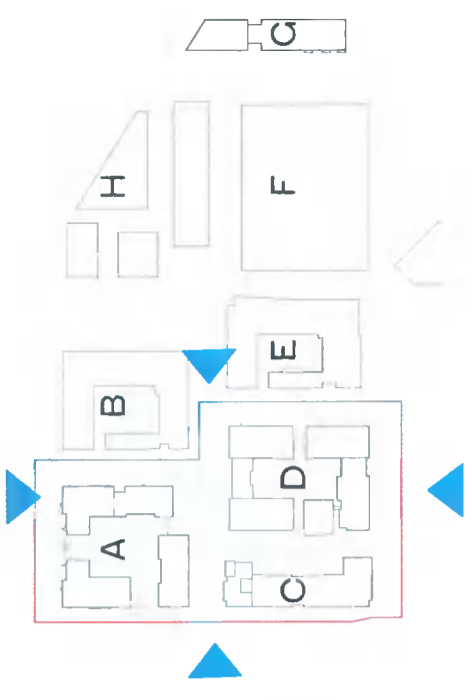


##### **ACRYLIC RENDER**

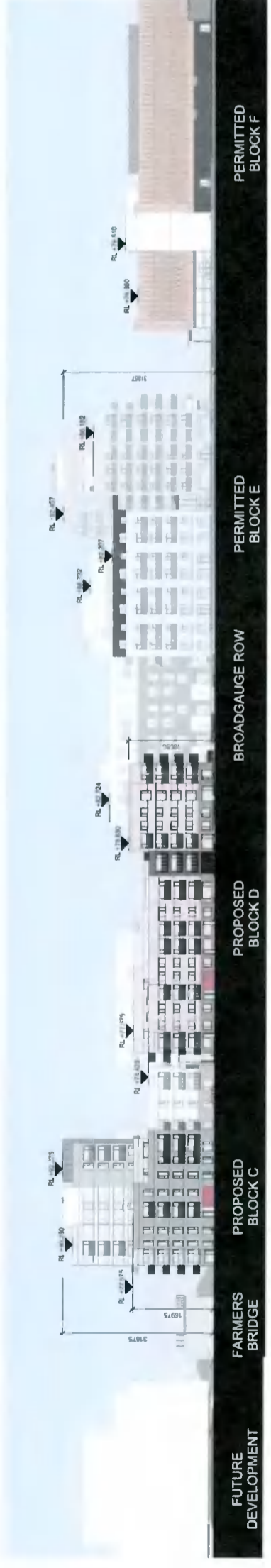
*Off white acrylic render on EIFS system*

# O6 CHARACTER

## 6.3 CONTEXT ELEVATIONS



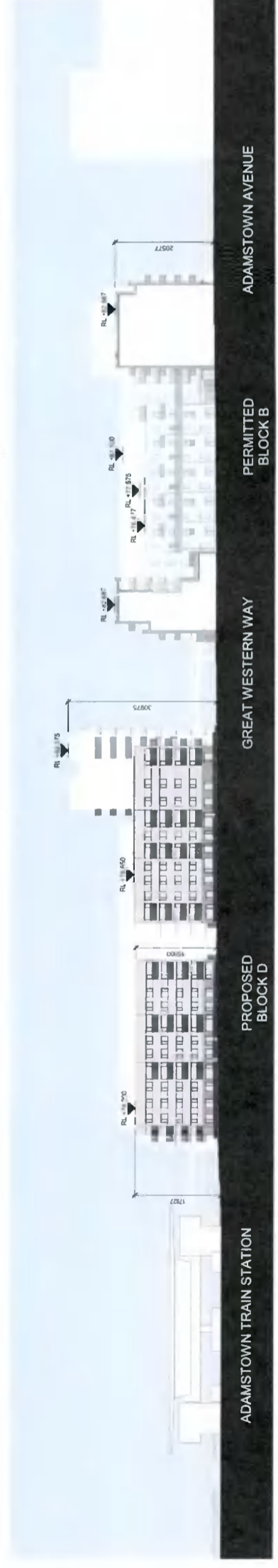
SITE ELEVATION - NORTH



SITE ELEVATION - SOUTH



SITE ELEVATION - WEST



SITE ELEVATION - EAST

06 CHARACTER  
6.4 ELEVATIONAL STUDIES  
BLOCK A



BLOCK A SOUTH ELEVATION



BLOCK A EAST ELEVATION



Reference images for illustration purposes



# O6 CHARACTER

## BLOCK D



BLOCK D SOUTH ELEVATION



BLOCK D WEST ELEVATION



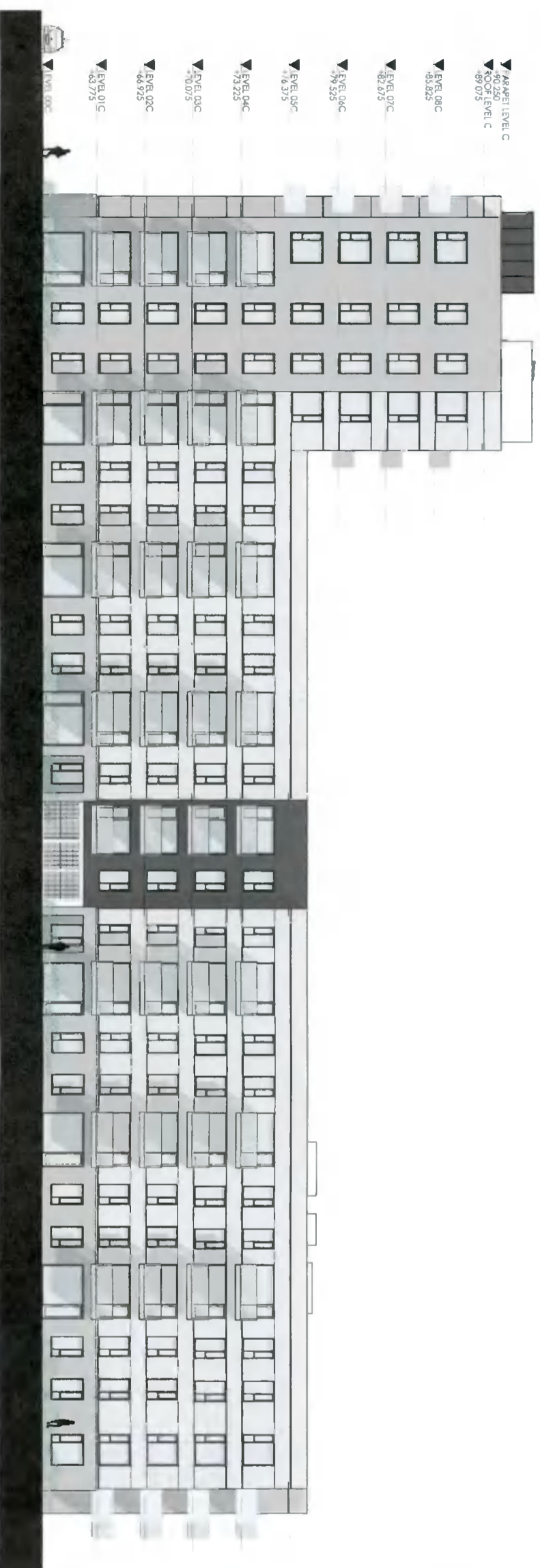
Reference images for illustration purposes

# 06 CHARACTER

## BLOCK C

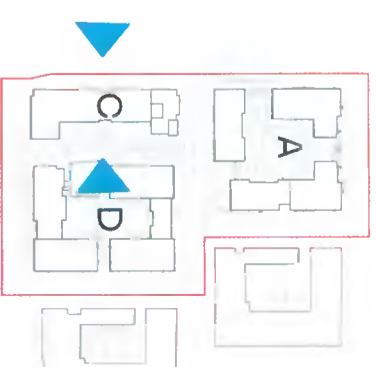


BLOCK C EAST ELEVATION



BLOCK C WEST ELEVATION

Adamstown District Centre

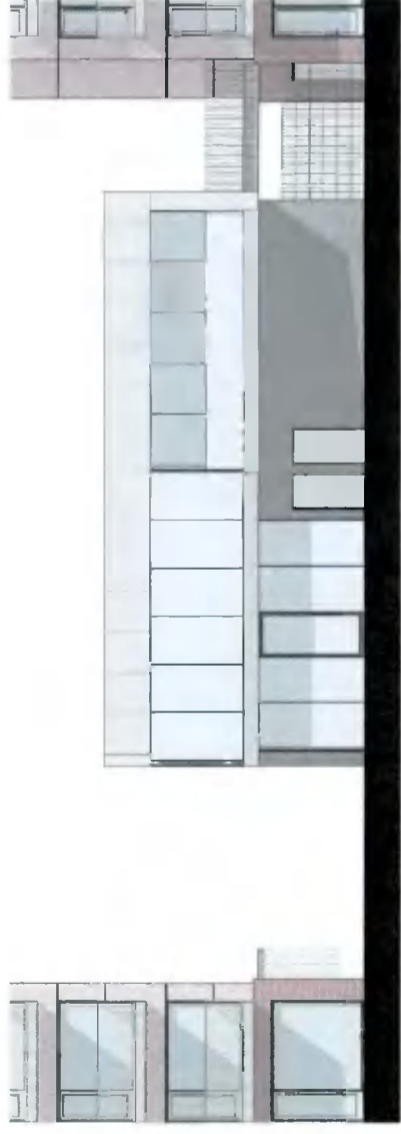


Reference images for illustration purposes

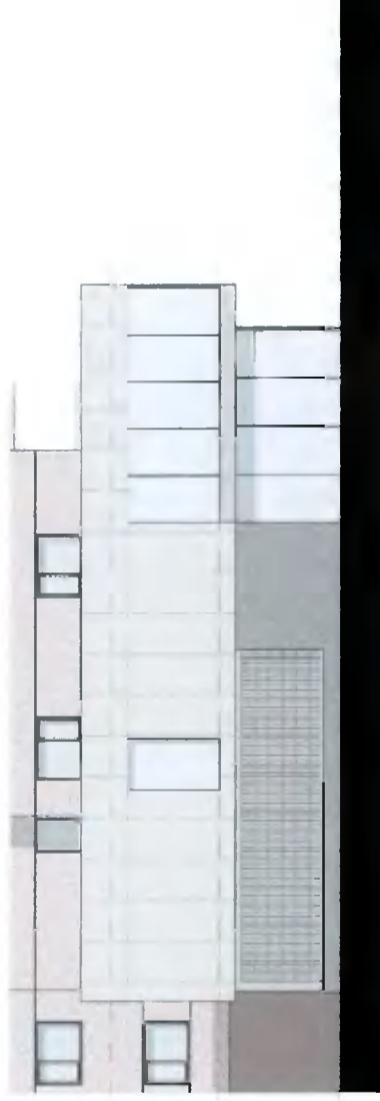
# O6 CHARACTER

## RESIDENT'S PAVILION

WEST ELEVATION



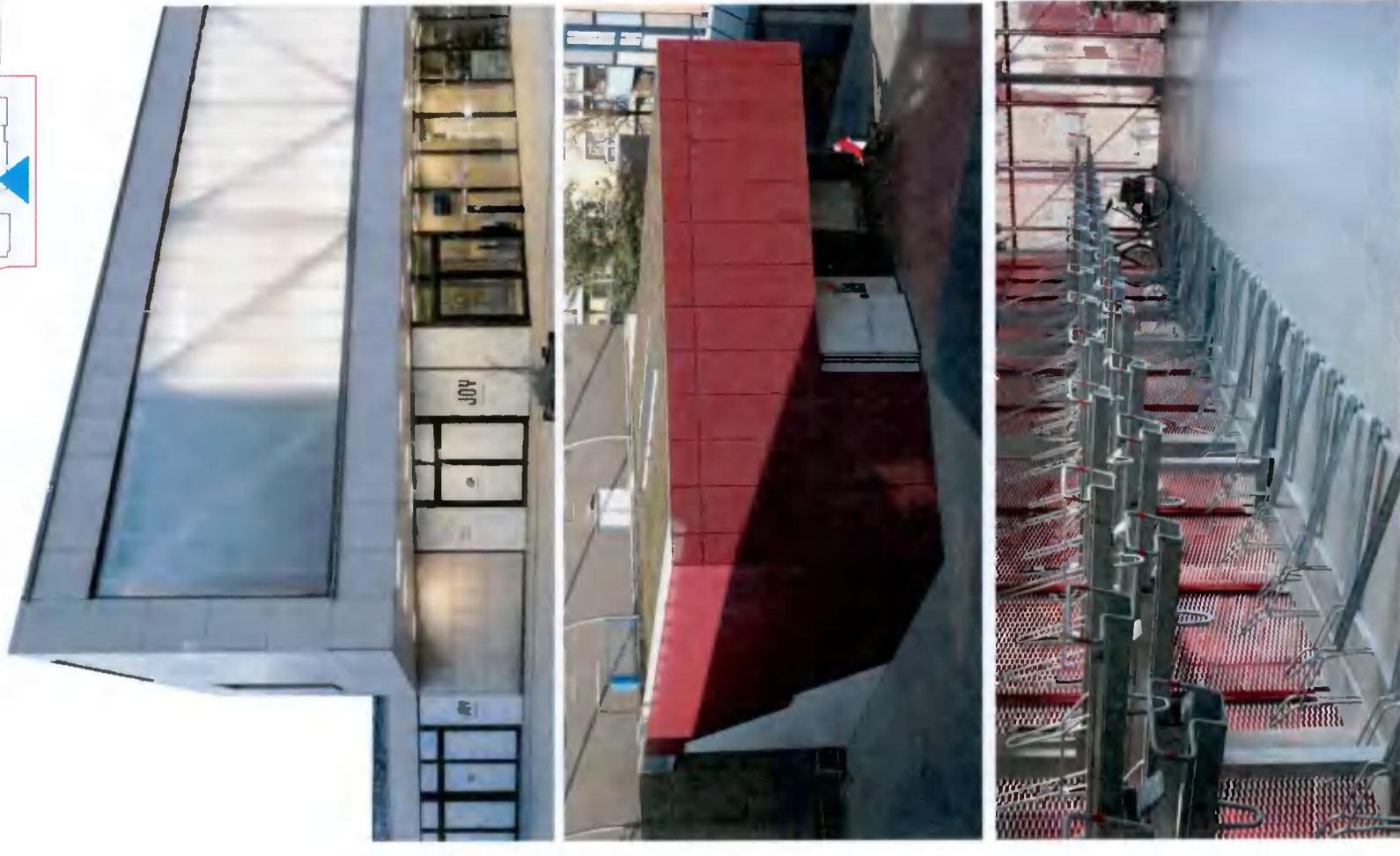
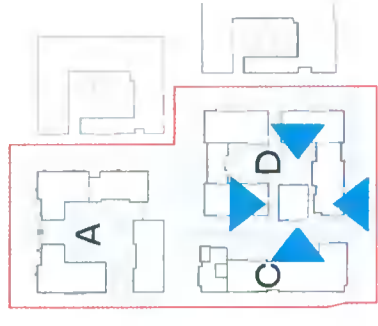
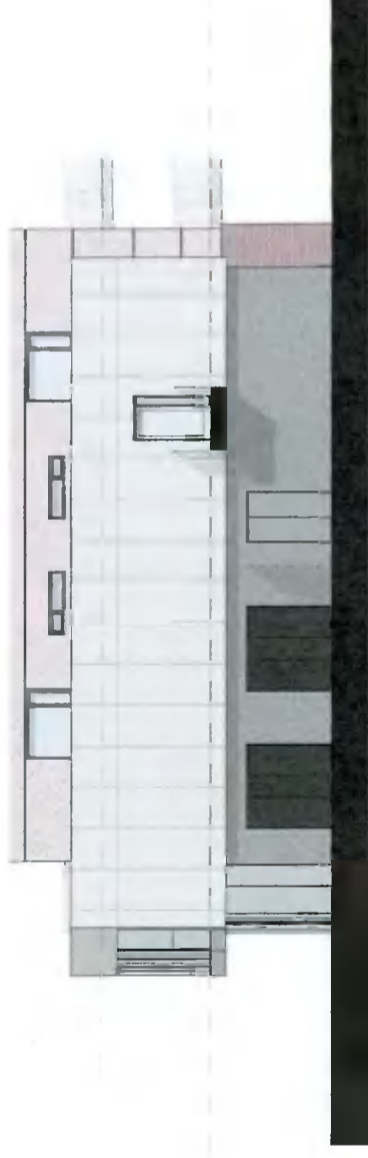
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



Reference images for illustration purposes

**07**

## **SCHEDULES**

**7.1 SUMMARY SCHEDULE**

**7.2 SCHEDULE OF ACCOMMODATION BY BLOCK**

**7.3 PROPOSED PART V SCHEDULE**

**7.4 HOUSING QUALITY ASSESSMENT (HQA)**