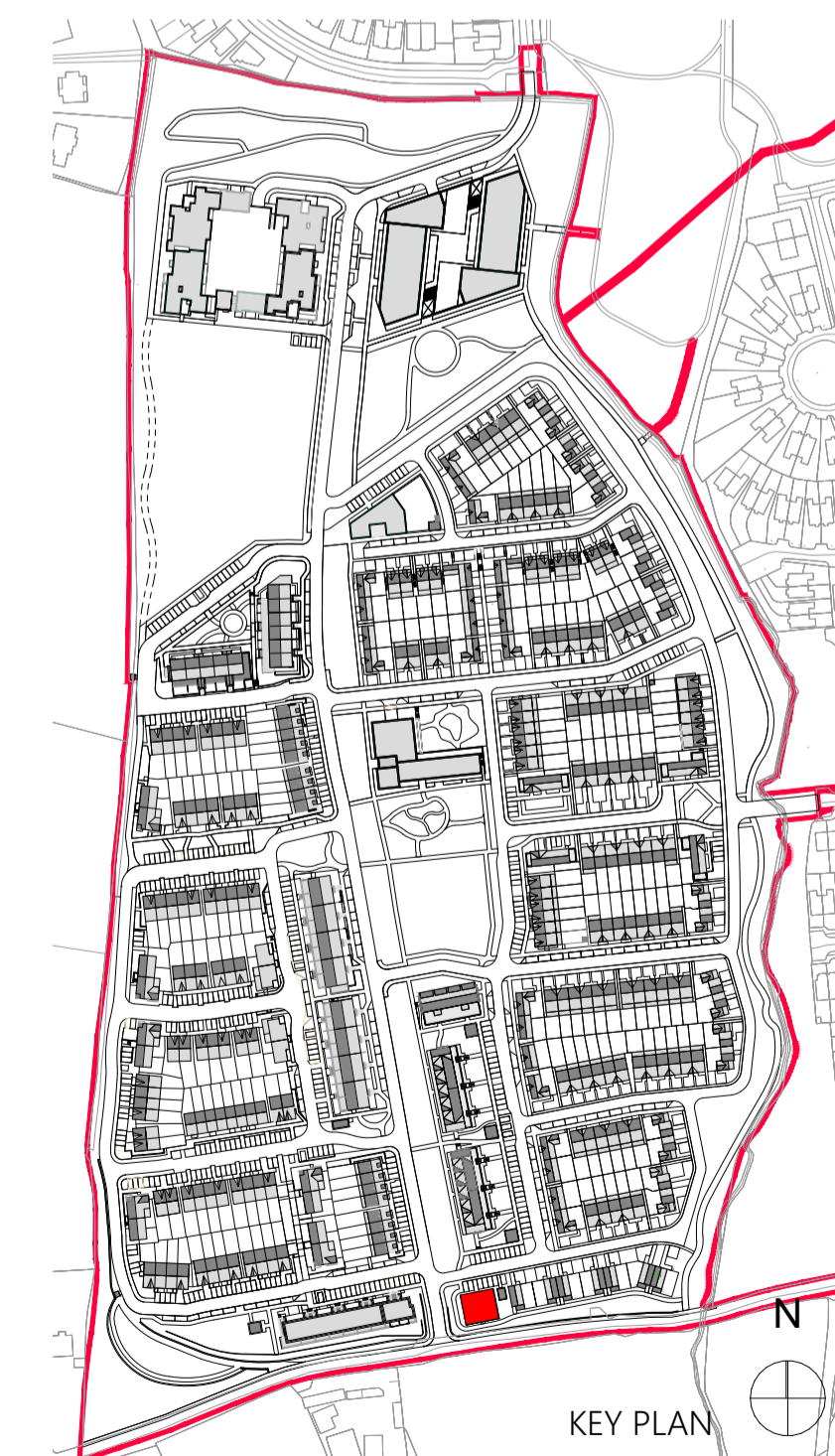


Notes

Levels shown are relative to 0.00 FFL of the unit type. Refer to Architects Site Plan Drawing PL02 for specific FFLs of each unit relative to Malin Head datum level.

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WALLS:	SELECTED CLAY BRICKWORK WHERE INDICATED OTHERWISE SELECTED SELF-COLOURED RENDER
JOINERY:	ALL WINDOWS AND DOORS, FRAMES AND LEAFS TO BE ALUMINIUM POWDER COATED TO APPROVED COLOUR OR UPVC OR PAINTED TIMBER TO APPROVED COLOUR. OBSCURE GLAZING WHERE INDICATED TO SENSITIVE
WINDOWS:	
RAINWATER GOODS:	GUTTERS, DOWNPIPES AND FIXINGS TO BE UPVC OR ALUMINIUM POWDER COATED TO SELECTED COLOUR TO MATCH ROOF SLATES.
SOLAR PANELS:	INDICATIVE SOLAR PANEL POSITION, FINAL SOLAR PANEL POSITION DEPENDS ON HOUSE ORIENTATION. THE SOLAR PANELS INDICATED ARE A PROVISIONAL OPTION TO SATISFY RENEWABLE ENERGY REQUIREMENTS OF BUILDING REGULATIONS PART L. SOLAR PANELS MAY BE OMITTED IN FAVOUR OF ALTERNATIVE RENEWABLE ENERGY OPTIONS.



DUP-F

Duplex Unit F1		
Name	Proposed Area	DoHPCLG Area Min.
Duplex F1 - 2 Bed Unit	74.4 m ²	73.0 m ²
Duplex Unit F1 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.5 m ²	24.4 m ²
Aggregate Living Area	32.2 m ²	30.0 m ²
Duplex Unit F1 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²
Refer to Site Plan for:	<ul style="list-style-type: none"> - Finished floor levels to survey datum - Orientation - Handing of type for each unit 	
Unit Number:		

Duplex Unit F2		
Name	Proposed Area	DoHPCLG Area Min.
Duplex F2 - 2 Bed Unit	76.35 m ²	73.0 m ²
Duplex Unit F2 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.6 m ²	24.4 m ²
Aggregate Living Area	30.3 m ²	30.0 m ²
Duplex Unit F2 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²
Refer to Site Plan for:	<ul style="list-style-type: none"> - Finished floor levels to survey datum - Orientation - Handing of type for each unit 	
Unit Number:		

Duplex Unit F3		
Name	Proposed Area	DoHPCLG Area Min.
Duplex F3 - 3 Bed Unit	111.7 m ²	90.0 m ²
Duplex Unit F3 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	32.8 m ²	31.5 m ²
Aggregate Living Area	39.1 m ²	34.0 m ²
Duplex Unit F3 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	10.8 m ²	9.0 m ²
Refer to Site Plan for:	<ul style="list-style-type: none"> - Finished floor levels to survey datum - Orientation - Handing of type for each unit 	
Unit Number:		

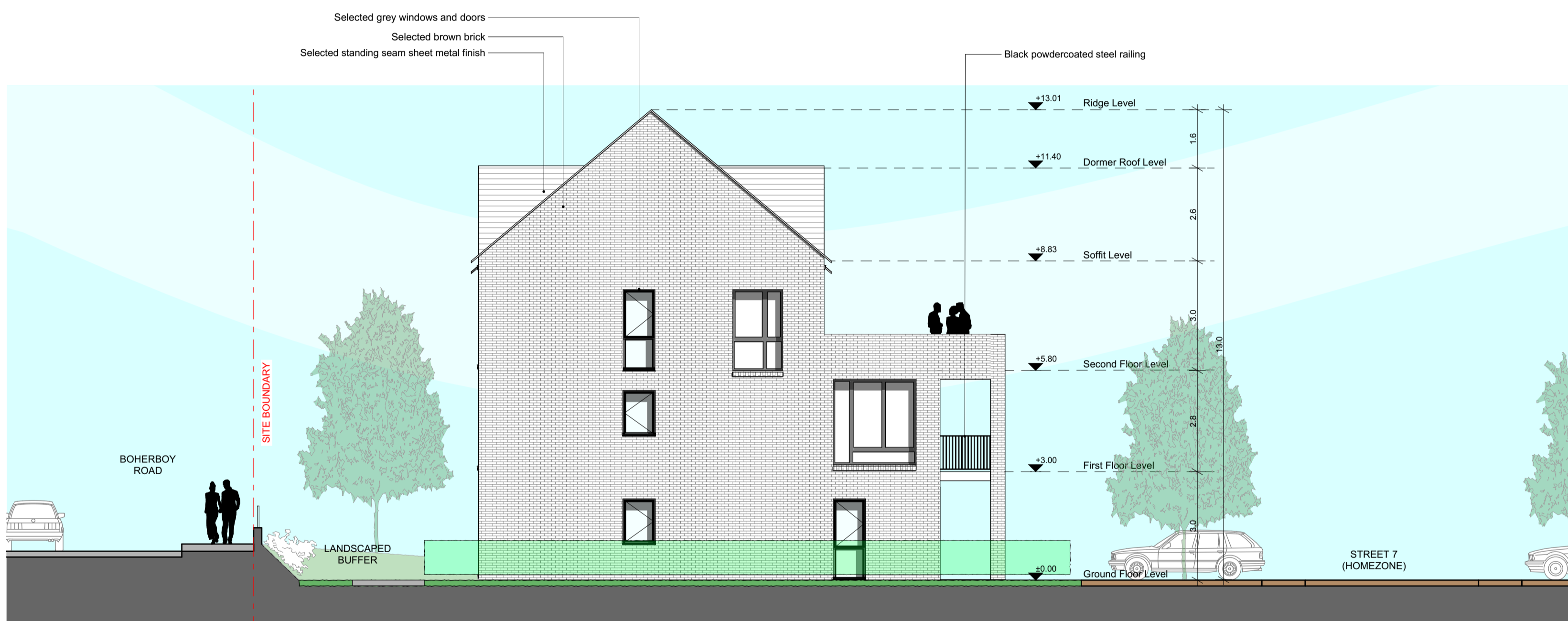
RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
<small>DAVEY+SMITH ARCHITECTS 13 SEAPPOINT BUILDING, 44/45 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447638 EMAIL: info@davey-smith.com WEB: www.davey-smith.com</small>		
Layout ID: DUPF01 - DUPLEX BLOCK F-	Scale: AS SHOWN	Job No: D2006
Project: Boherboy	Series: PLANNING	Date: 21/03/2022
Drawing Name: FLOOR PLANS	Status: Planning	
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South Elevation



North Elevation



East Elevation



Section AA



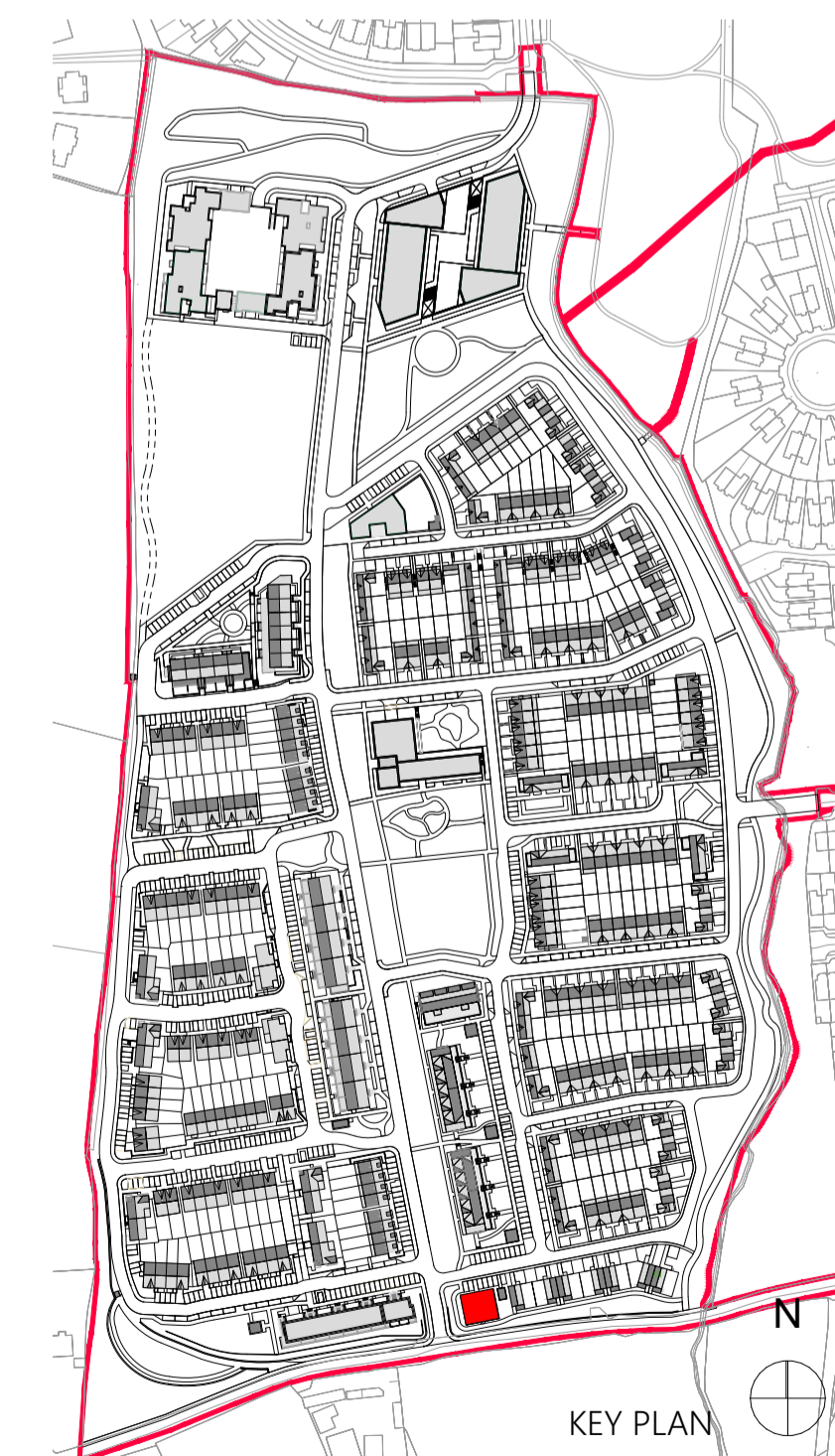
West Elevation

Notes

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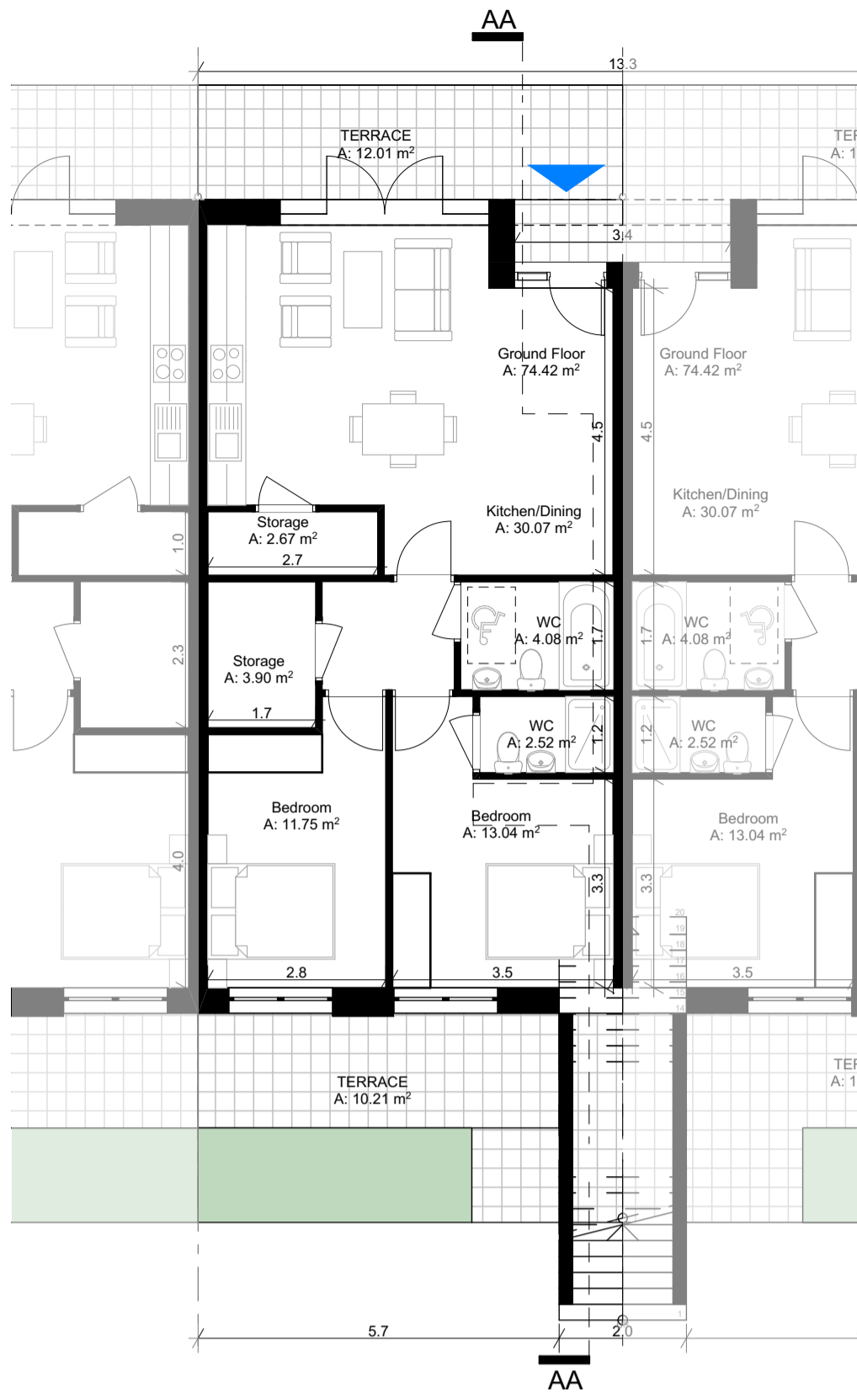
NOTES ON FINISHES:	
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WINDOWS:	
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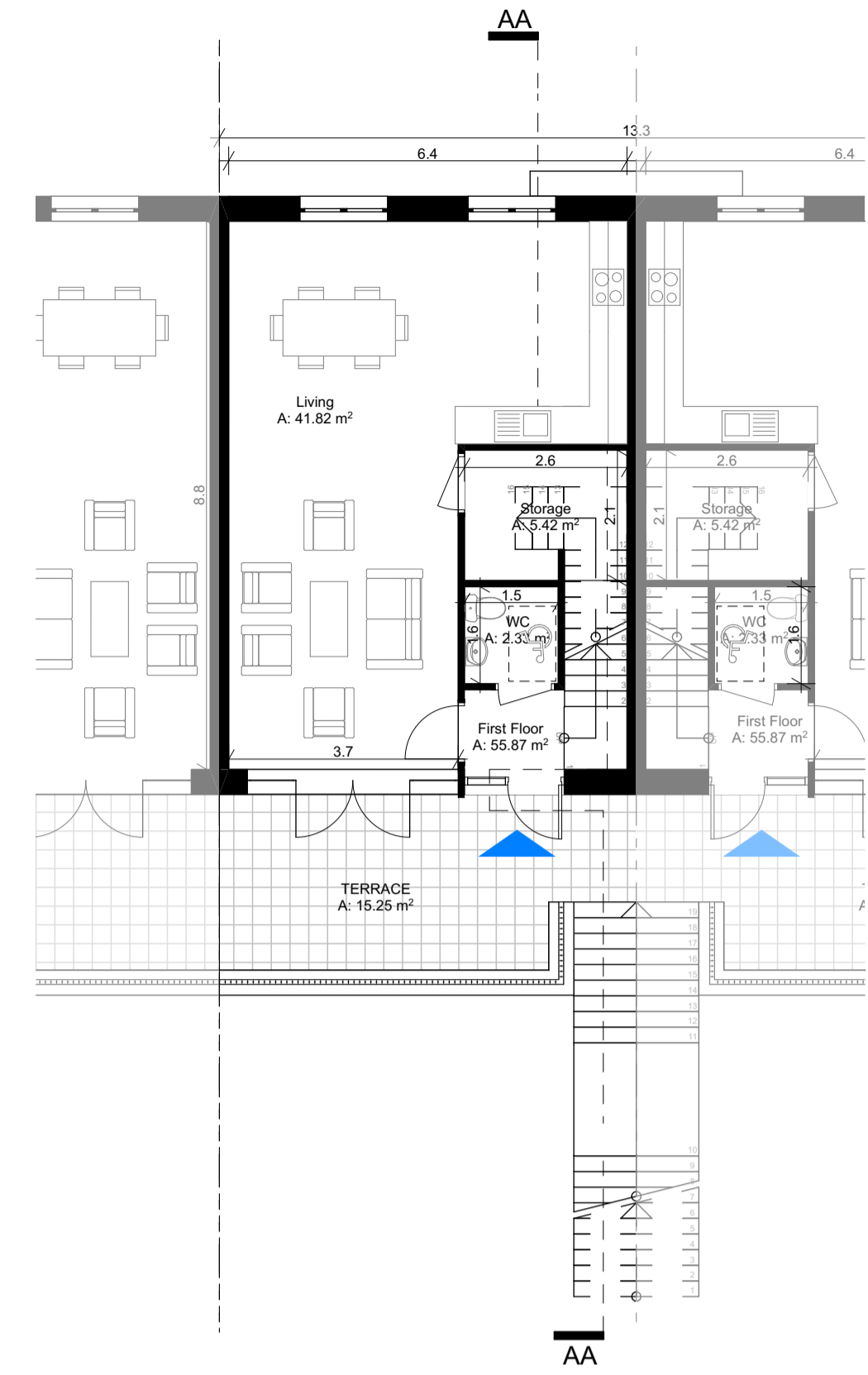
DUP-F

RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
<small>DAVEY+SMITH ARCHITECTS 13 SEAPPOINT BUILDING, 4445 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447658 EMAIL: info@davey-smith.com WEB: www.davey-smith.com</small>		
Layout ID: DUPF02 DUPLEX BLOCK F-	Scale: AS SHOWN	Job No: D2006
Project: Boherboy	Series: PLANNING	Date: 21/03/2022
Drawing Name: ELEVATIONS	Status: Planning	

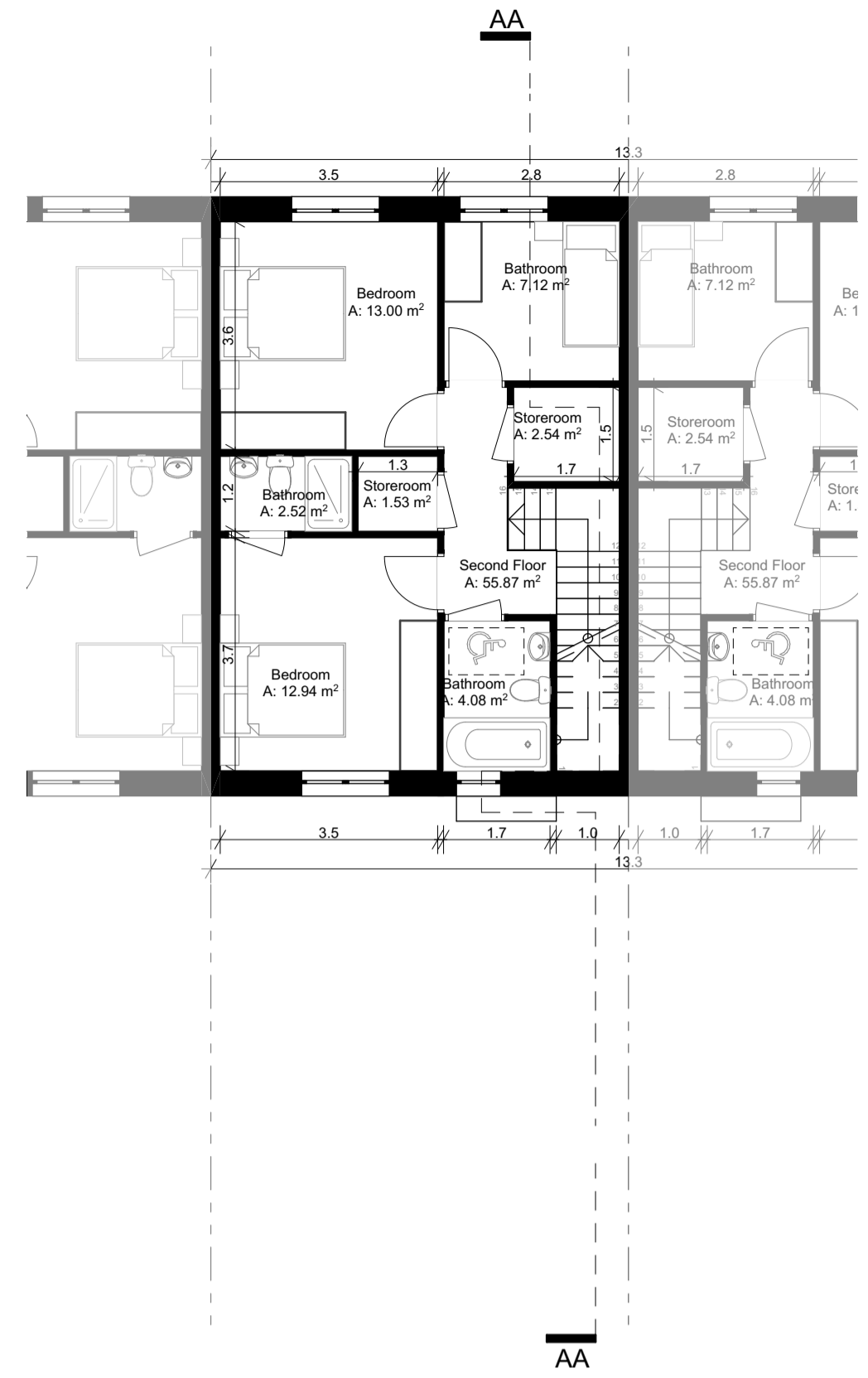
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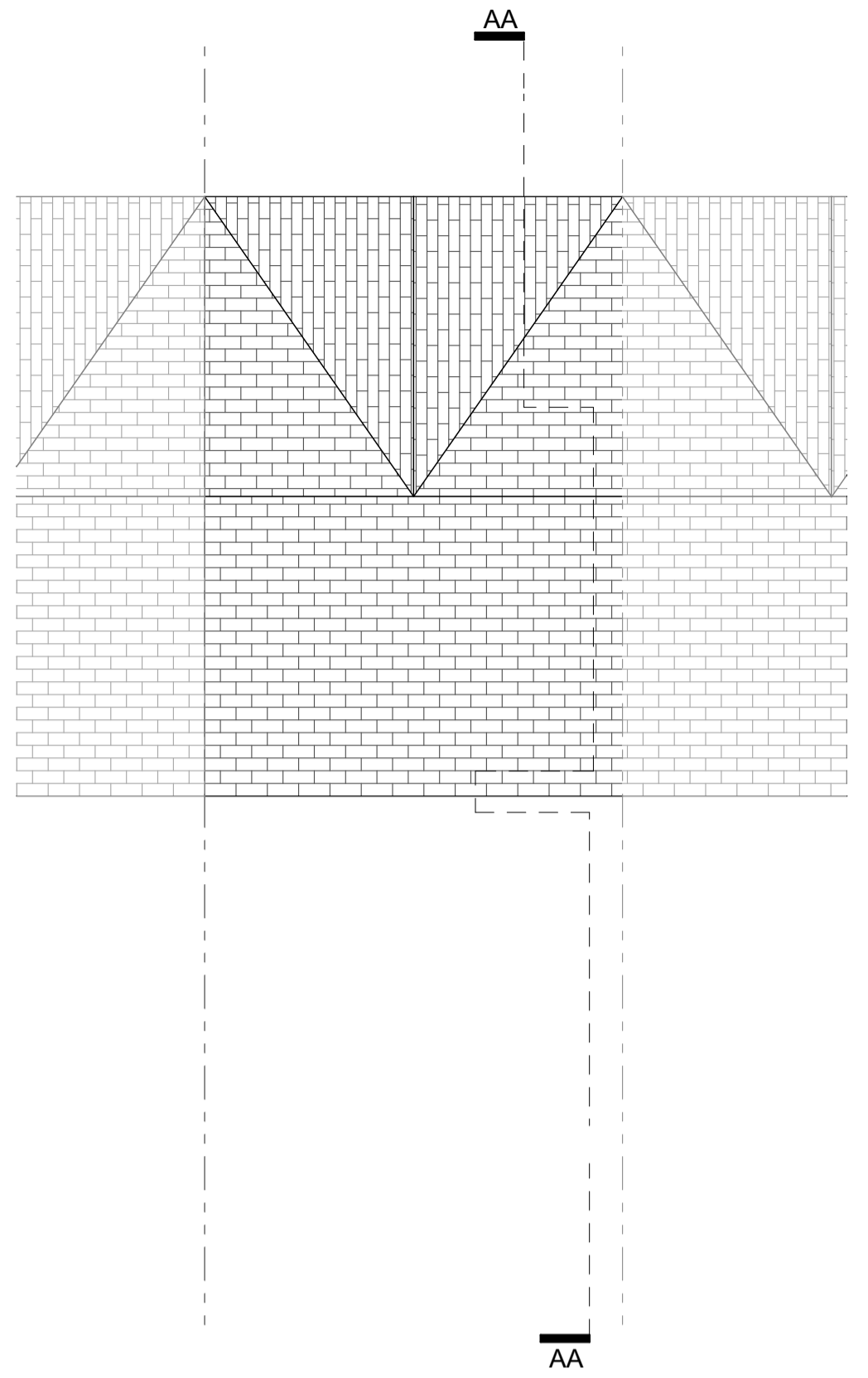
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



ROOF PLAN

Notes

Refer to Architects Site Plan Drawing PL02 for North orientation of each units and handing.

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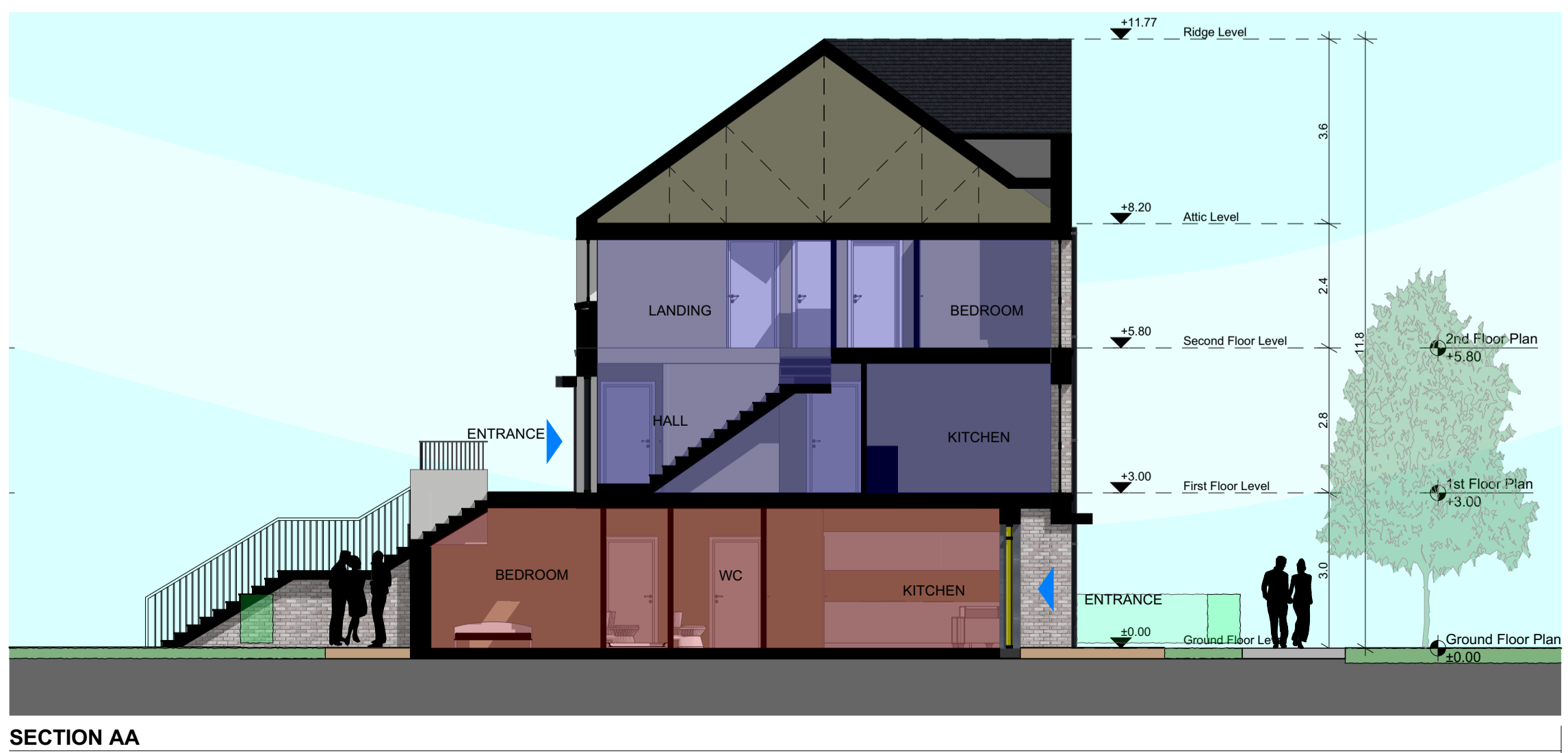
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REAR ELEVATION (EAST)



FRONT ELEVATION (HEDGEROW) - WEST



SECTION AA

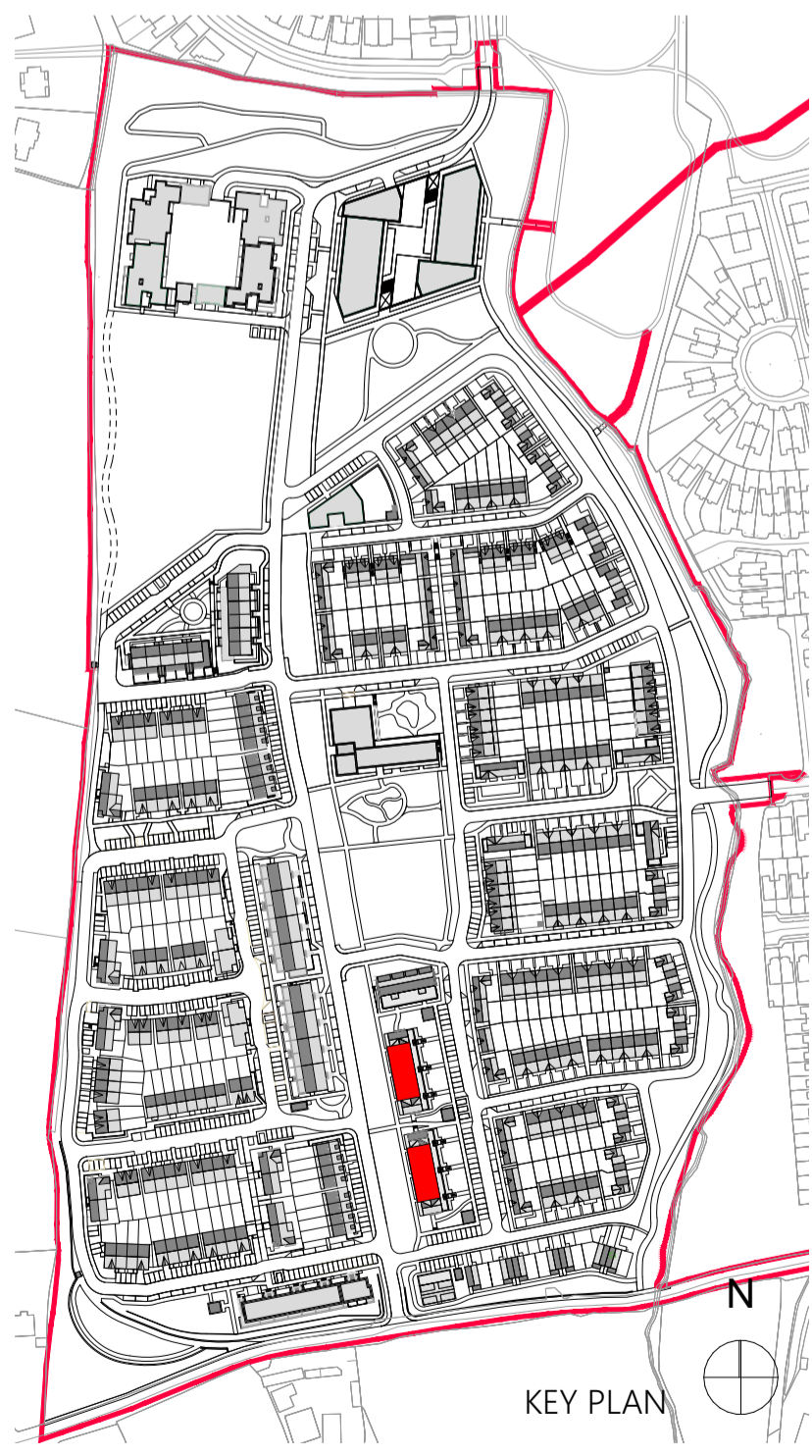
Duplex Block A - 2 Bed / 4 Person Unit - Ground Floor - Mid Terrace		
Name	Proposed Area	DoHPCLG Area Min.
Unit G1 - 2 Bed Unit	74.4 m ²	73.0 m ²
2 Bed / 4 Person Unit - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.8 m ²	24.4 m ²
Aggregate Living Area	30.0m ²	30.0 m ²
2 Bed / 4 Person Unit - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.6 m ²	6.0 m ²

Duplex Block A - 3 Bed / 5 Person Unit - First Floor - Mid Terrace		
Name	Proposed Area	DoHPCLG Area Min.
Unit G2 - 3 Bed Unit	111.75 m ²	90.0 m ²
3 Bed / 5 Person Unit - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	32.7 m ²	31.5 m ²
Aggregate Living Area	41.8 m ²	34.0 m ²
3 Bed / 5 Person Unit - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.5 m ²	9.0 m ²

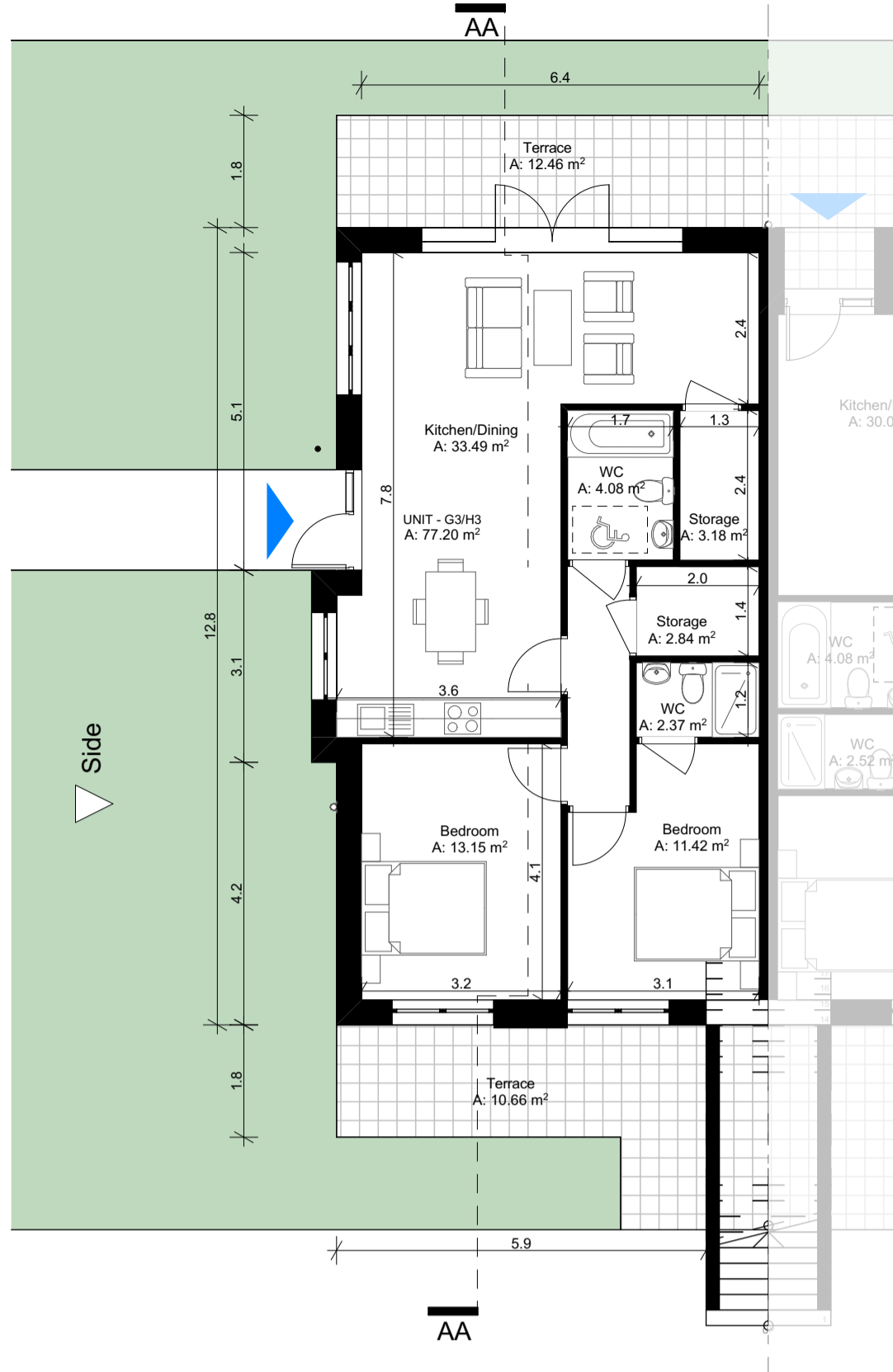
Refer to Site Plan for:

- Finished floor levels to survey datum
- Orientation
- Handing of type for each unit

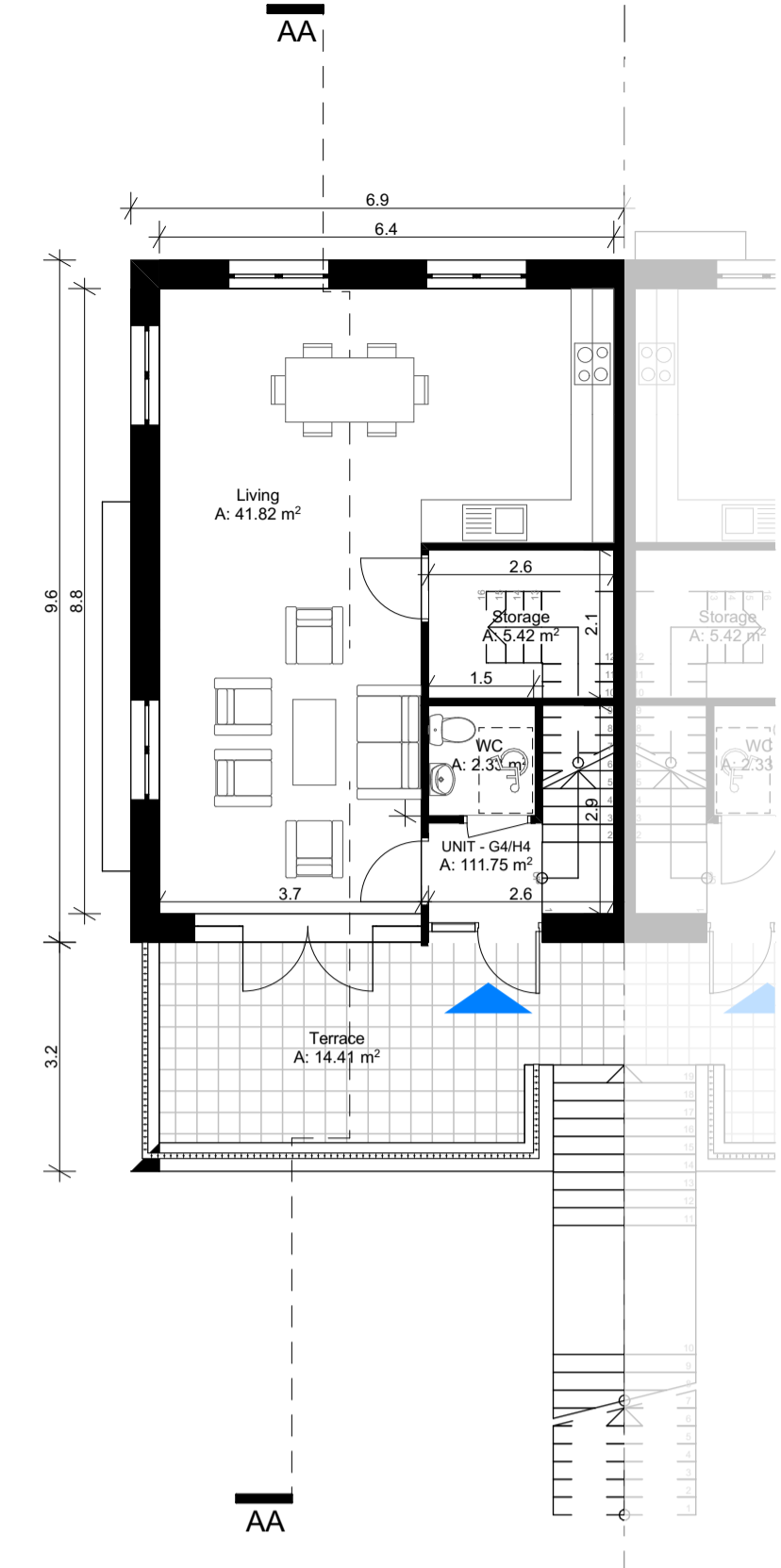
DUP-G/H



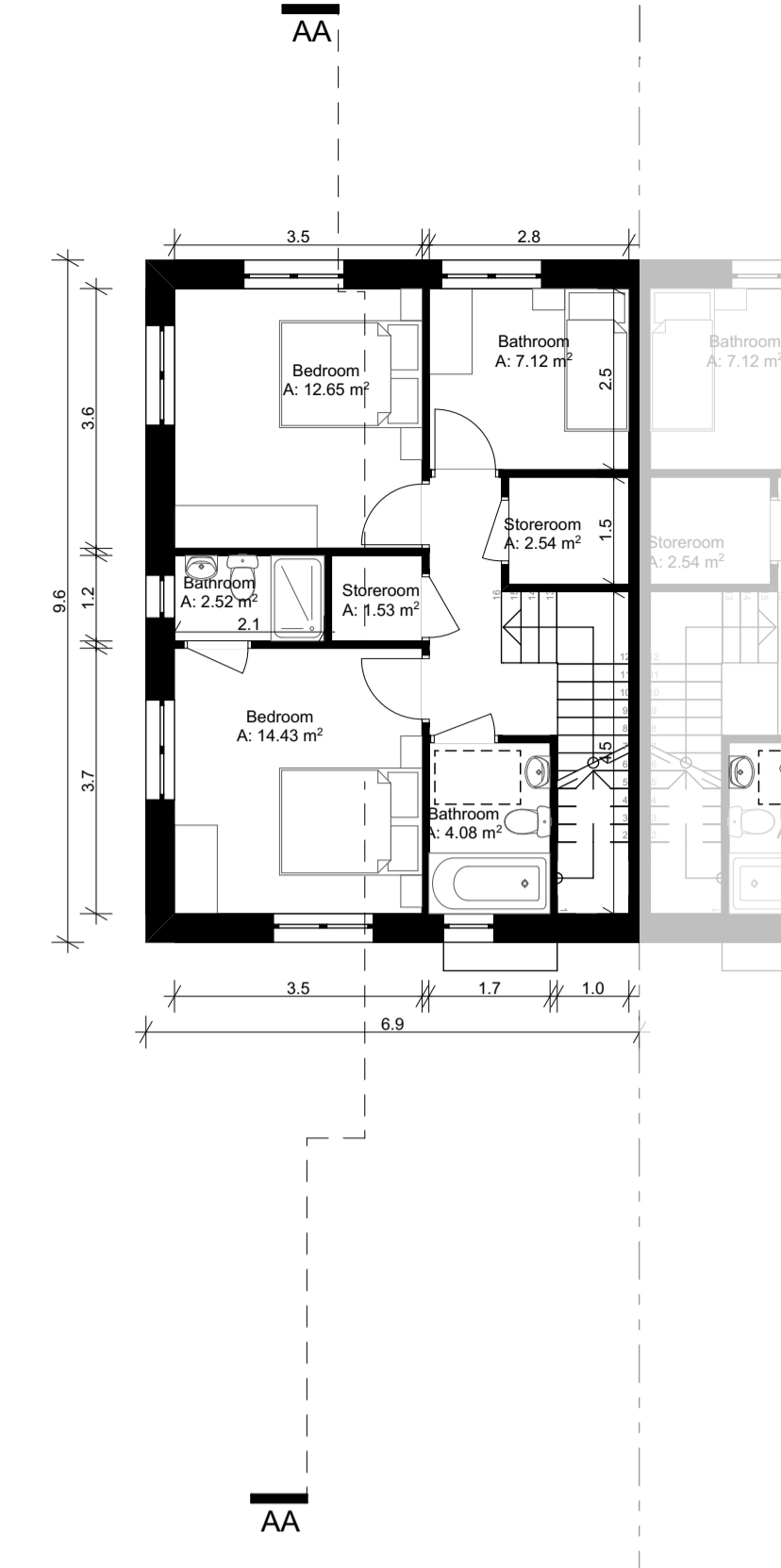
RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
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Layout ID: DUGH01 - DUPLEX BLOCK G&H MID TERRACE-	Scale: 1:100	Job No: D2006
Project: Boherboy	Series: PLANNING	Date: 21/03/2022
Drawing Name: FLOOR PLANS ELEVATIONS & SECTIONS	Status: Planning	



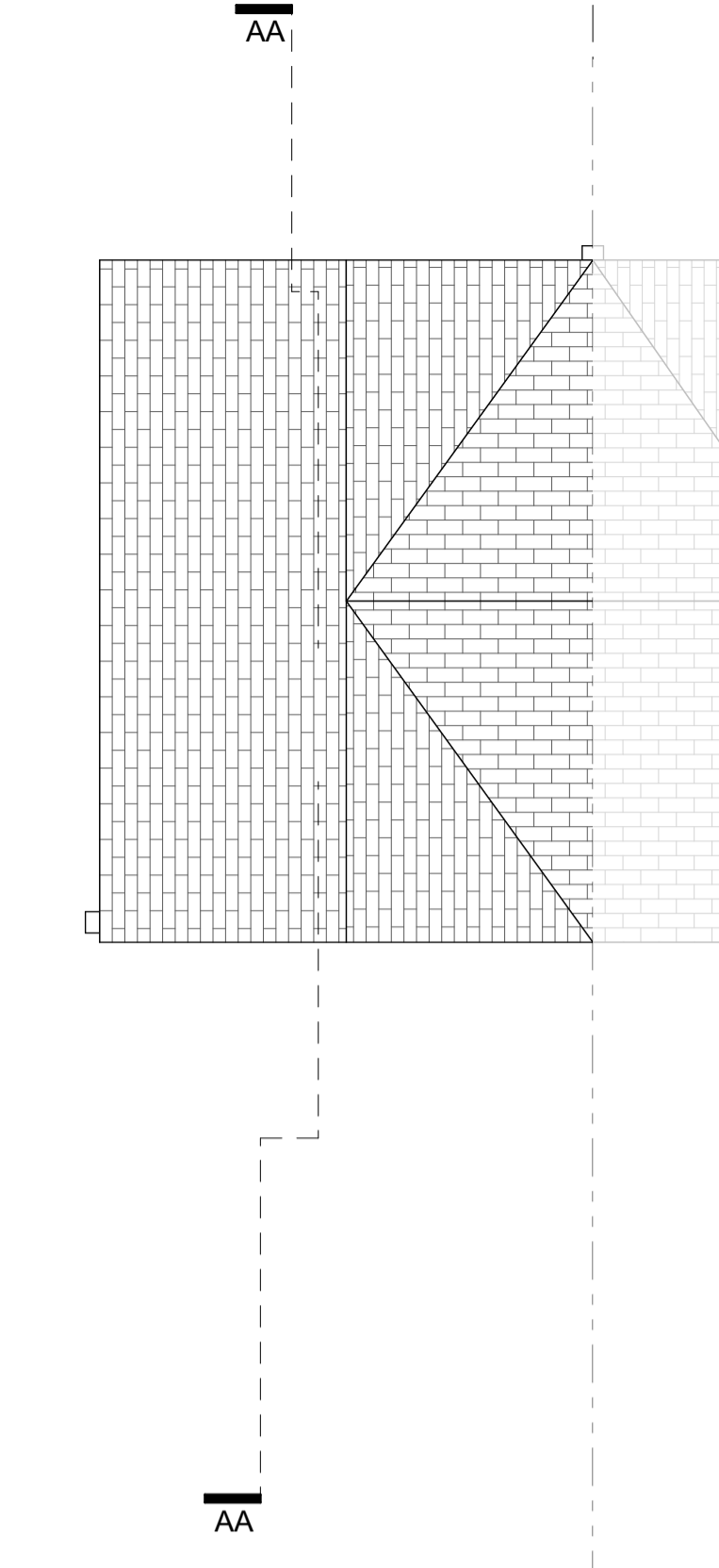
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



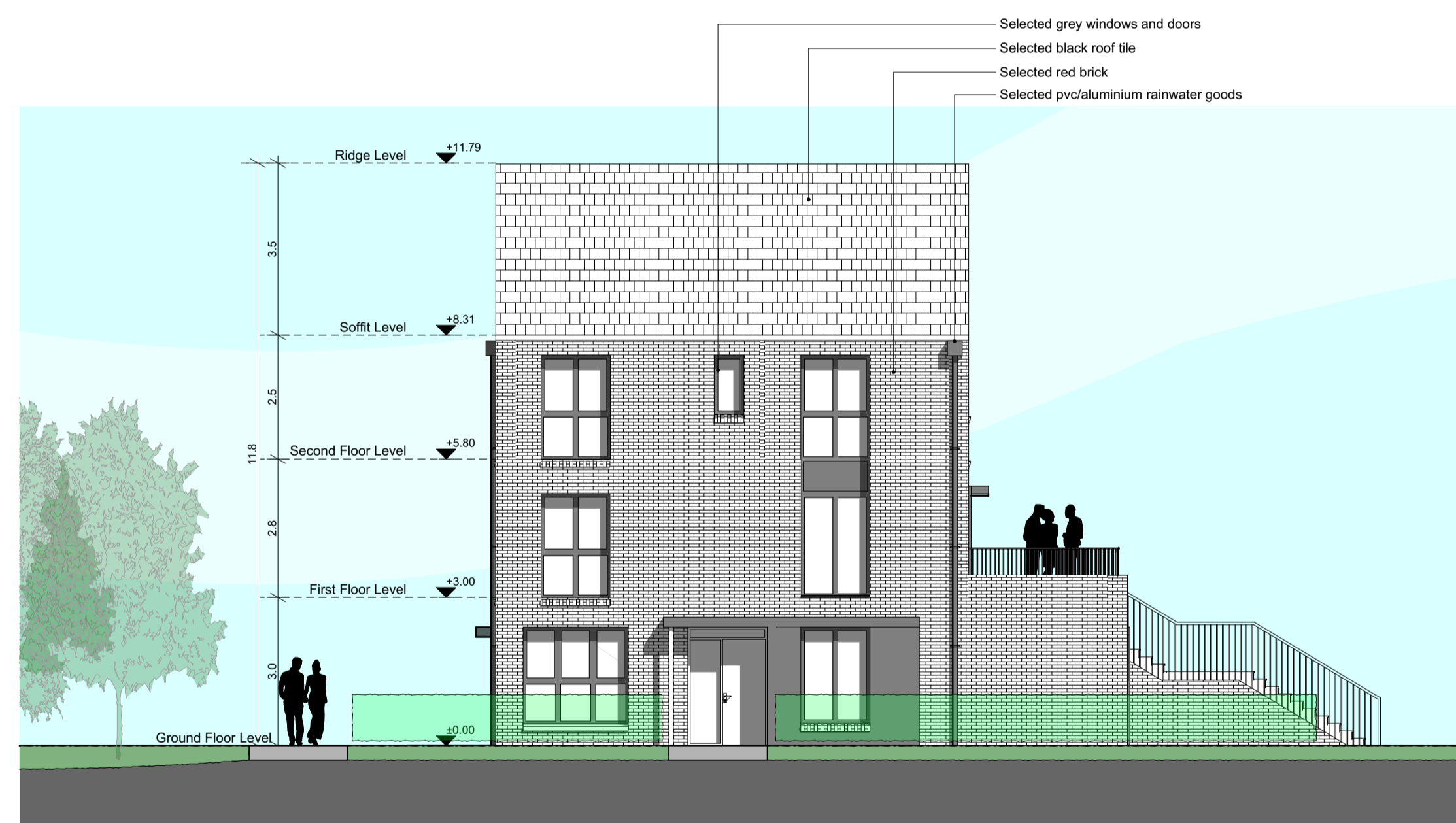
ROOF PLAN



PARK (EAST) ELEVATION



HEDGEROW ELEVATION



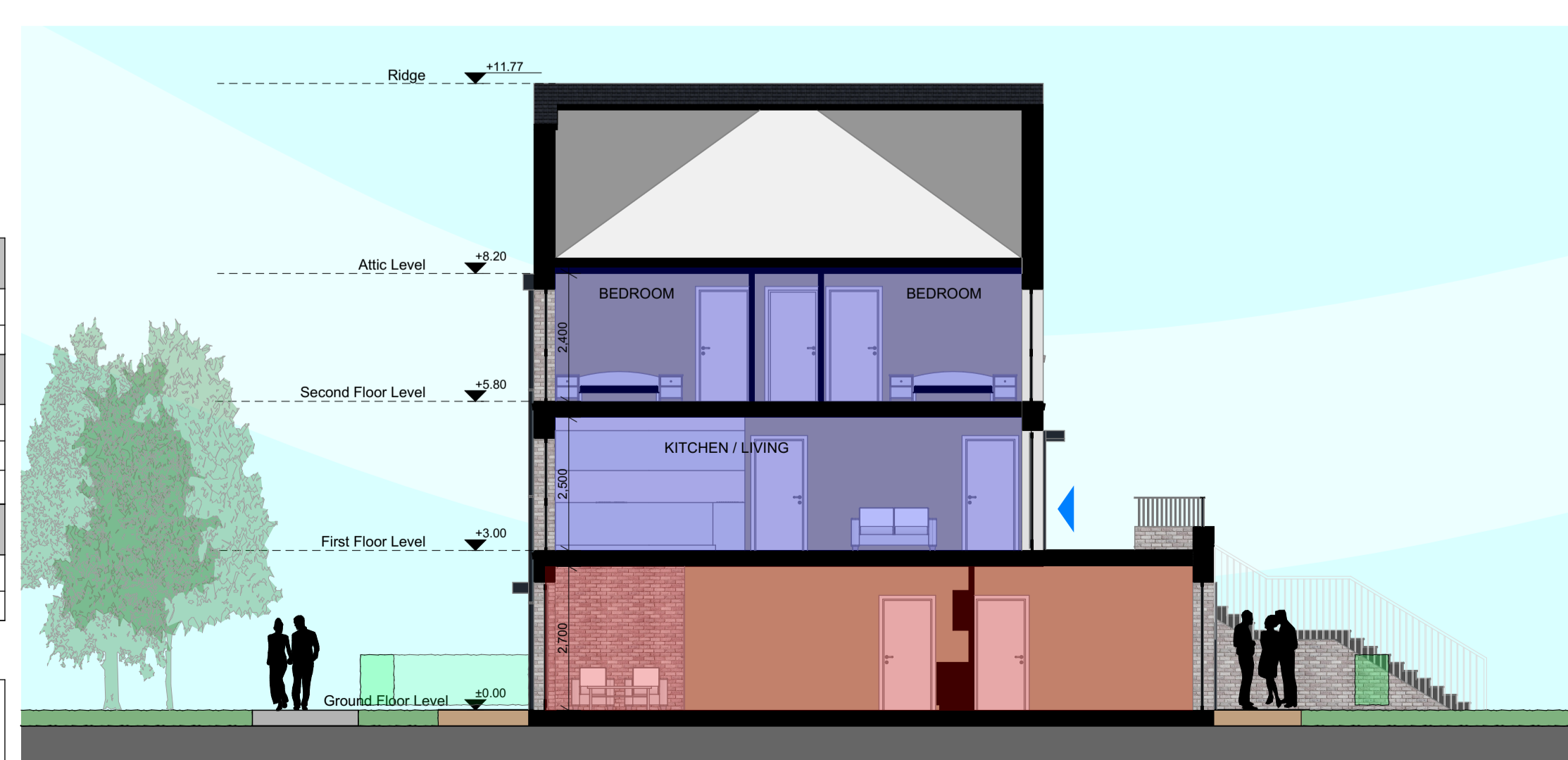
Elevation

Duplex Block - G - Unit G3 - Ground Floor (2 Bed) - End Entry		
Name	Proposed Area	DoHPCLG Area Min.
Unit G3- 2 Bed Unit	77.2 m ²	73.0 m ²
Unit G3 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.57 m ²	24.4 m ²
Aggregate Living Area	33.5 m ²	30.0 m ²
Unit G3 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²

Duplex Block - G - Unit G4 - First Floor (3 Bed) - End Type		
Name	Proposed Area	DoHPCLG Area Min.
Duplex Block D-G/H - 3 Bed Unit	111.75 m ²	90.0 m ²
Unit G4 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	34.2 m ²	31.5 m ²
Aggregate Living Area	41.8 m ²	34.0 m ²
Unit G4 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.5 m ²	9.0 m ²

Refer to Site Plan for:

- Finished floor levels to survey datum
- Orientation
- Handing of type for each unit



CROSS SECTION

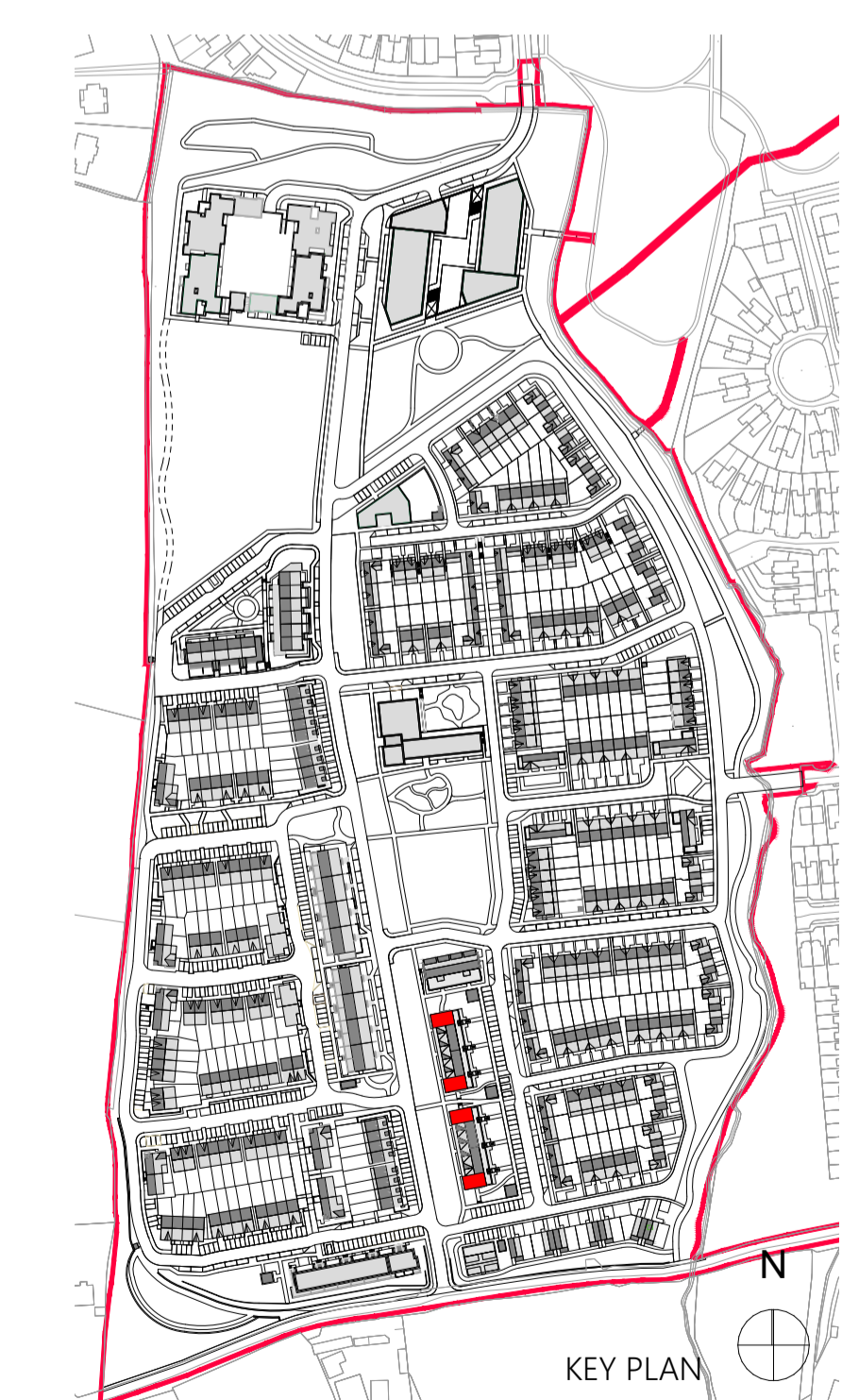
Notes

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Levels on unit type drawings are given relative to 0.00 FFL of the unit type. Refer to Architects Site Plan Drawing PL02 for specific FFLs of each unit relative to Main Head datum level.

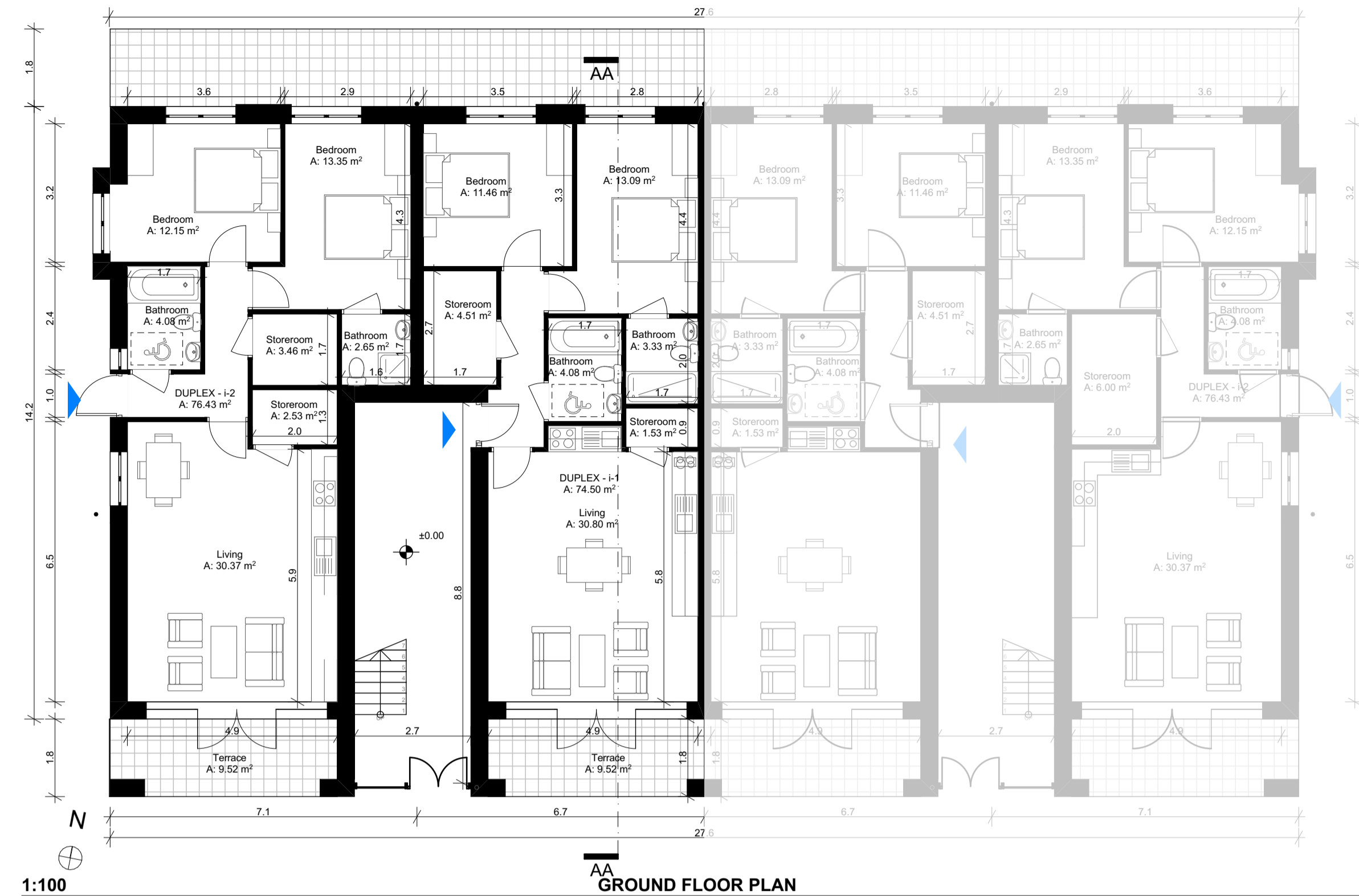
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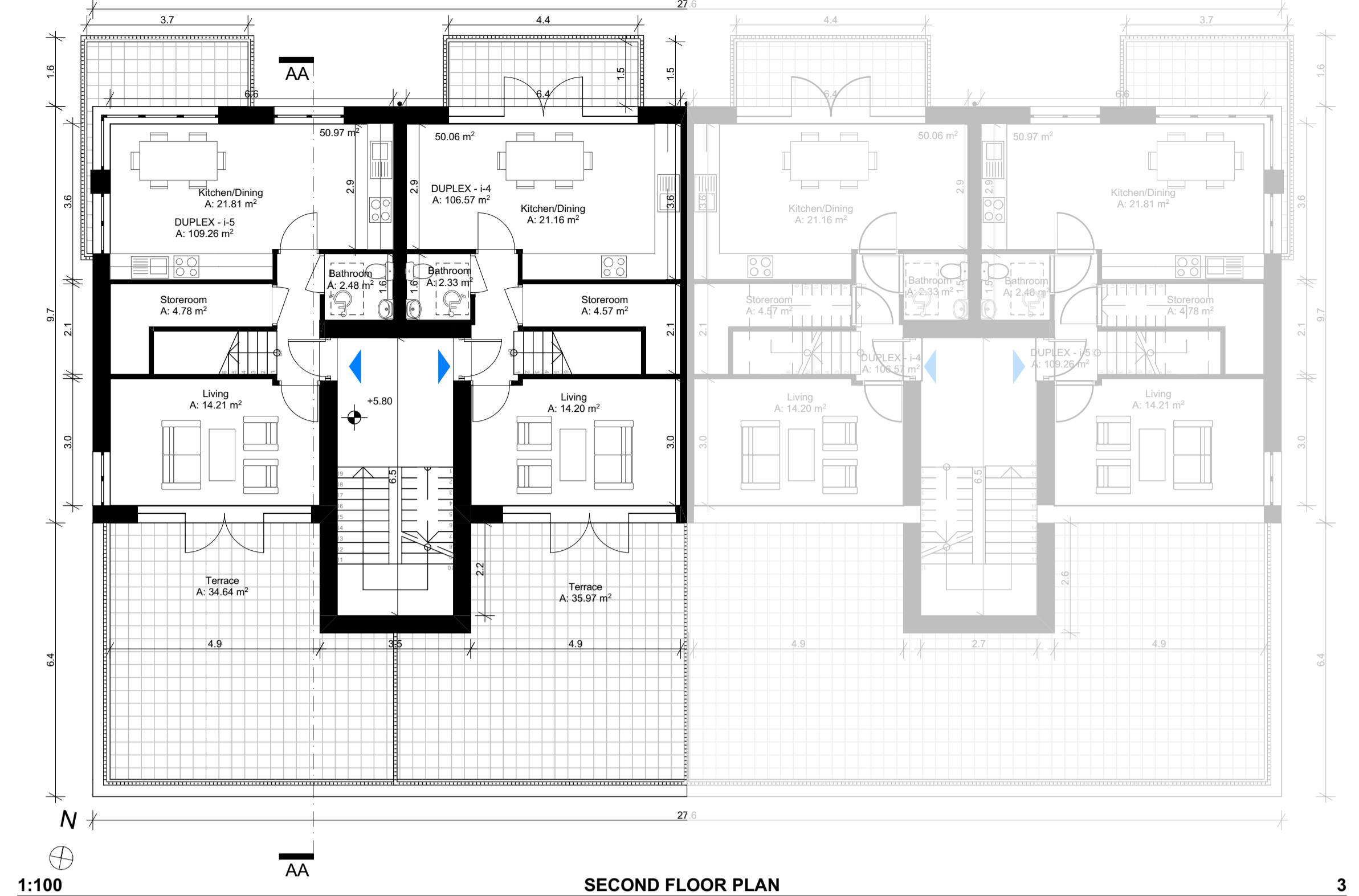


DUP-G/H END TYPE

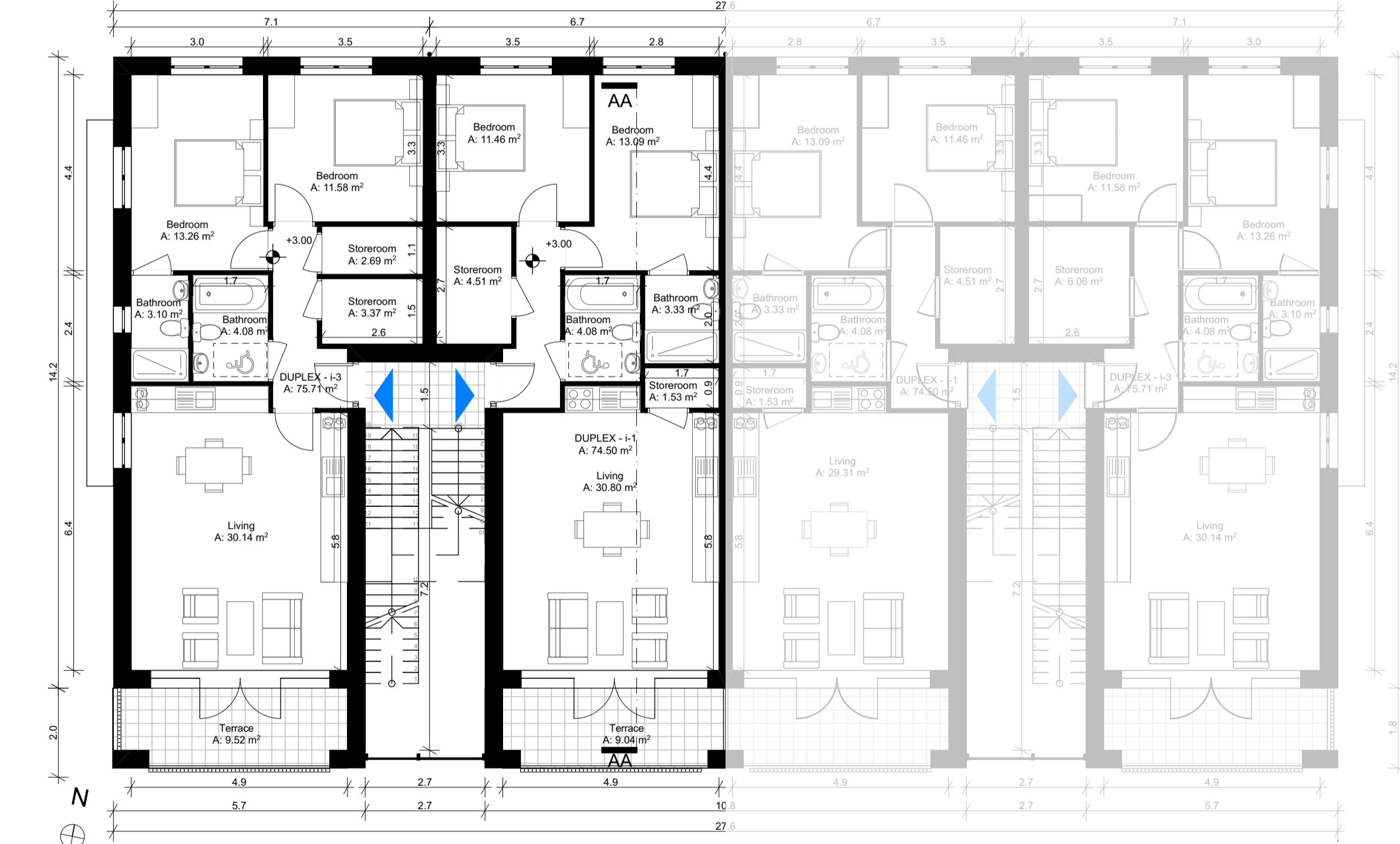
RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
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<small>Layout ID: DUGH02 - DUPLEX BLOCK G+H END UNIT-</small>		
<small>Project: Boherboy</small>		
<small>Drawing Name: Floor Plans sections & elevations</small>		
Scale: 1:100, 1:3.45	Job No: D2006	Series: PLANNING
Date: 21/03/2022	Status: Planning	



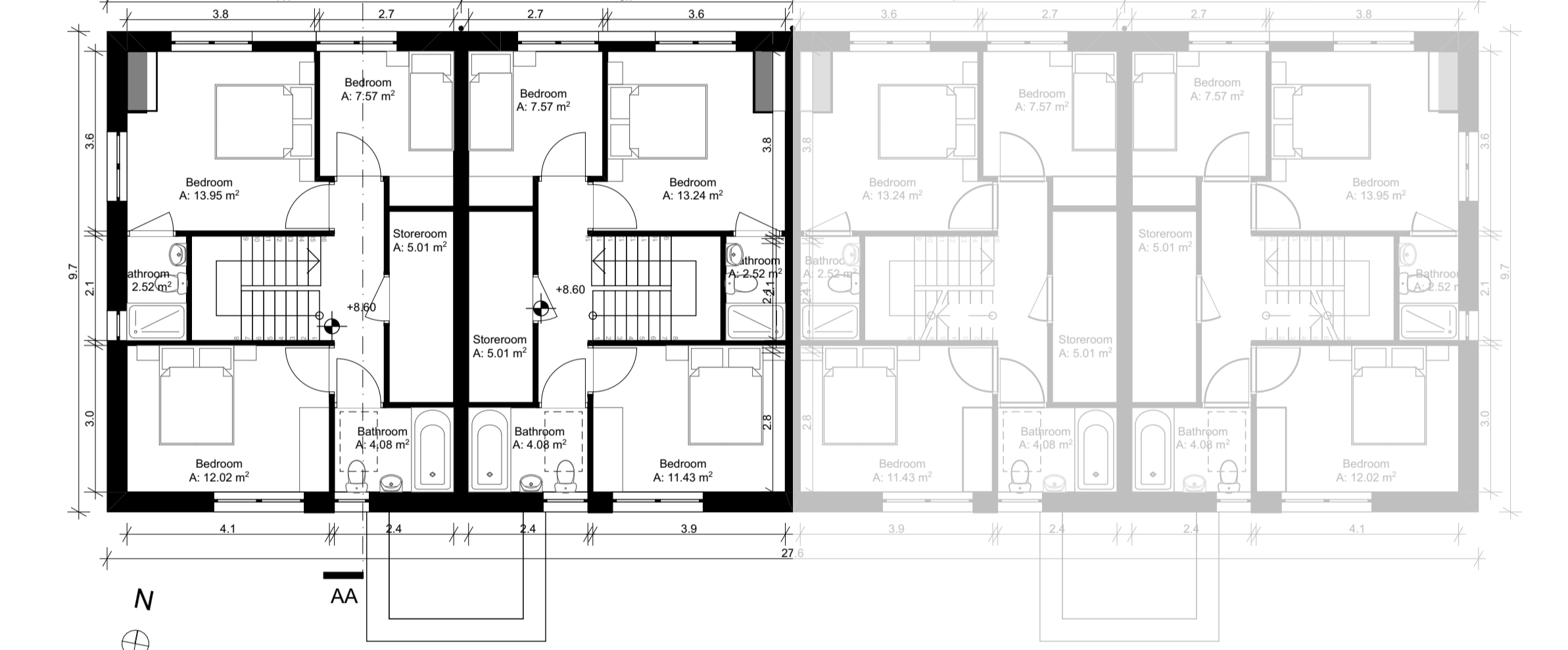
GROUND FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



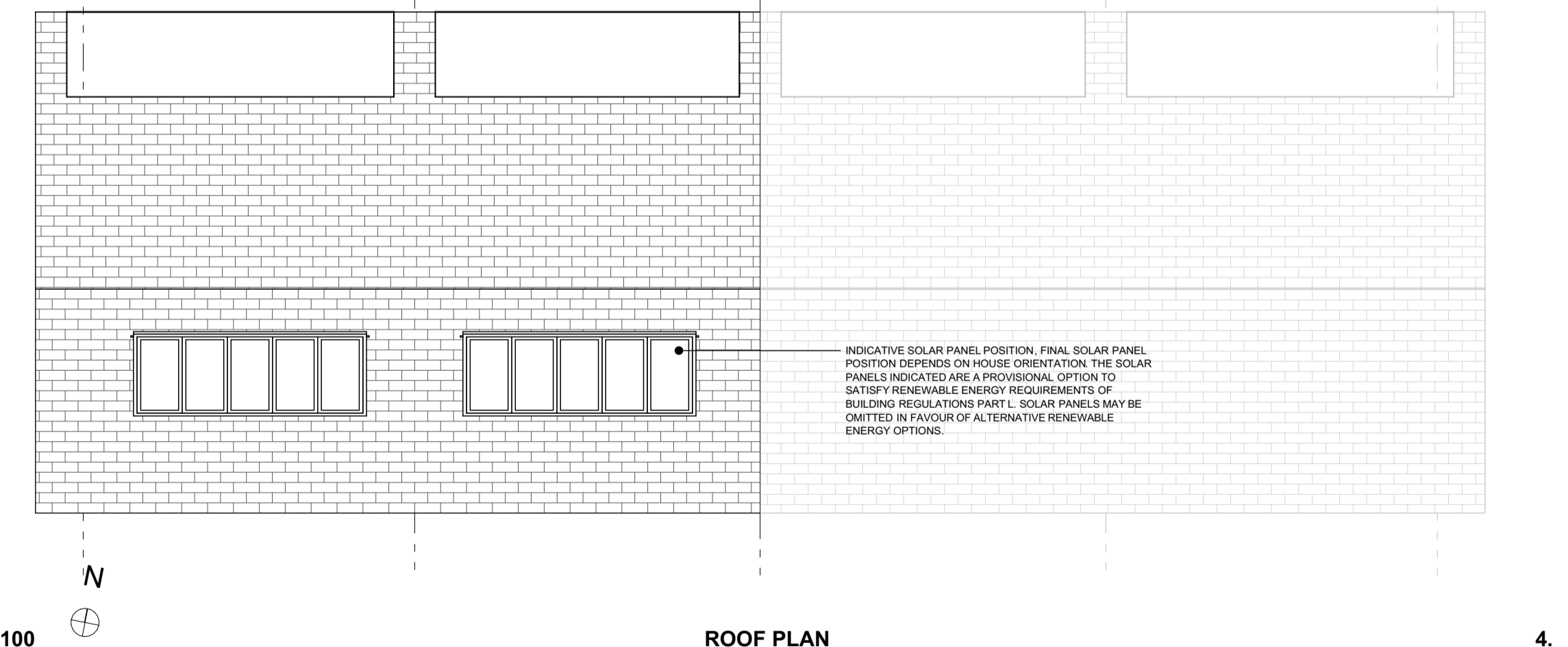
THIRD FLOOR PLAN

Duplex Block i - Unit i1 - Mid Toe (2 Bed)		
Name	Proposed Area	DoHPCLG Area Min.
Unit i1 - 2 Bed Unit	74.5 m ²	73.0 m ²
Unit i1 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.6 m ²	24.4 m ²
Aggregate Living Area	30.0 m ²	30.0 m ²
Unit i1 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²

Duplex Block i - Unit i3 - First Floor - End Type (2 Bed)		
Name	Proposed Area	DoHPCLG Area Min.
Unit i3 - 2 Bed Unit	75.7 m ²	73.0 m ²
Unit i3 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	24.8 m ²	24.4 m ²
Aggregate Living Area	30.1 m ²	30.0 m ²
Unit i3 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²

Duplex Block i - Unit i2 - Ground Floor - End Type (2 Bed)		
Name	Proposed Area	DoHPCLG Area Min.
Unit i2 - 2 Bed Unit	76.4 m ²	73.0 m ²
Unit i2 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	25.5 m ²	24.4 m ²
Aggregate Living Area	30.4 m ²	30.0 m ²
Unit i2 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	6.0 m ²	6.0 m ²

Duplex Block i - Unit i4 - Second Floor - Mid Toe (3 Bed)		
Name	Proposed Area	DoHPCLG Area Min.
Unit i4 - 3 Bed Unit	106.6 m ²	90.0 m ²
Unit i4 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	32.2 m ²	31.5 m ²
Aggregate Living Area	35.4 m ²	34.0 m ²
Unit i4 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.6 m ²	9.0 m ²



ROOF PLAN

Duplex Block i - Unit i5 - Second Floor - Mid Toe (3 Bed)		
Name	Proposed Area	DoHPCLG Area Min.
Unit i5 - 3 Bed Unit	109.3 m ²	90.0 m ²
Unit i5 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	33.5 m ²	31.5 m ²
Aggregate Living Area	36.0 m ²	34.0 m ²
Unit i5 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.8 m ²	9.0 m ²

Notes

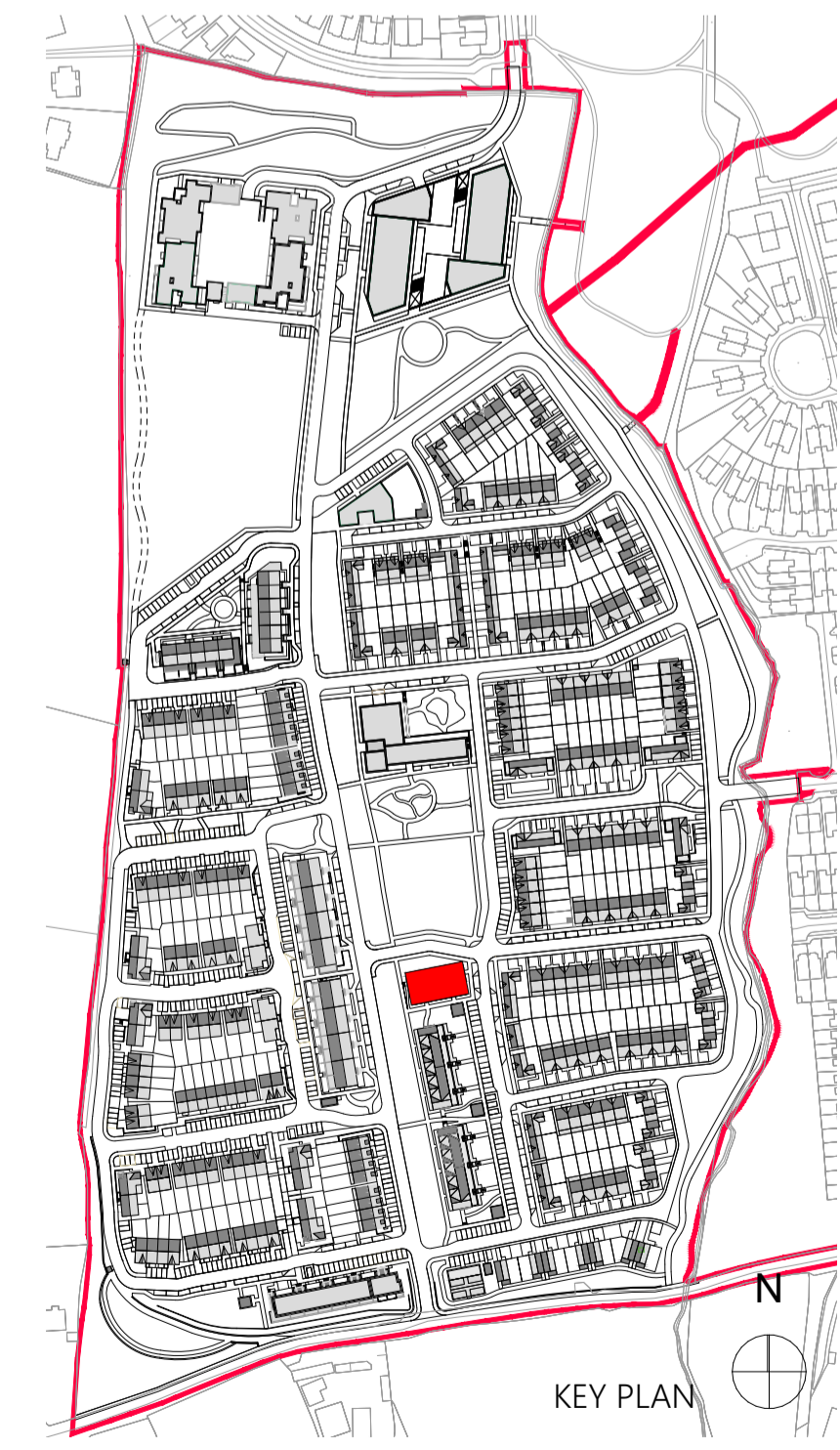
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DUP-I



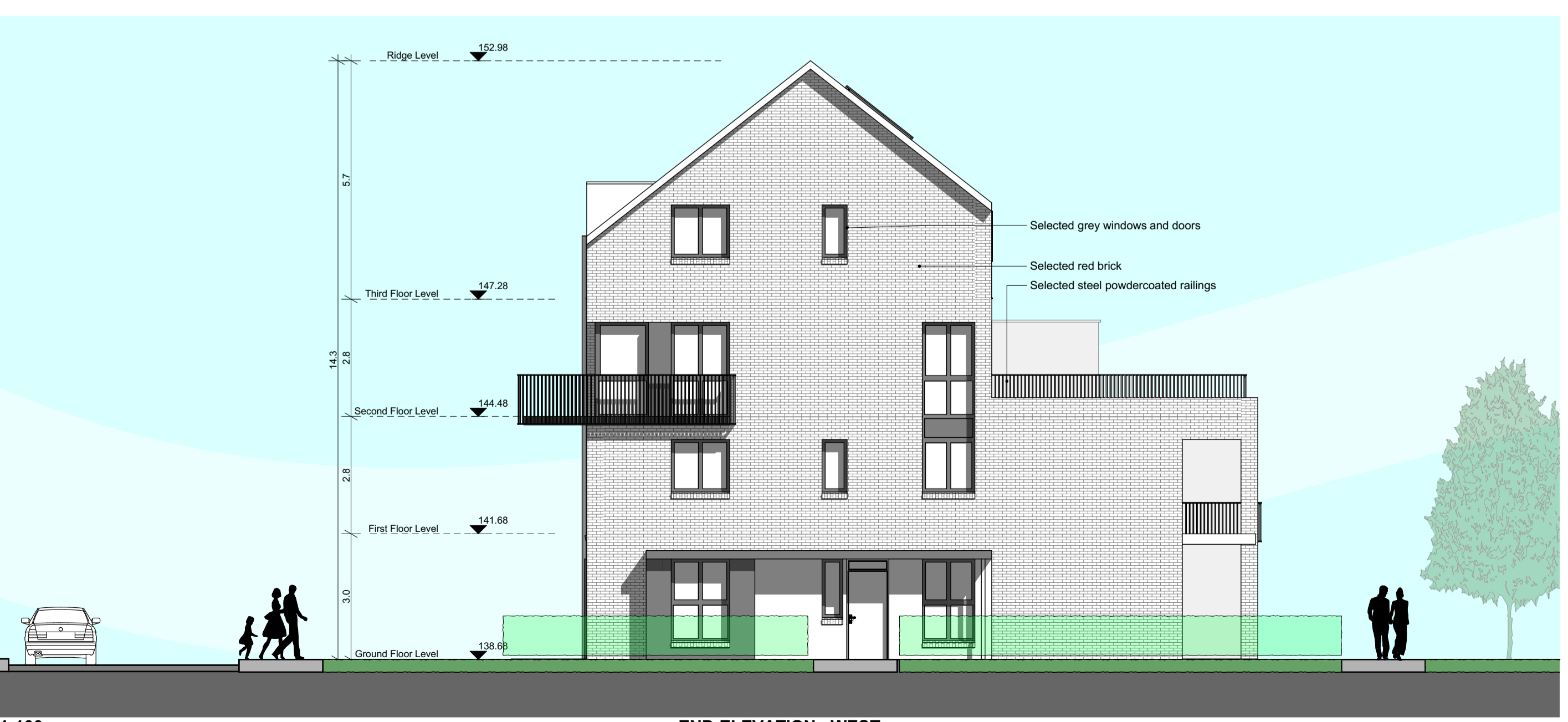
RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
<small>DAVEY+SMITH ARCHITECTS 13 SEAPORT BUILDING, 44/45 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447638 EMAIL: info@davey-smith.com WEB: www.davey-smith.com</small>		
<small>Layout ID: DUP101 - DUPLEX BLOCK I-</small> <small>Project: Boherboy</small> <small>Drawing Name: Floor Plans</small>	<small>Scale: AS SHOWN</small> <small>Job No: D2006</small> <small>Series: PLANNING</small> <small>Date: 21/03/2022</small> <small>Status: Planning</small>	<small>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS DRAWINGS - NOTIFY ARCHITECTS OF ANY DISCREPANCIES - CHECK DIMENSIONS ON SITE - USE FIGURED DIMENSIONS ONLY - COPYRIGHT RESERVED FOR DAVEY + SMITH ARCHITECTS LTD</small>



1:100 PARKSIDE ELEVATION - NORTH



1:100 REAR ELEVATION - SOUTH



1:100 END ELEVATION - WEST

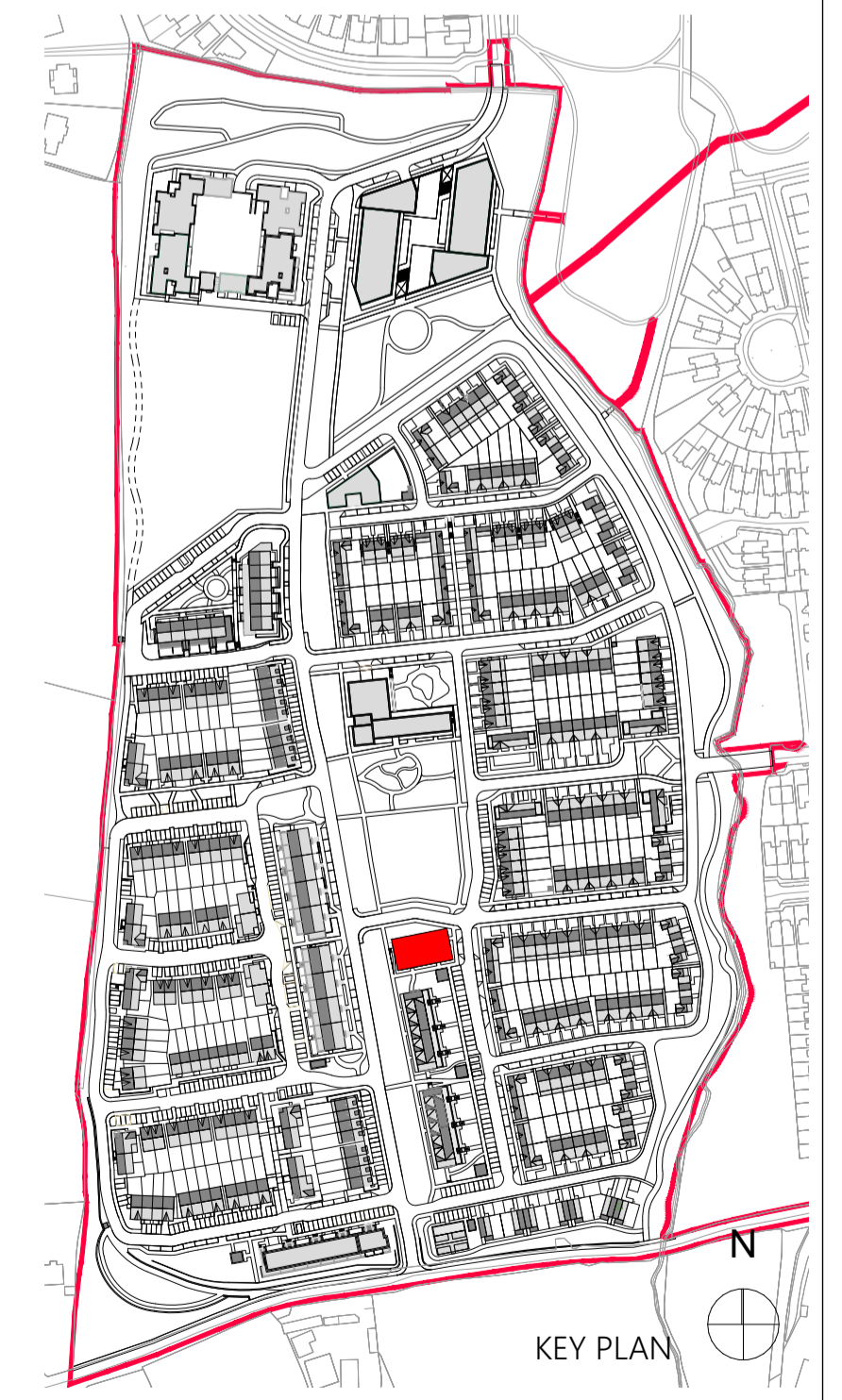
Notes

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WALLS:	SELECTED CLAY BRICKWORK WHERE INDICATED OTHERWISE SELECTED SELF-COLOURED RENDER
JOINERY:	ALL WINDOWS AND DOORS, FRAMES AND LEAFS TO BE ALUMINIUM POWDER COATED TO APPROVED COLOUR OR UPVC OR PAINTED TIMBER TO APPROVED COLOUR. OBSCURE GLAZING WHERE INDICATED TO SENSITIVE
WINDOWS:	
RAINWATER GOODS:	GUTTERS, DOWNPIPES AND FIXINGS TO BE UPVC OR ALUMINIUM POWDER COATED TO SELECTED COLOUR TO MATCH ROOF SLATES.
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DUP-I

RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
<small>DAVEY+SMITH ARCHITECTS 13 SEAPPOINT BUILDING, 4445 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447658 EMAIL: info@davey-smith.com WEB: www.davey-smith.com</small>		
Layout ID: DUPI02 - DUPLEX BLOCK I-	Scale: AS SHOWN	Job No: D2006
Project: Boherboy	Series: PLANNING	Date: 21/03/2022
Drawing Name: Sections, Elevations	Status: Planning	

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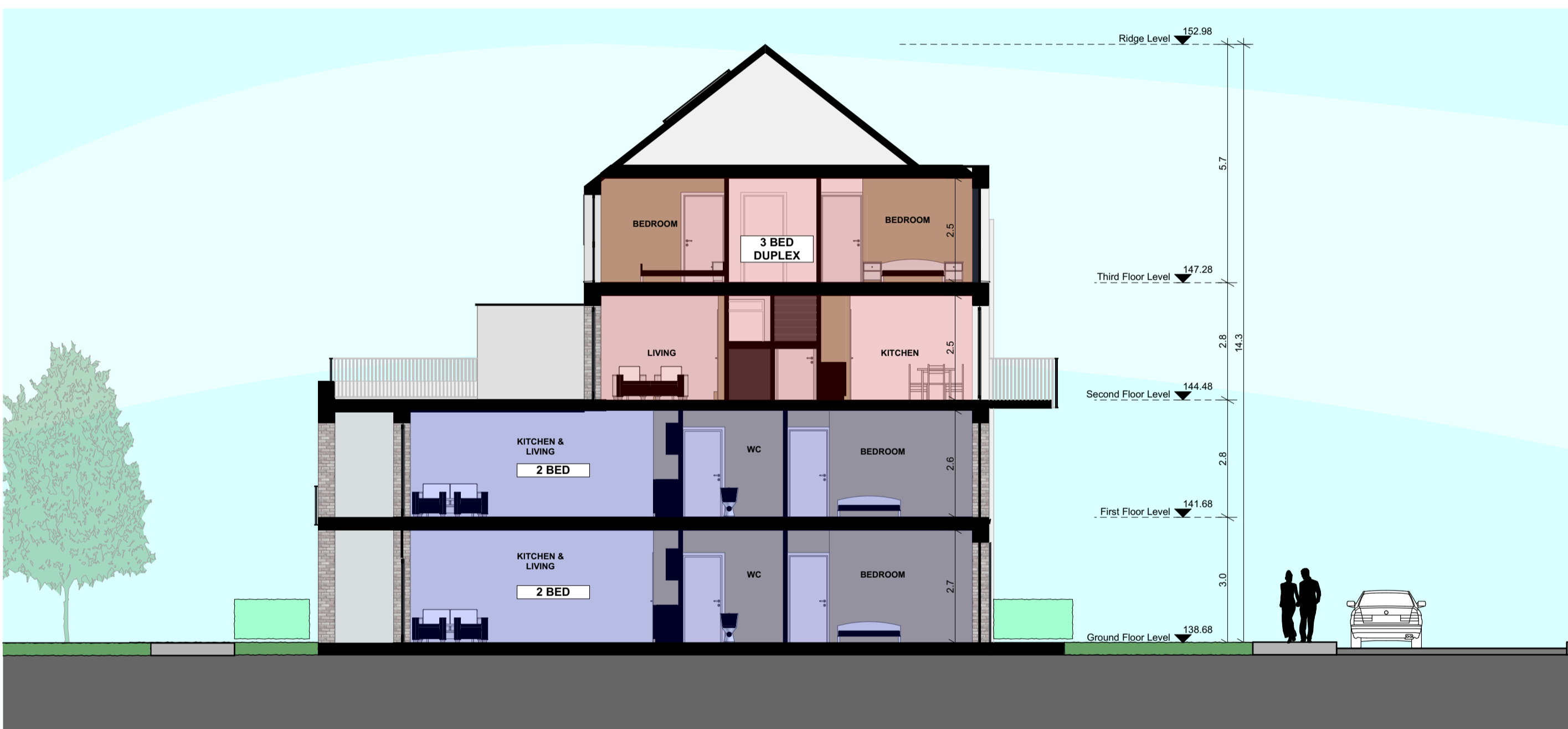
Notes

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1:100 CROSS SECTION AA



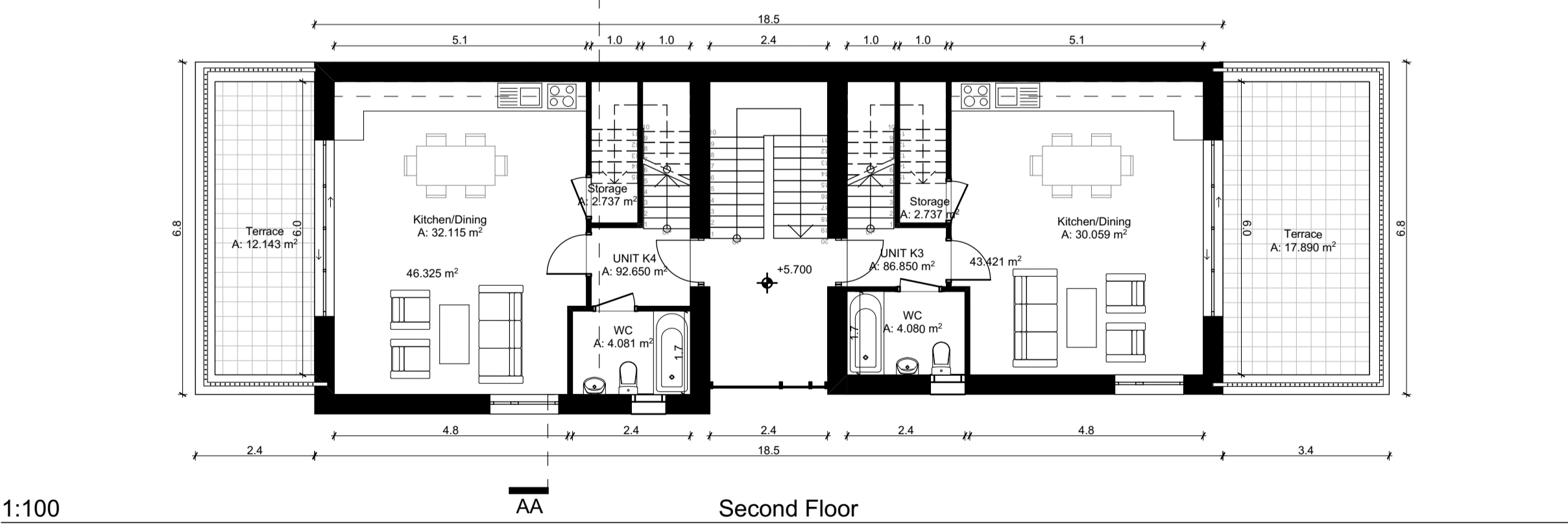
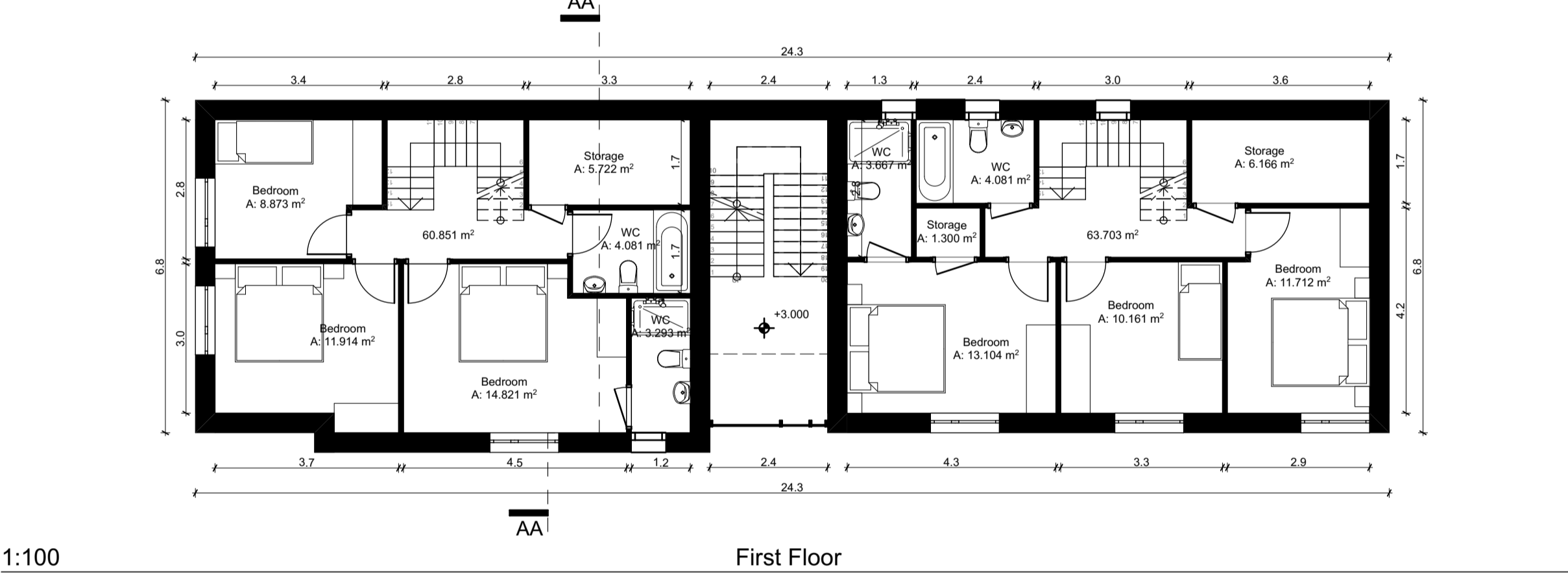
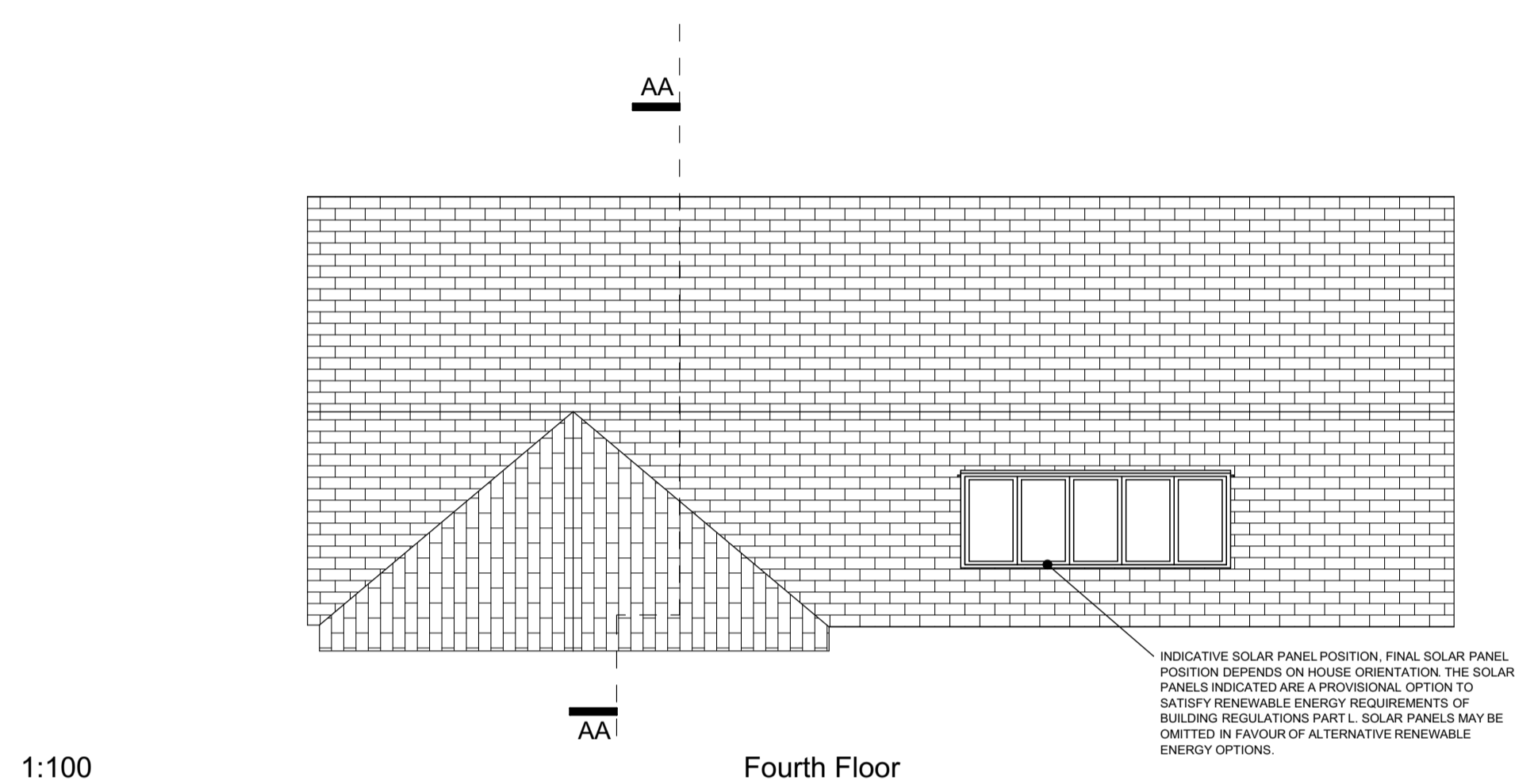
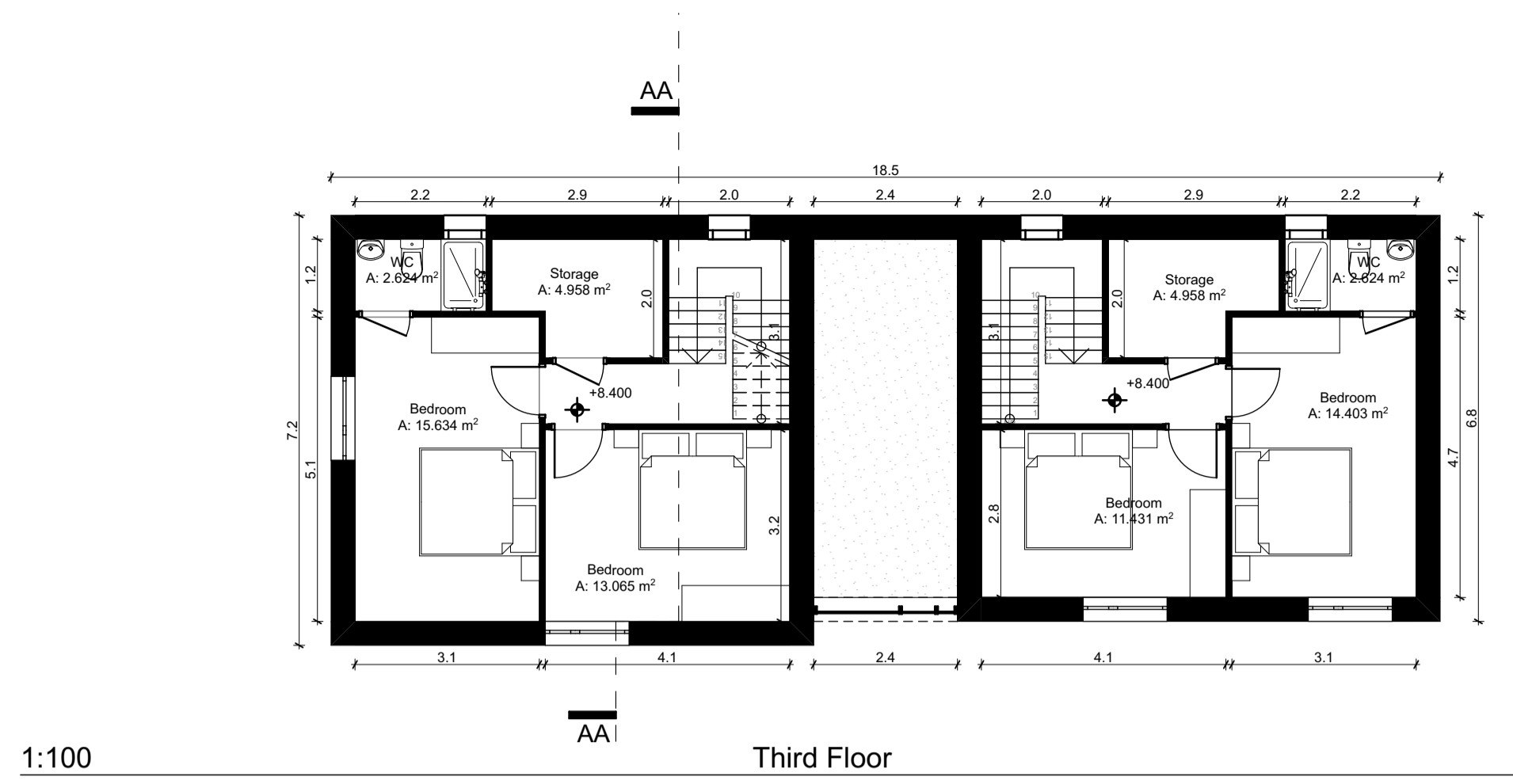
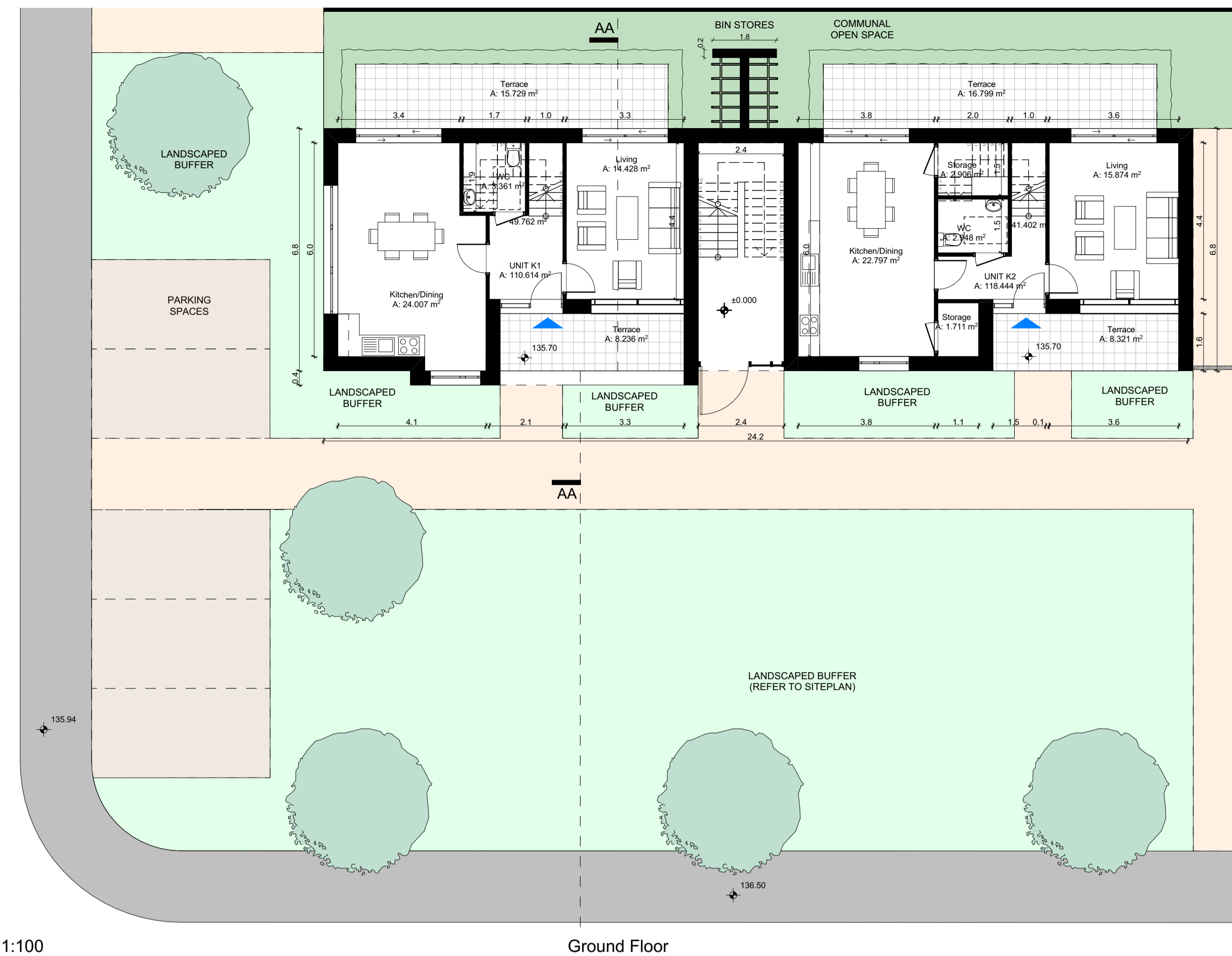
1:100 END ELEVATION - EAST



DUP-I

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Layout ID: DUPI03-	Scale: AS SHOWN	Job No: D2006
Project: Boherboy	Series: PLANNING	Date: 21/03/2022
Drawing Name: DUPLEX BLOCK I Sections , Elevations	Status: Planning	

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SCHEDULE OF ACCOMODATION				
Floor	Duplex Unit	Beds	Quantity	Net Area
Ground Floor	UNIT K2	3 BED	1	118.44
	UNIT K1	3 BED	1	110.61
			2	229.05 m ²
Second Floor	UNIT K4	2 BED	1	92.65
	UNIT K3	2 BED	1	86.85
			2	179.50 m ²
			4	408.55 m ²

Duplex Unit K3		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K3 - 2 Bed Unit	86.8 m ²	73.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	25.8 m ²	24.4 m ²
Aggregate Living Area	30.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	7.6 m ²	6.0 m ²

Duplex Unit K1		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K1 - 3 Bed Unit	110.6 m ²	90.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	35.6 m ²	31.5 m ²
Aggregate Living Area	38.4 m ²	34.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.0 m ²	9.0 m ²

Duplex Unit K2		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K2 - 3 Bed Unit	118.4 m ²	90.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	34.9 m ²	31.5 m ²
Aggregate Living Area	38.6 m ²	34.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	12.0 m ²	9.0 m ²

Duplex Unit K4		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K4 - 2 Bed Unit	92.6 m ²	73.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	28.7 m ²	24.4 m ²
Aggregate Living Area	32.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	7.6 m ²	6.0 m ²

Notes

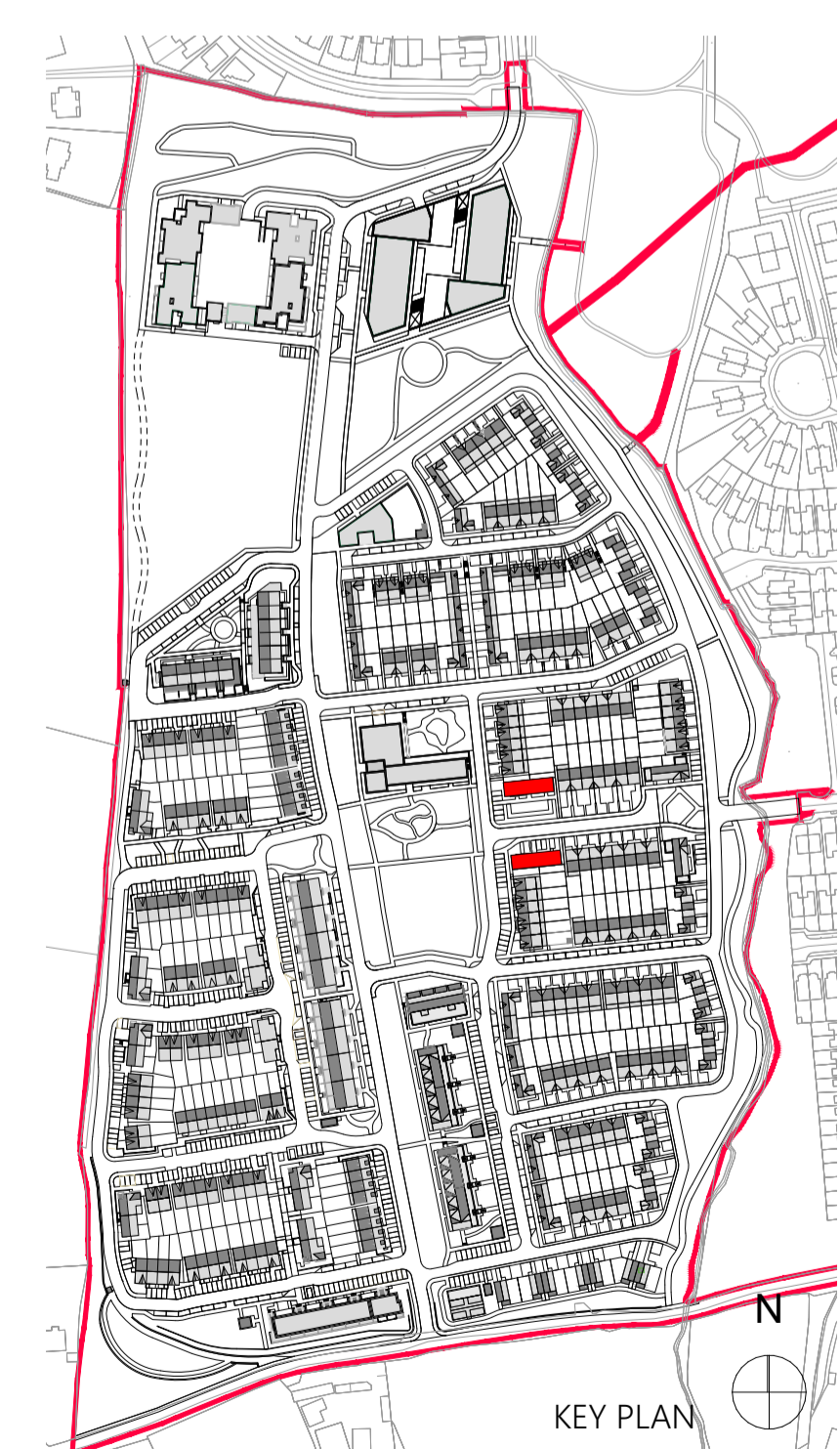
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DUP-K



RAI Planning Application **DAVEY + SMITH ARCHITECTS**

DAVEY+SMITH ARCHITECTS | 13 SEAPORT BUILDING, 44/45 CLONTARF ROAD, CLONTARF, DUBLIN 3 | PH: 01 2447638 | EMAIL: info@davey-smith.com | WEB: www.davey-smith.com

Layout ID: **DUPK01 - DUPLEX BLOCK K-** Scale: **AS SHOWN**

Project: **Boherboy** Job No: **D2006**

Drawing Name: **Plans, Elevations, Sections** Series: **PLANNING**

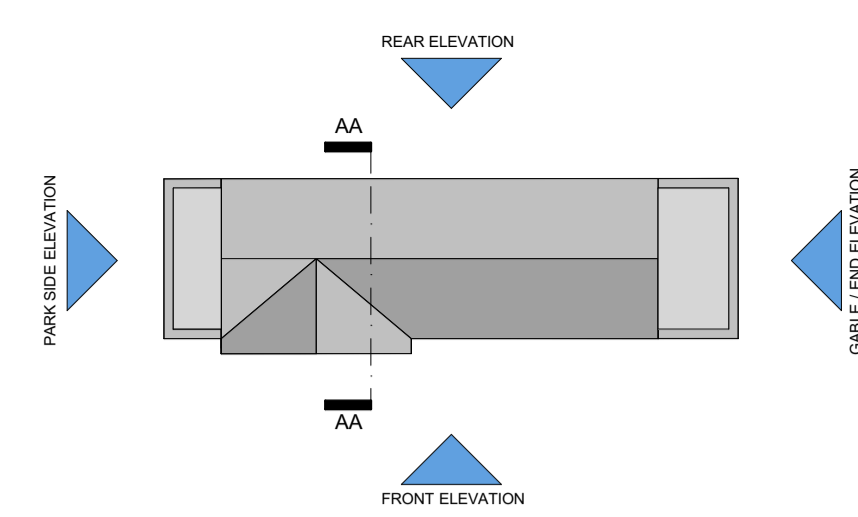
Date: **21/03/2022** Status: **Planning**

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- Selected black roof tile
- Selected red brick
- Selected powdercoated black railings
- Selected grey windows and doors



1:100 Front Elevation

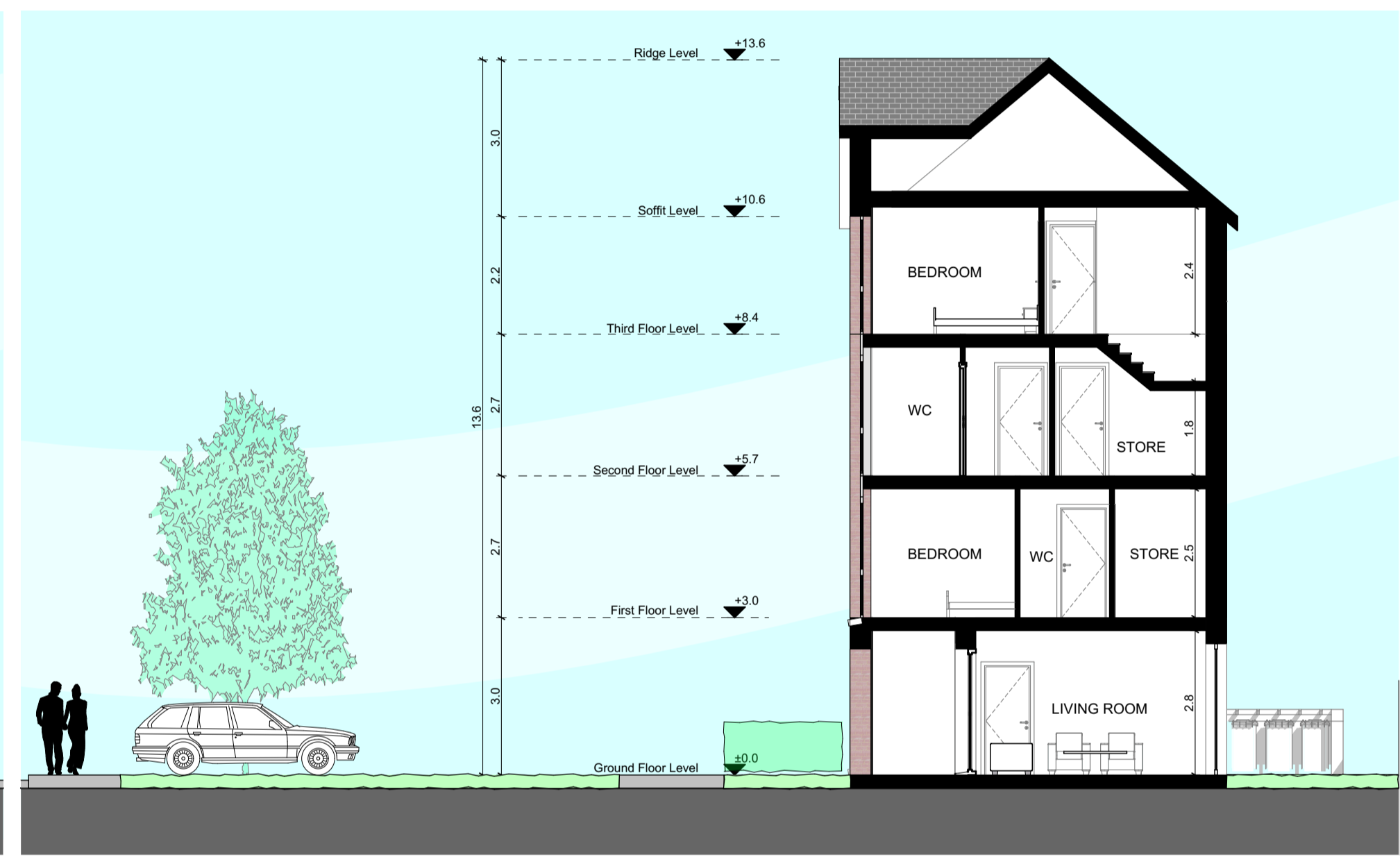
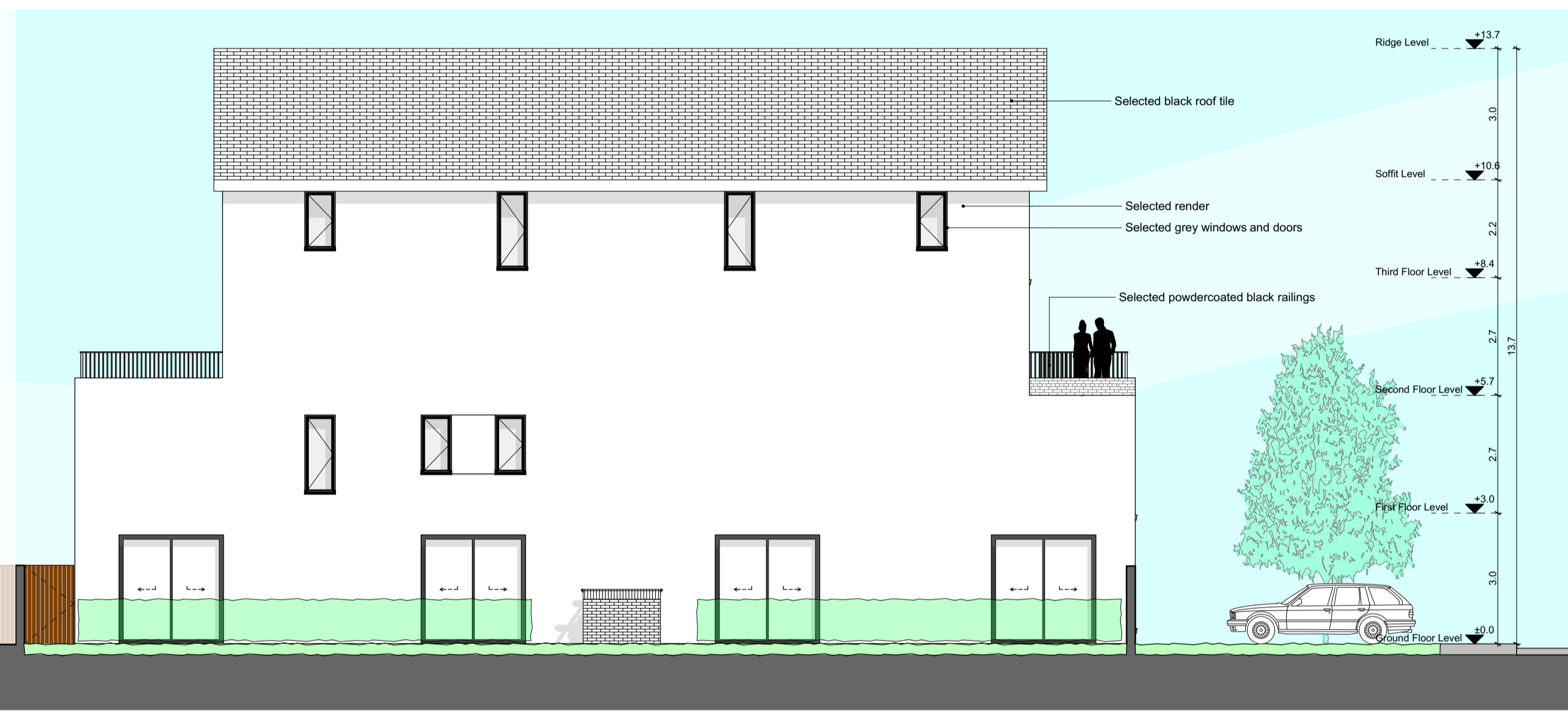
Notes

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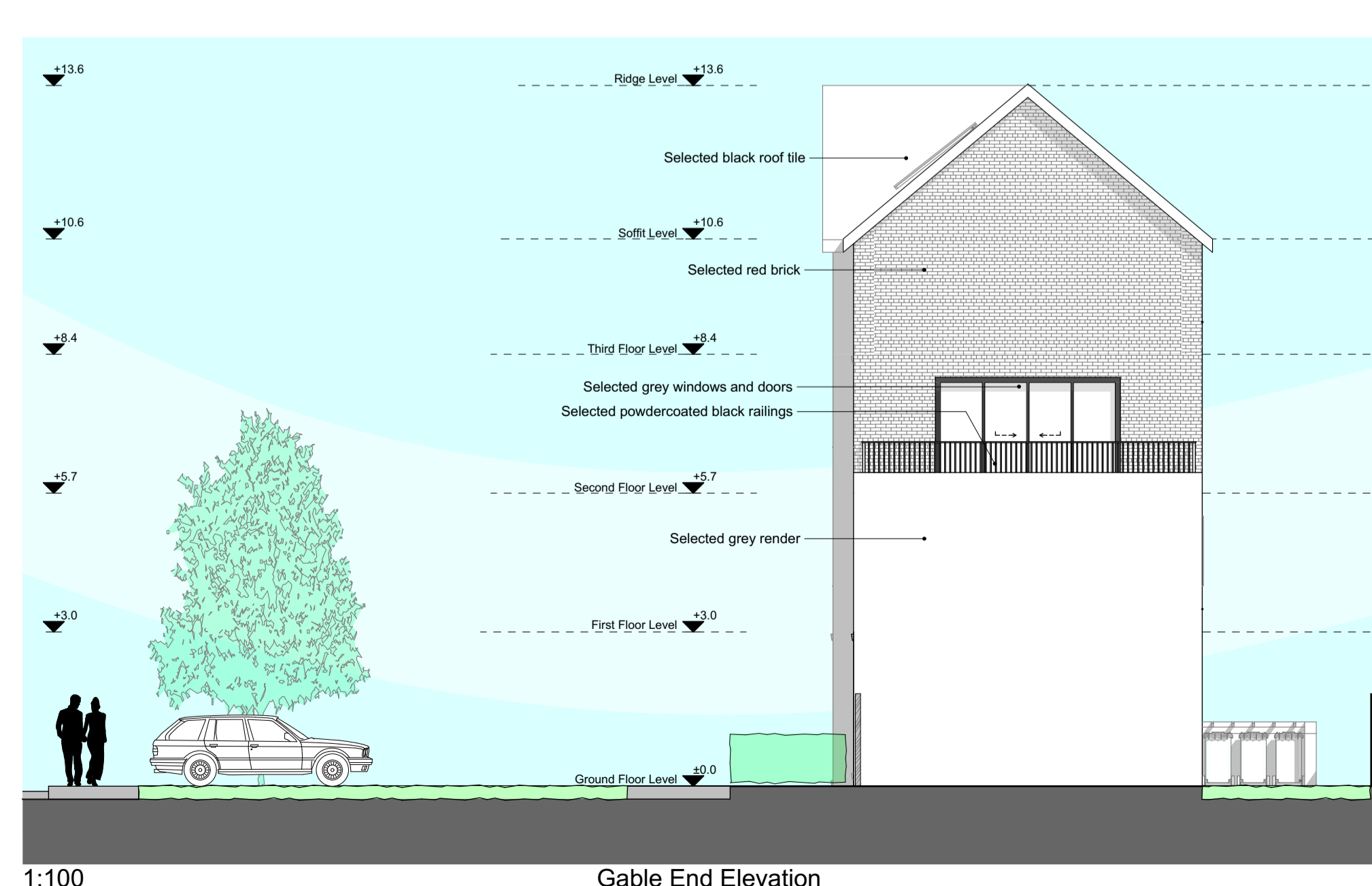
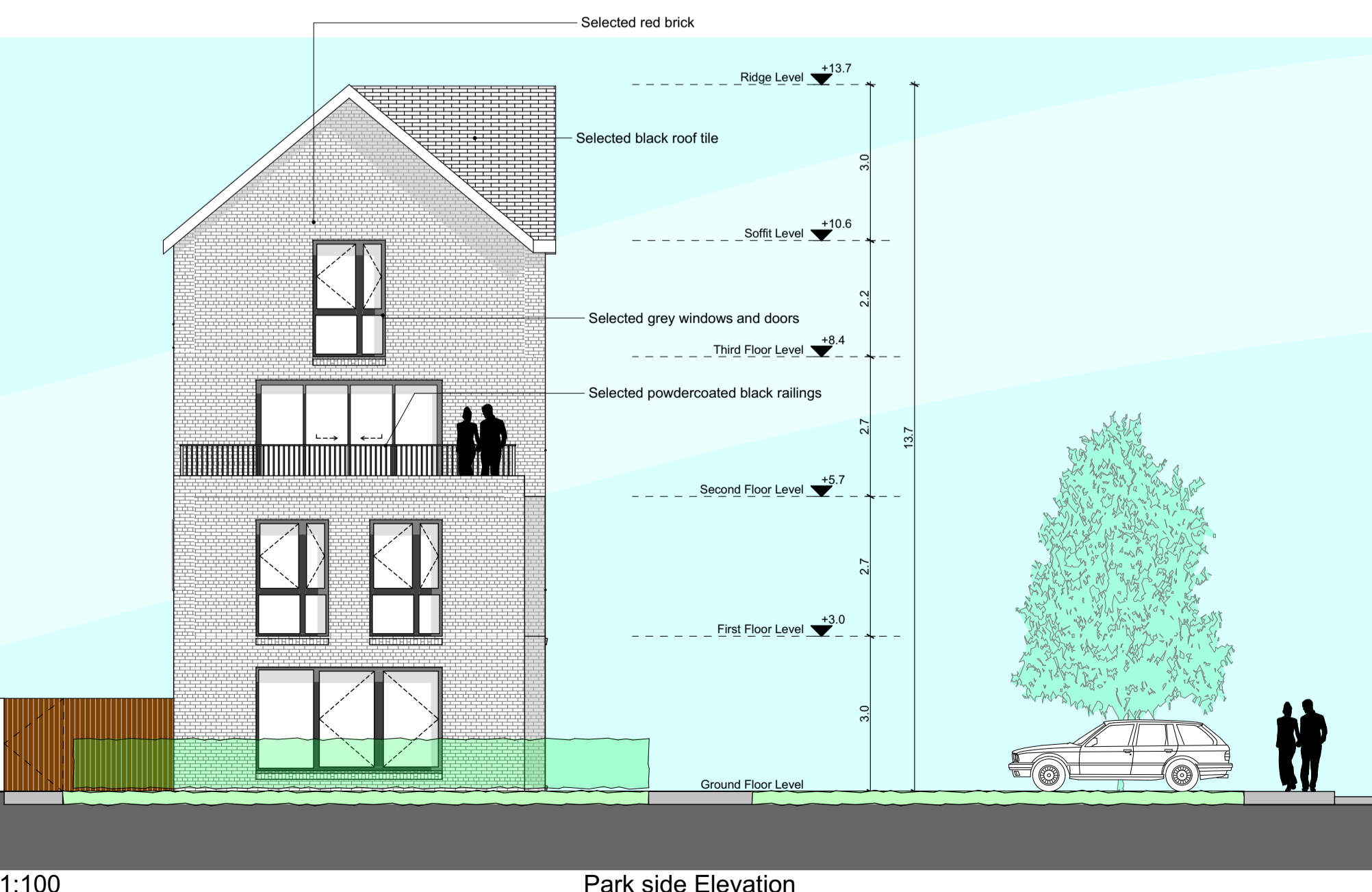
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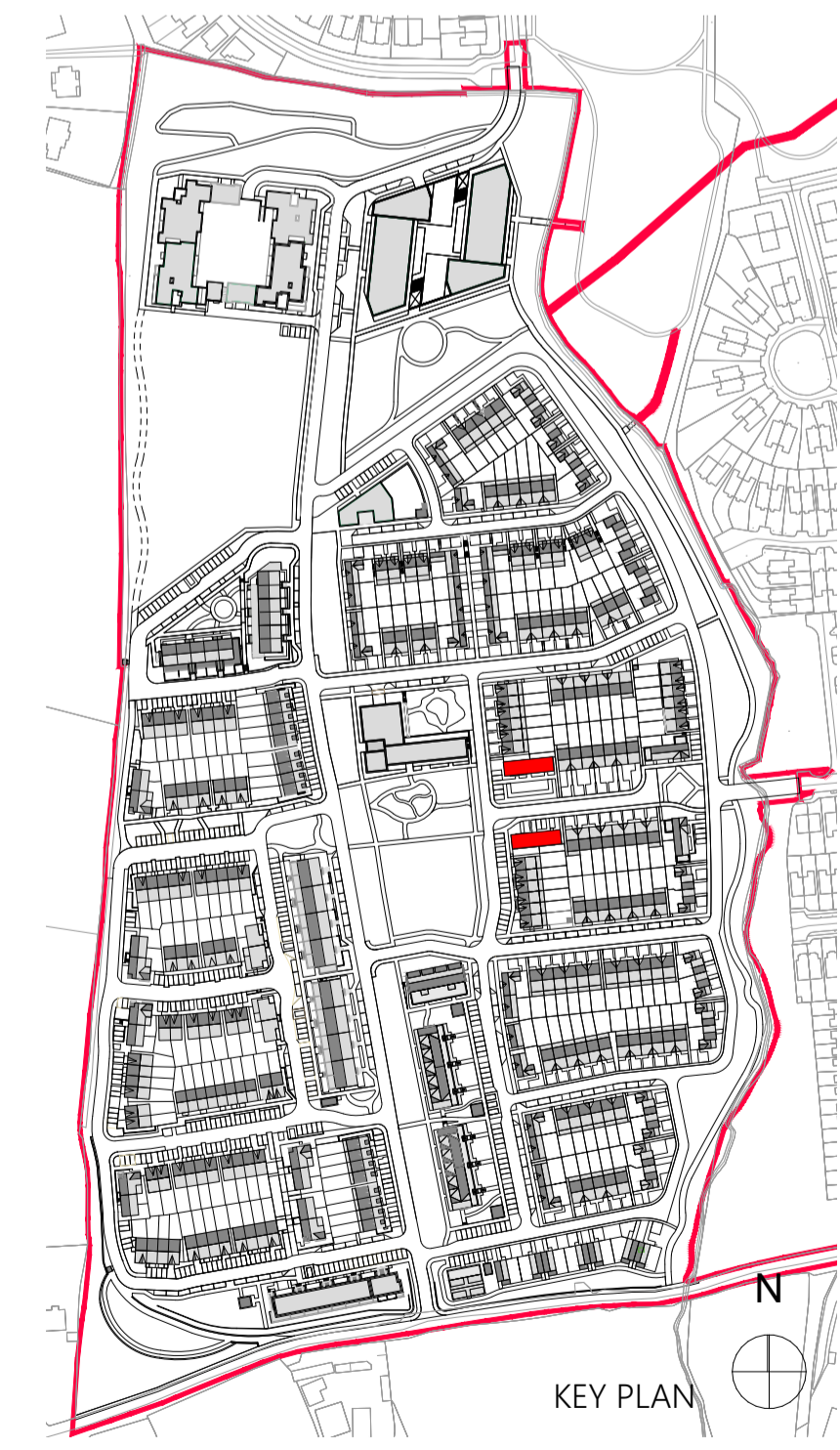
1:100 Rear Elevation

1:100 Section AA



1:100 Park side Elevation

1:100 Gable End Elevation



DUP-K

RIAI Planning Application **DAVEY + SMITH ARCHITECTS**

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Layout ID: **DUPK02 - DUPLEX BLOCK K-** Scale: **AS SHOWN**

Project: **Boherboy** Job No: **D2006**

Drawing Name: **Plans, Sections & Elevation** Series: **PLANNING**

Date: **21/03/2022** Status: **Planning**

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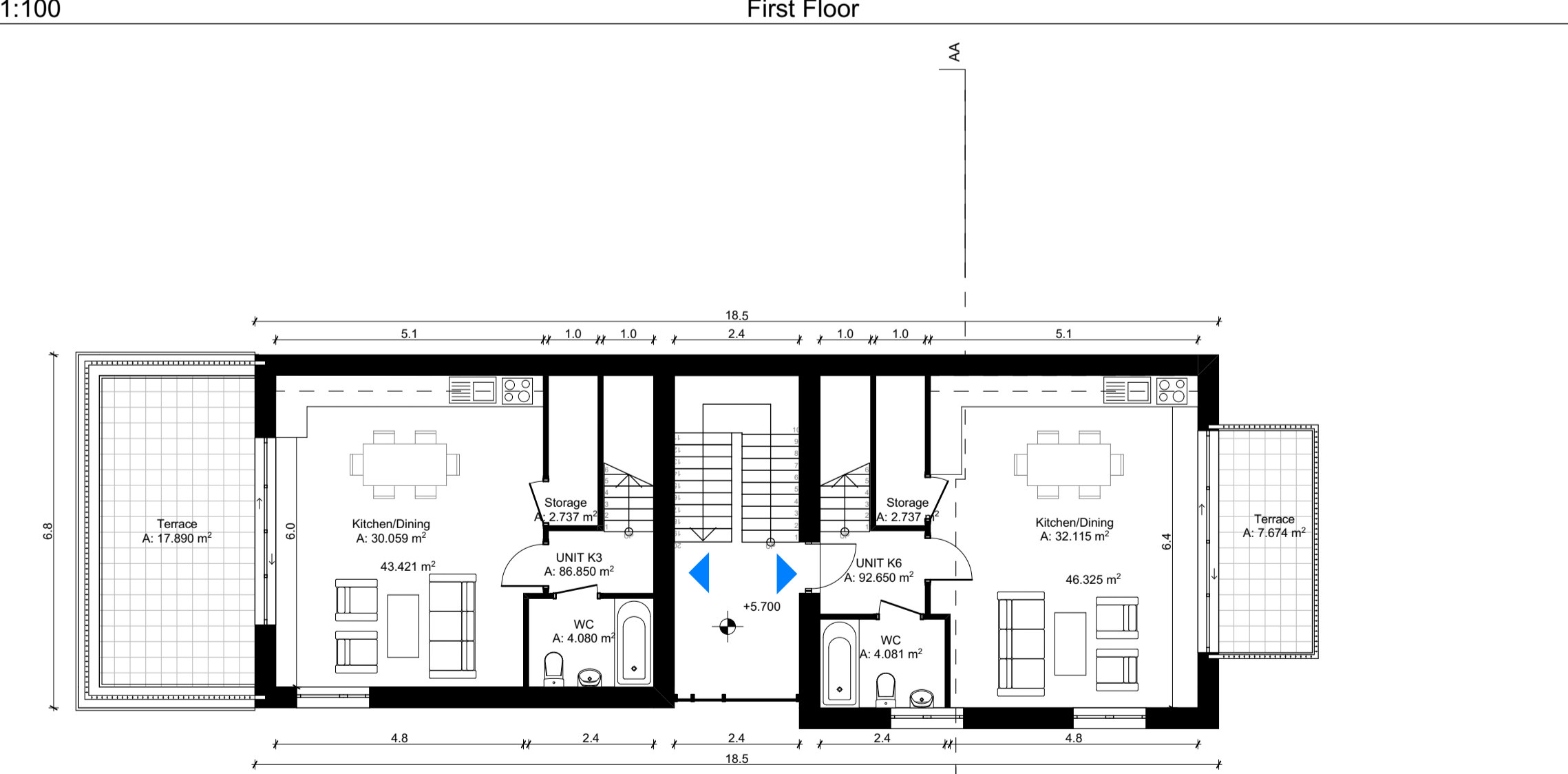
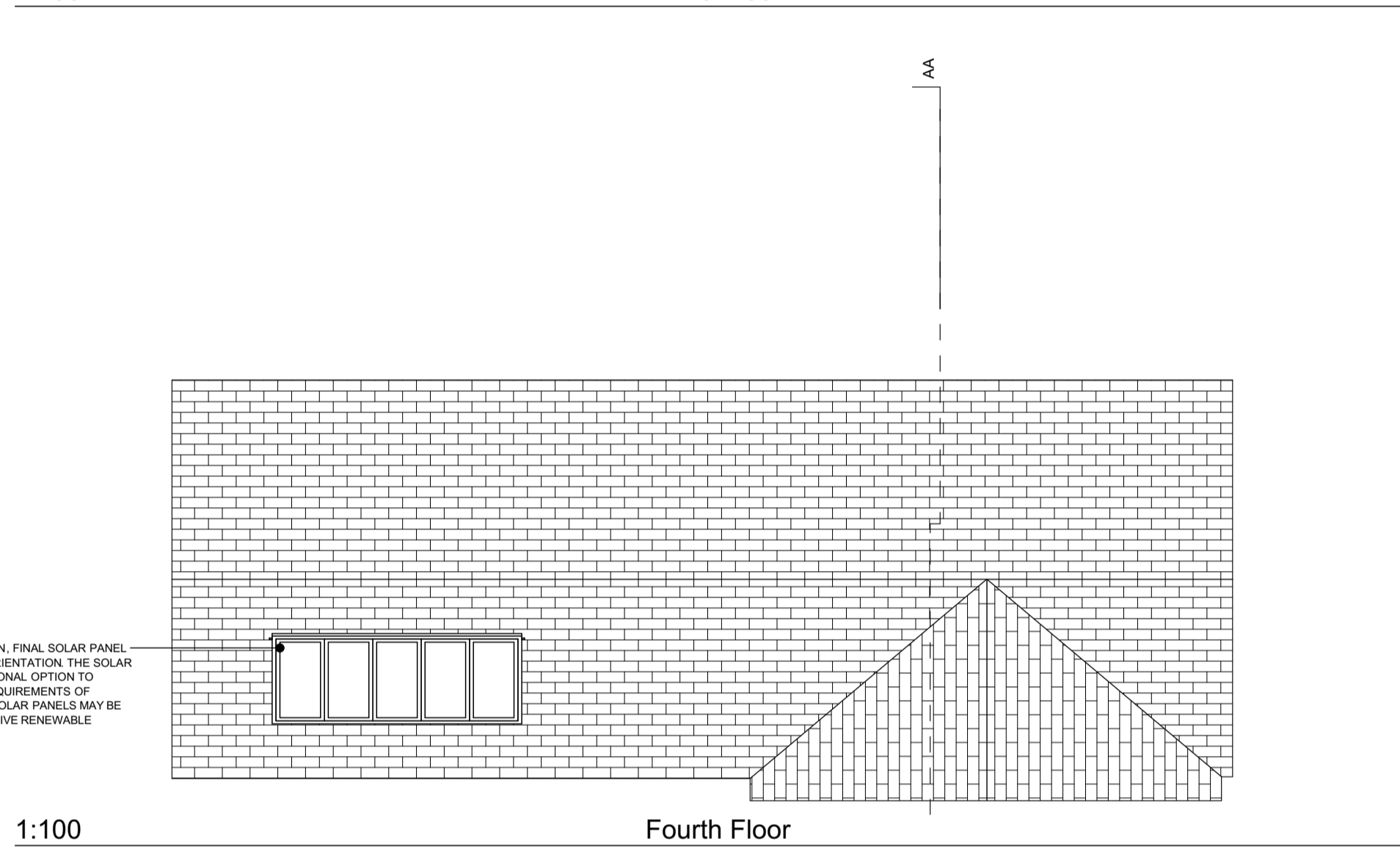
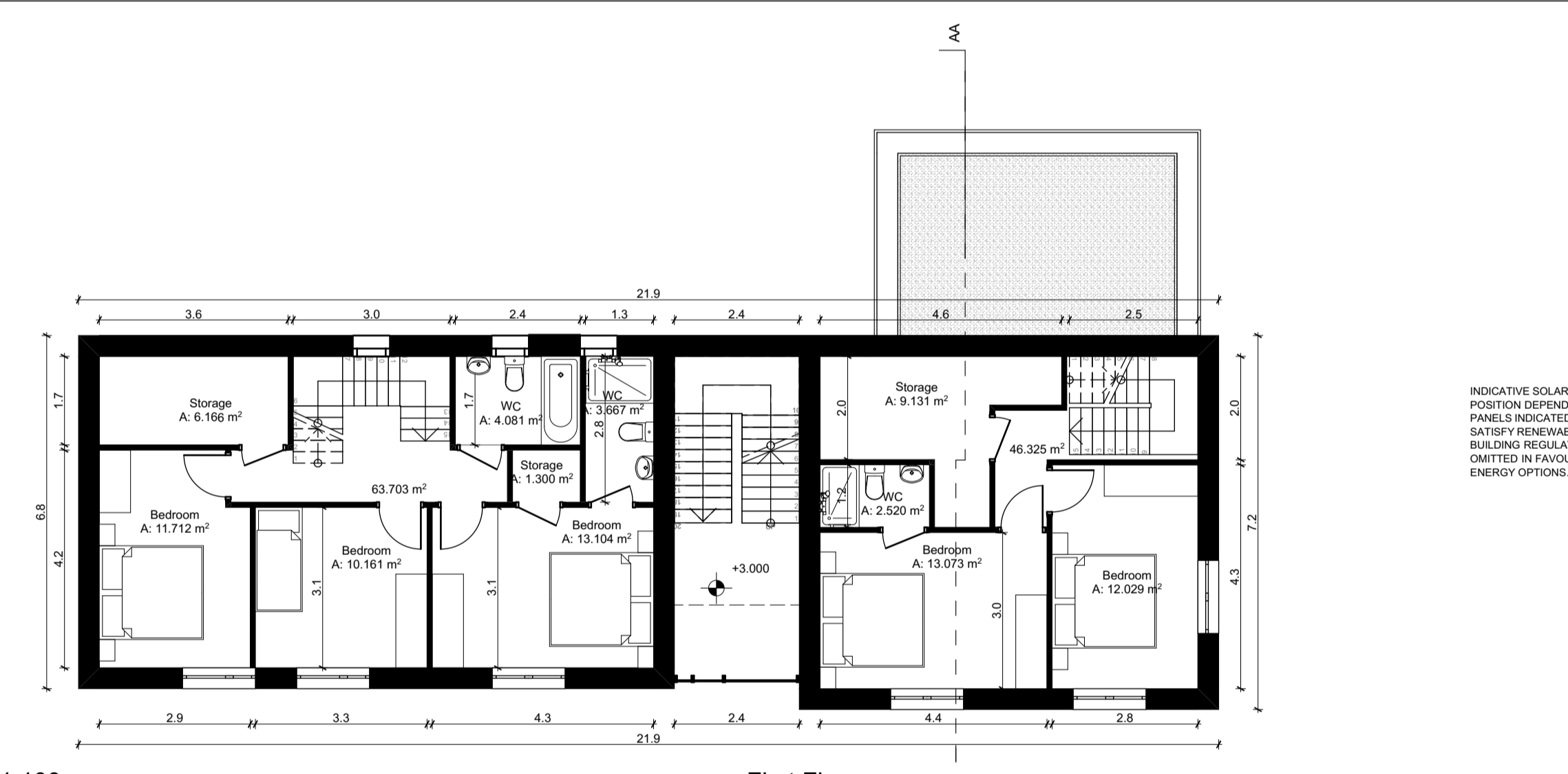
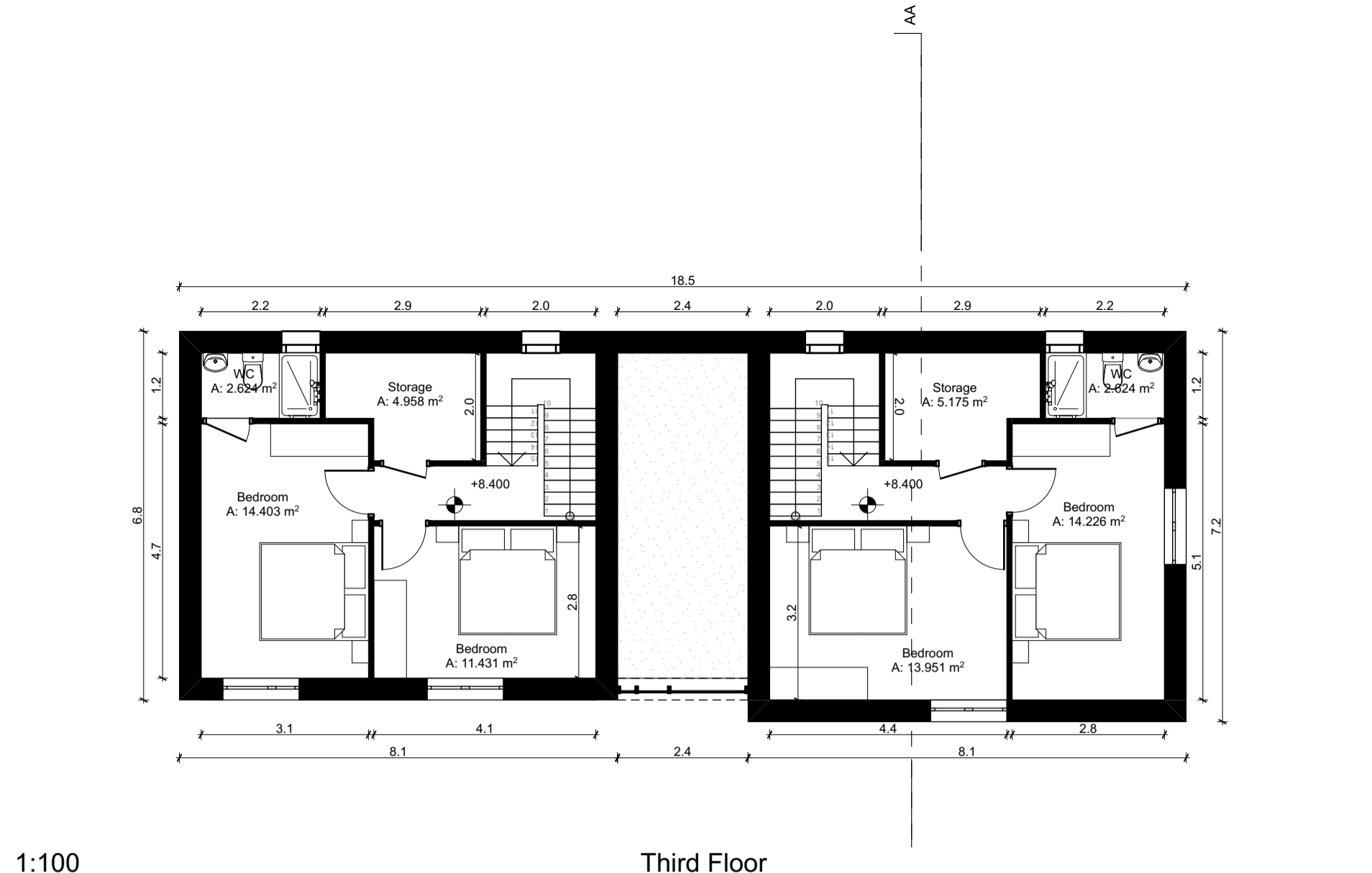
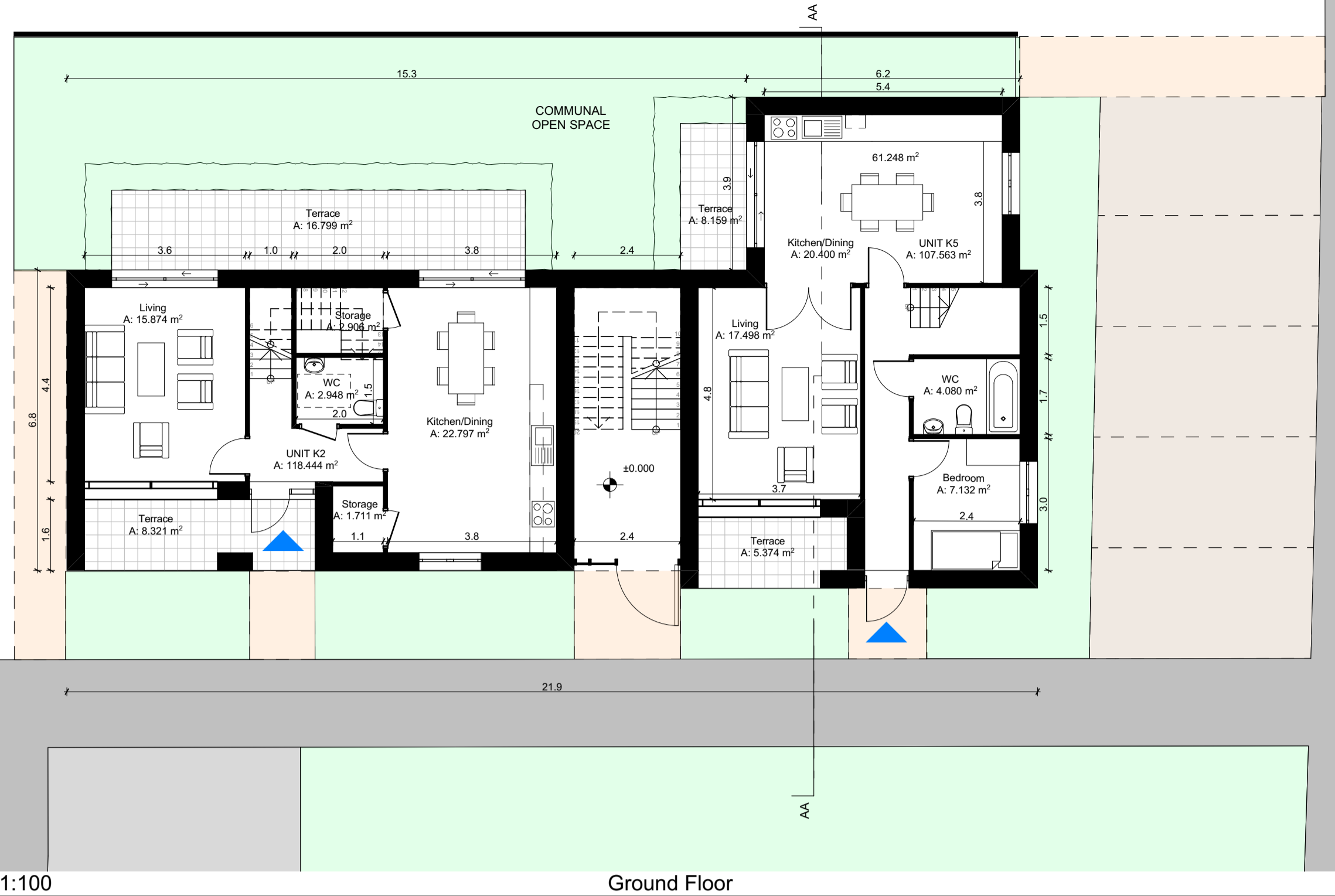
Notes

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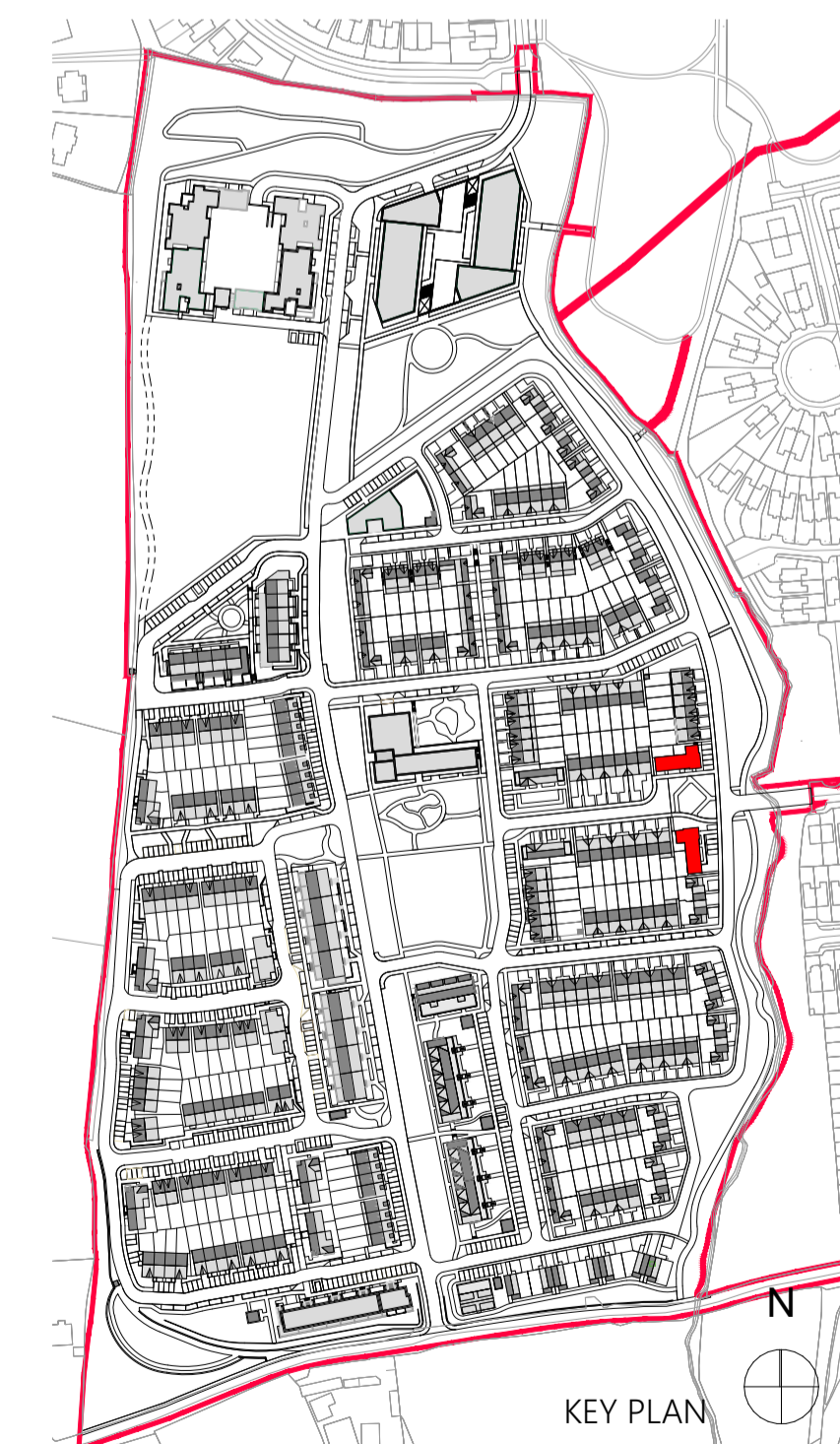
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SCHEDULE OF ACCOMODATION				
Floor	Duplex Unit	Beds	Quantity	Net Area
Ground Floor	UNIT K2	3 BED	1	118.44
	UNIT K5	3 BED	1	107.56
			2	226.00 m ²
Second Floor	UNIT K6	2 BED	1	92.65
	UNIT K3	2 BED	1	86.85
			2	179.50 m ²
			4	405.50 m ²

Duplex Unit K3		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K3 - 2 Bed Unit	86.8 m ²	73.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	25.8 m ²	24.4 m ²
Aggregate Living Area	30.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	7.6 m ²	6.0 m ²

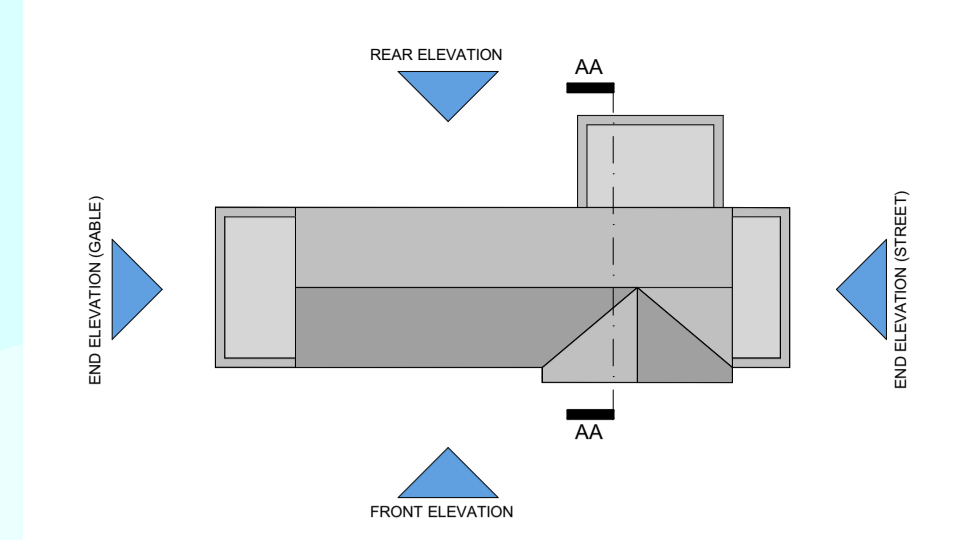
DUP-K1



Duplex Unit K5			Duplex Unit K2		
Name	Proposed Area	DoHPCLG Area Min.	Name	Proposed Area	DoHPCLG Area Min.
Duplex K5 - 3 Bed Unit	107.6 m ²	90.0 m ²	Duplex K2 - 3 Bed Unit	118.4 m ²	90.0 m ²
Space Provision & Room Sizes			Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.	Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	33.6 m ²	31.5 m ²	Aggregate Bedroom Area	34.9 m ²	31.5 m ²
Aggregate Living Area	37.9 m ²	34.0 m ²	Aggregate Living Area	38.6 m ²	34.0 m ²
Storage Provision			Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.	Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.1 m ²	9.0 m ²	Storage	12.0 m ²	9.0 m ²

Duplex Unit K6		
Name	Proposed Area	DoHPCLG Area Min.
Duplex K4 - 2 Bed Unit	92.6 m ²	73.0 m ²
Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	28.7 m ²	24.4 m ²
Aggregate Living Area	32.1 m ²	30.0 m ²
Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	7.6 m ²	6.0 m ²

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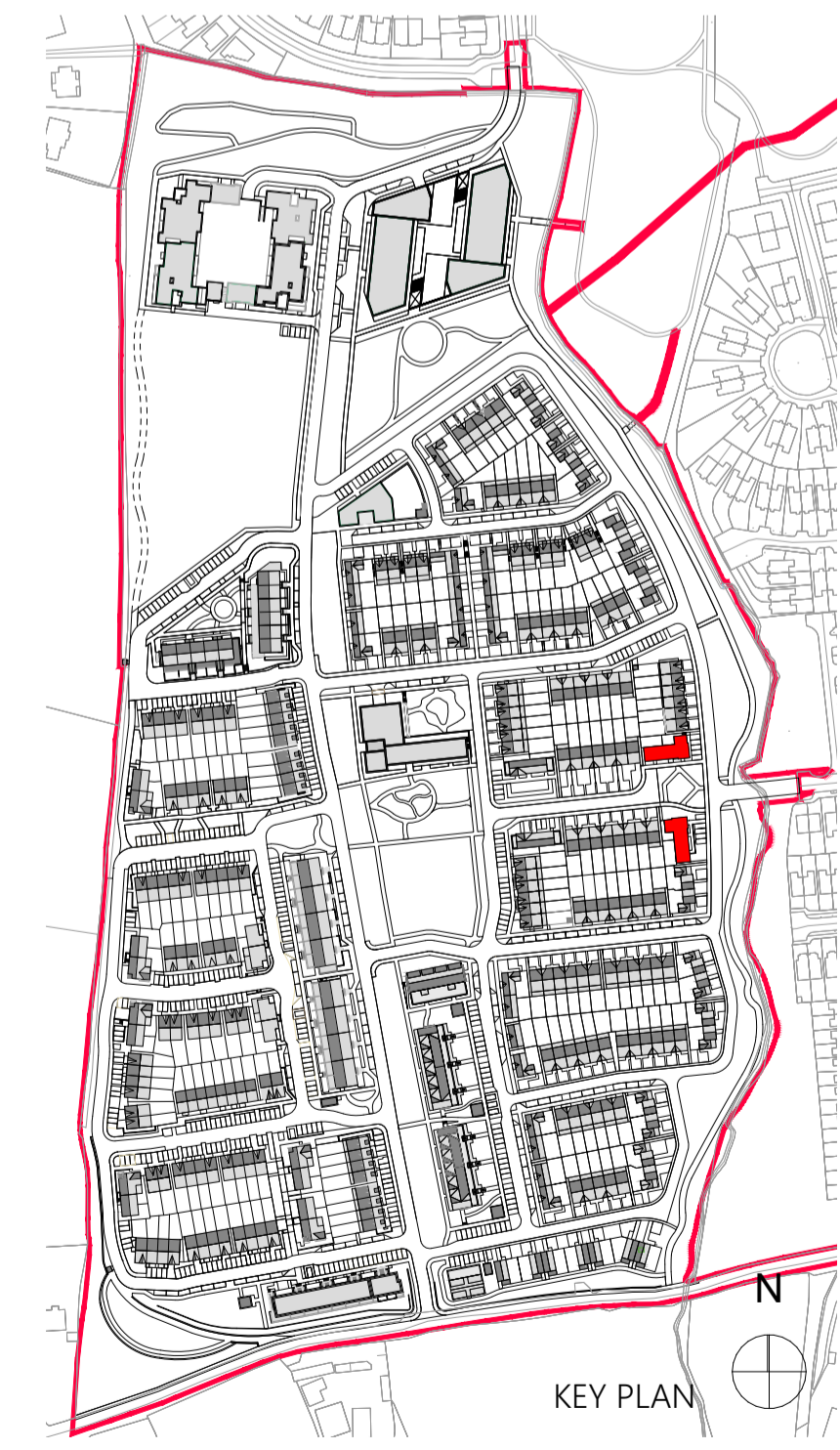
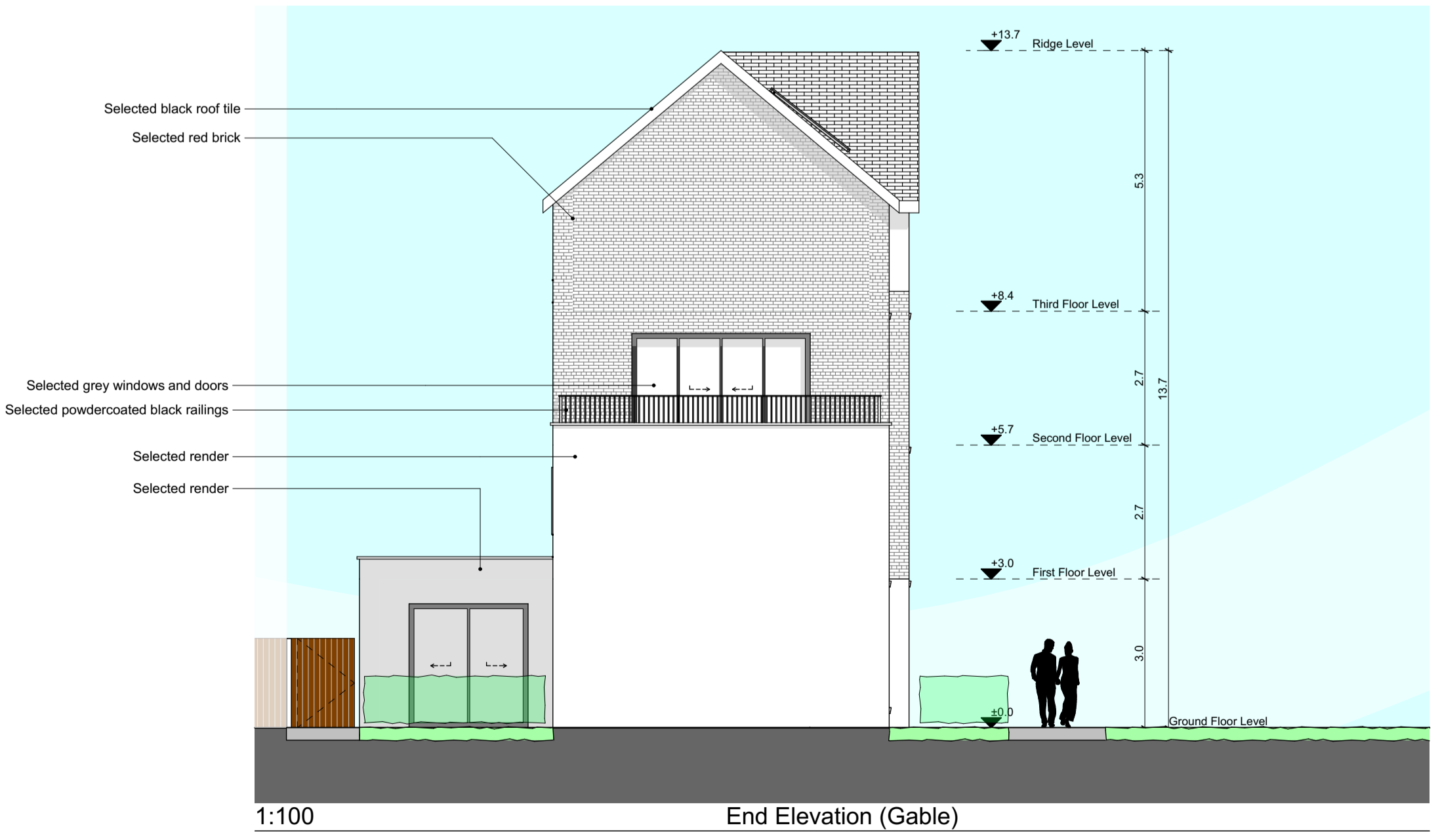
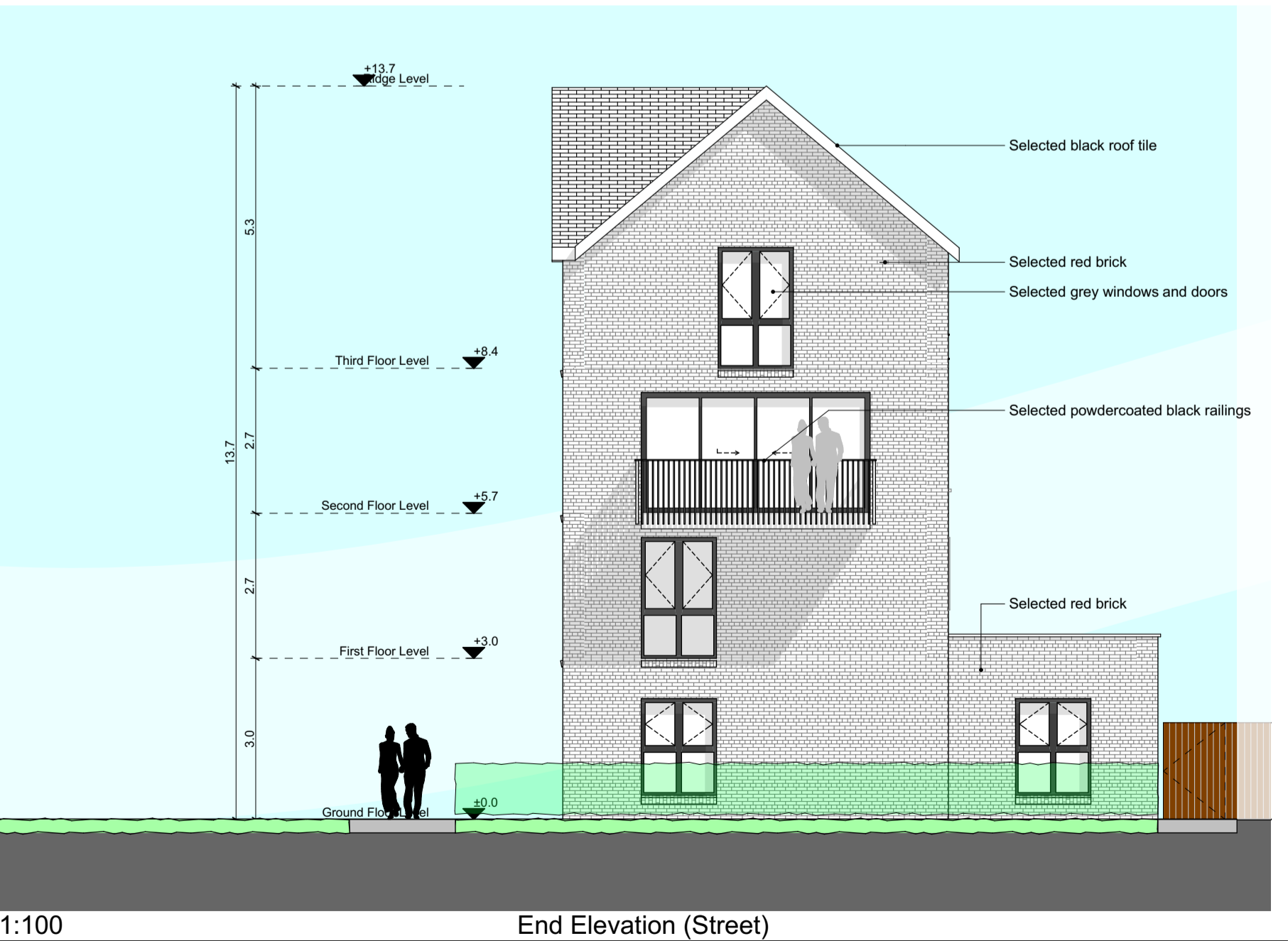
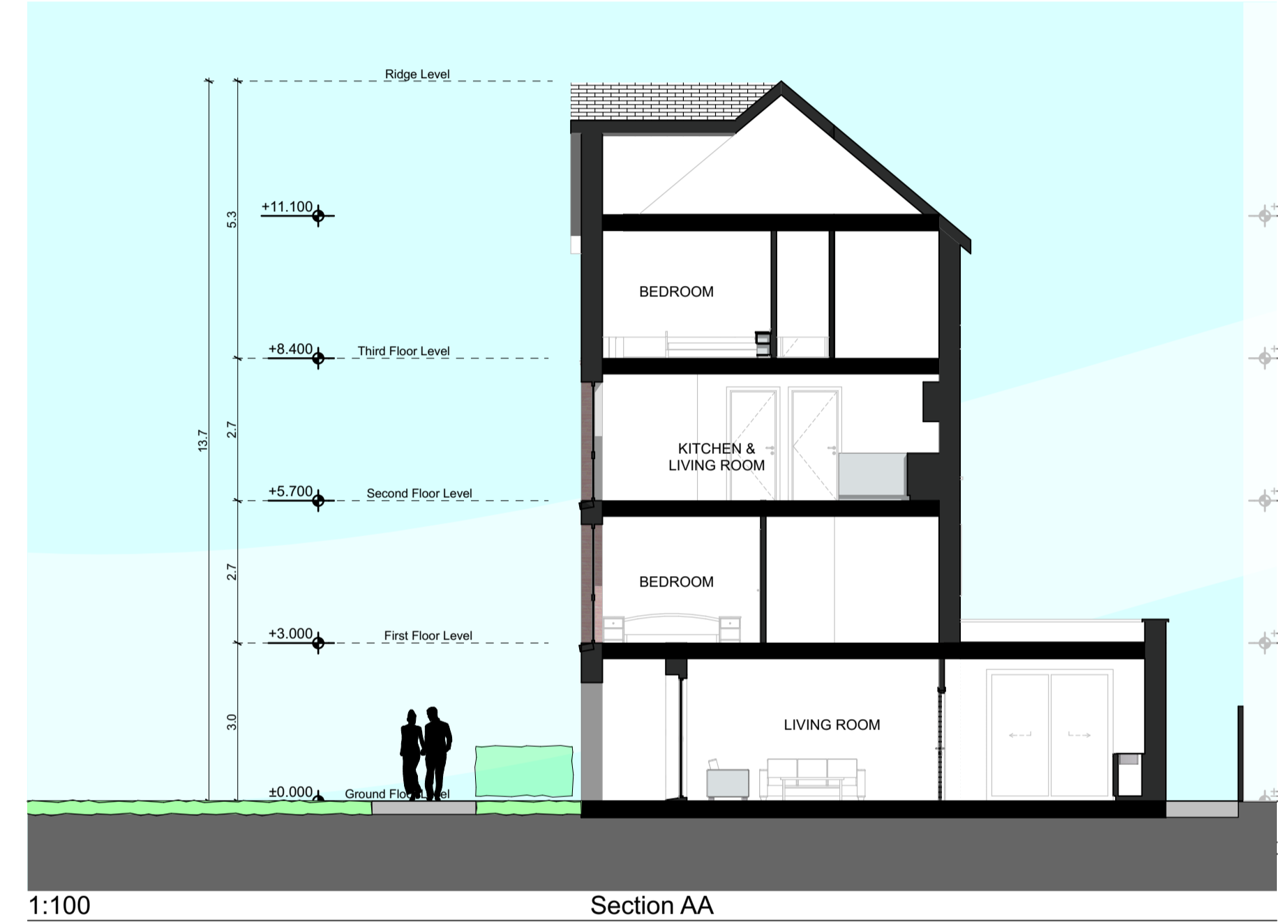
Notes

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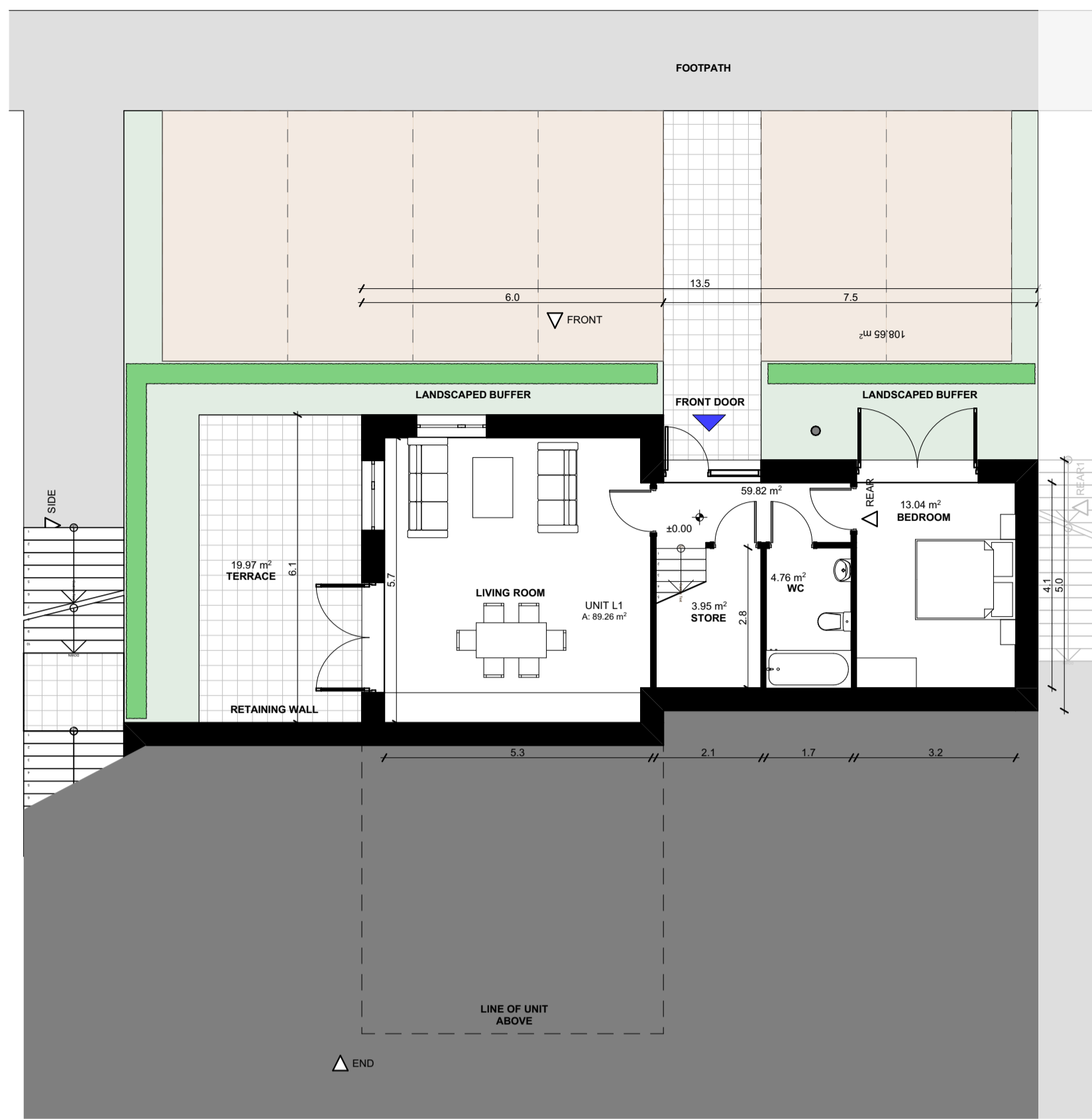
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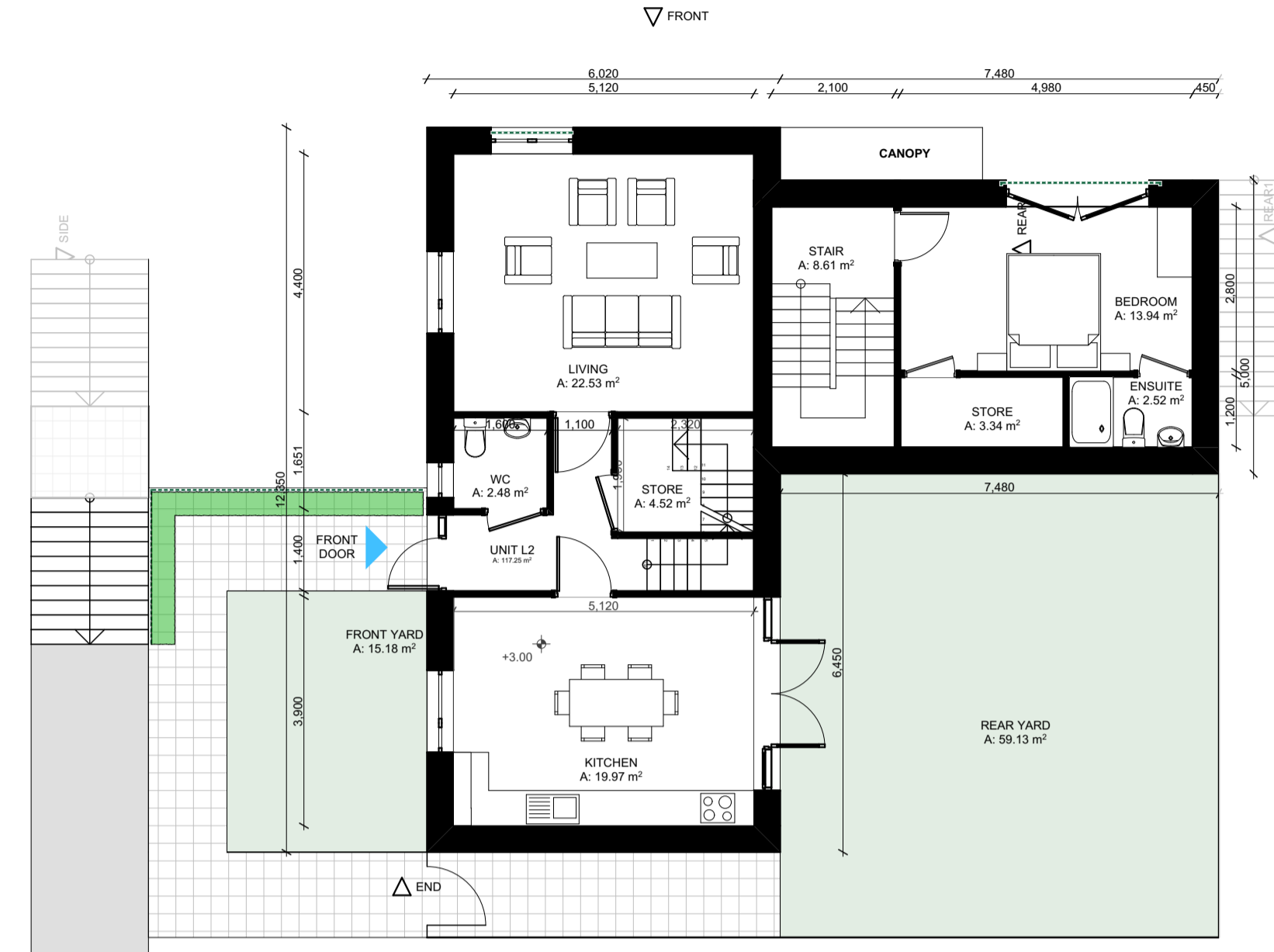
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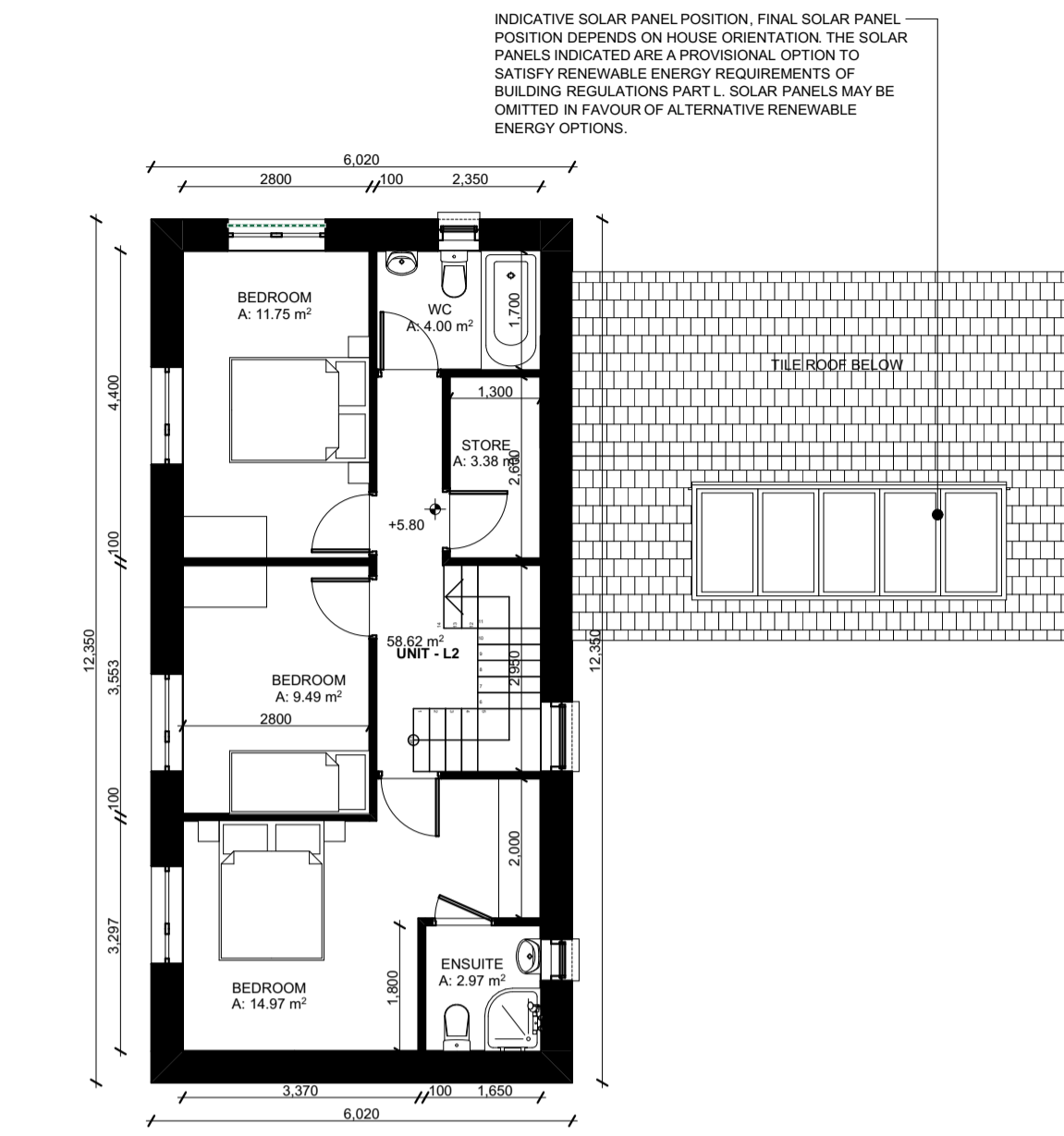
DUP-K1



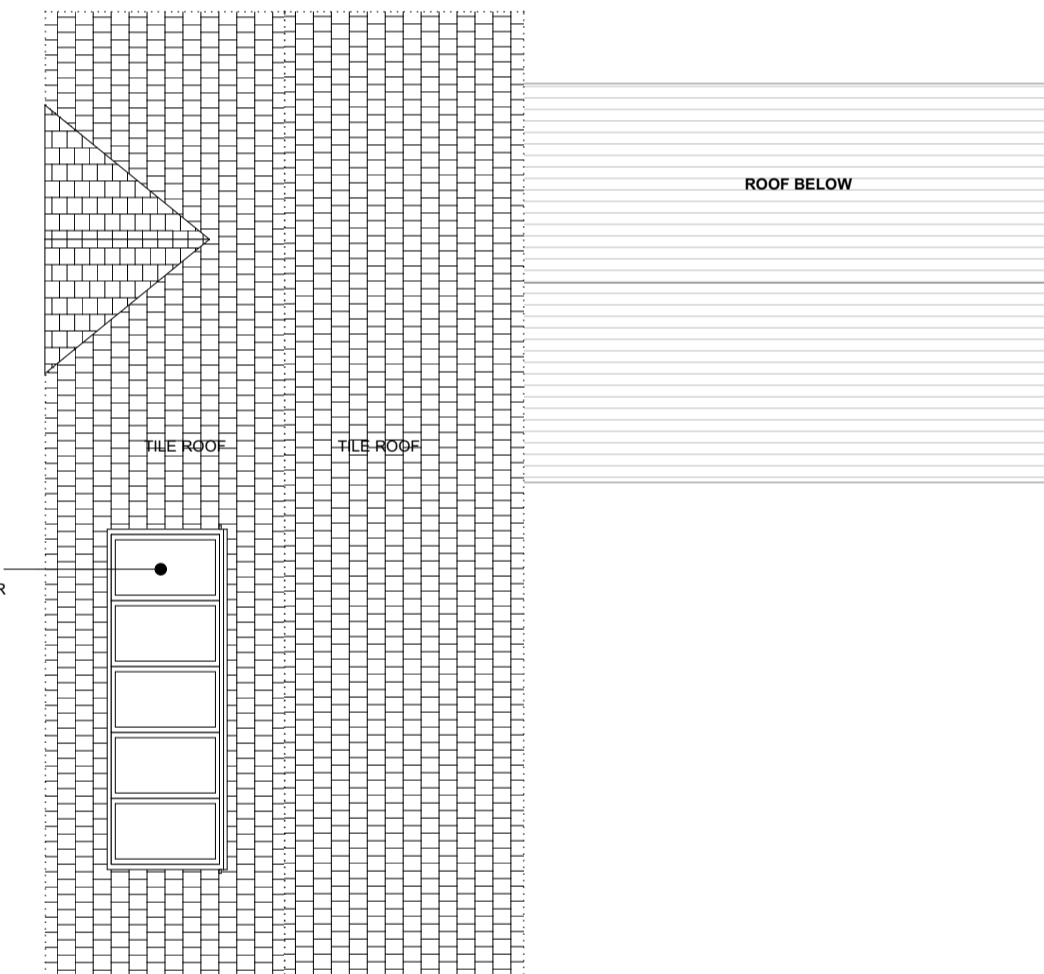
GROUND FLOOR PLAN
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100



SECOND FLOOR PLAN
SCALE 1:100



Roof Plan
SCALE 1:100

Notes

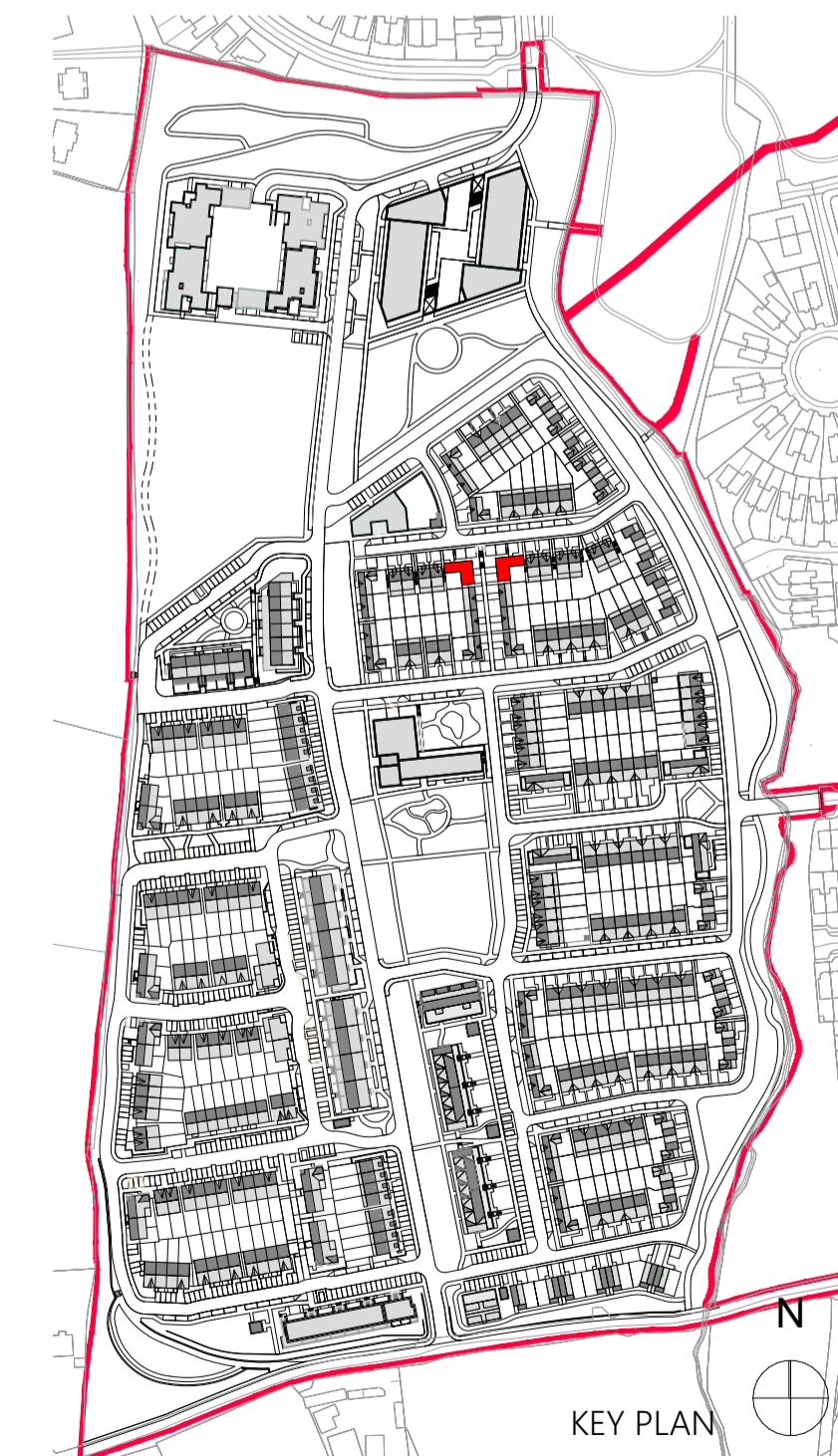
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WALLS:	SELECTED CLAY BRICKWORK WHERE INDICATED OTHERWISE SELECTED SELF-COLOURED RENDER
JOINERY:	ALL WINDOWS AND DOORS, FRAMES AND LEAFS TO BE ALUMINIUM POWDER COATED TO APPROVED COLOUR OR UPVC OR PAINTED TIMBER TO APPROVED COLOUR. OBSCURE GLAZING WHERE INDICATED TO SENSITIVE
WINDOWS:	
RAINWATER GOODS:	GUTTERS, DOWNPIPES AND FIXINGS TO BE UPVC OR ALUMINIUM POWDER COATED TO SELECTED COLOUR TO MATCH ROOF SLATES.
SOLAR PANELS:	INDICATIVE SOLAR PANEL POSITION, FINAL SOLAR PANEL POSITION DEPENDS ON HOUSE ORIENTATION. THE SOLAR PANELS INDICATED ARE A PROVISIONAL OPTION TO SATISFY RENEWABLE ENERGY REQUIREMENTS OF BUILDING REGULATIONS PART L. SOLAR PANELS MAY BE OMITTED IN FAVOUR OF ALTERNATIVE RENEWABLE ENERGY OPTIONS.



DUP-L

RIAI	Planning Application	DAVEY + SMITH ARCHITECTS
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DAVEY+SMITH ARCHITECTS 13 SEAPPOINT BUILDING, 44/45 CLONTARF ROAD, CLONTARF, DUBLIN 3 PH: 01 2447638 EMAIL: info@davey-smith.com WEB: www.davey-smith.com		Scale: AS SHOWN
Layout ID: DUP-L-01 - DUPLEX BLOCK L-		Job No: D2006
Project: Boherboy		Series: PLANNING
Drawing Name: SPLIT LEVEL PLANS		Date: 21/03/2022
		Status: Planning

THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS - NOTIFY ARCHITECTS OF ANY DISCREPANCIES - CHECK DIMENSIONS ON SITE - USE FIGURED DIMENSIONS ONLY - COPYRIGHT RESERVED FOR DAVEY & SMITH ARCHITECTS LTD

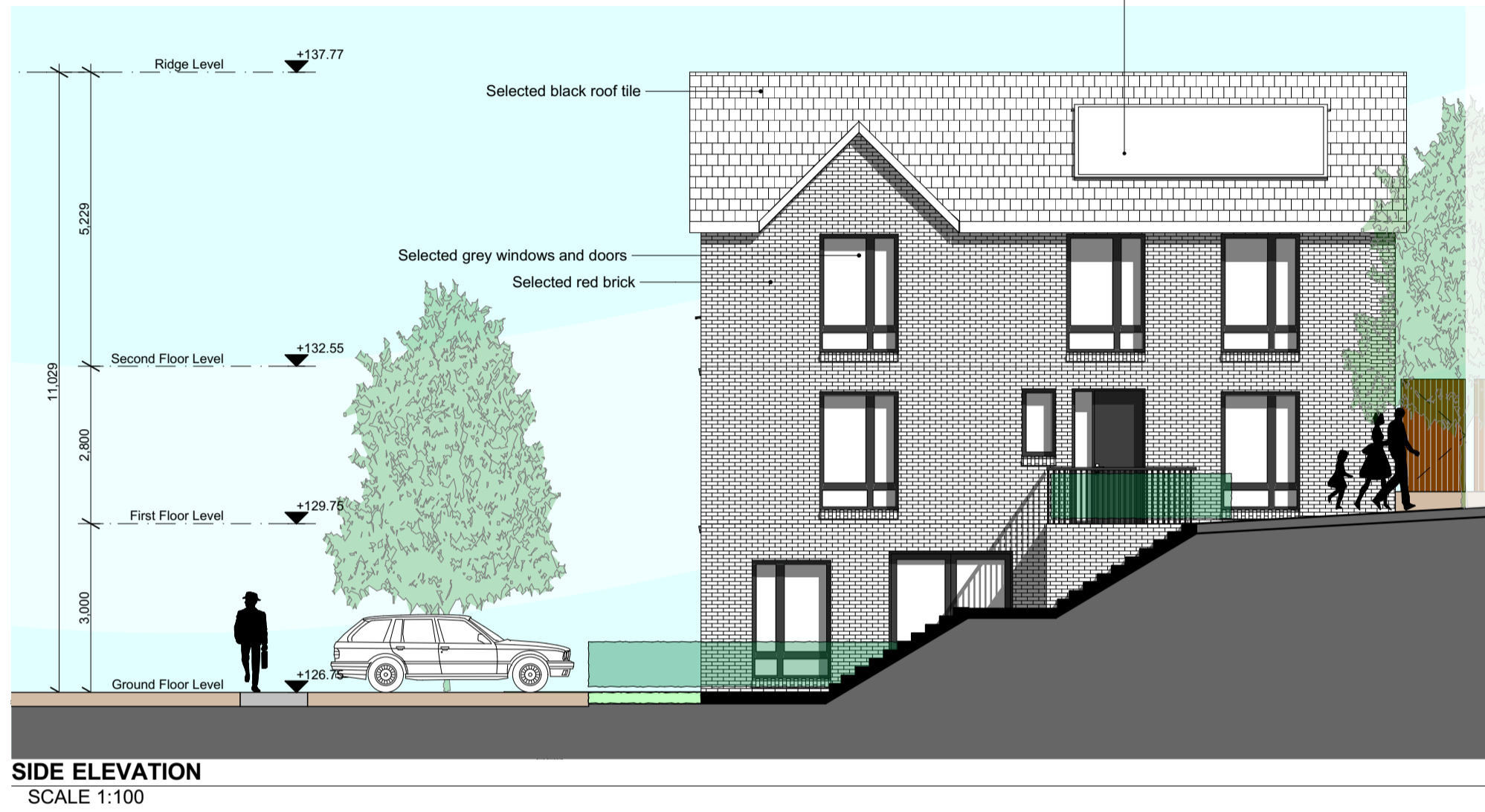
Duplex Unit L1		
Name	Proposed Area	DoHPCLG Area Min.
Duplex L1 - 2 Bed Unit	89.26 m ²	73.0 m ²
Duplex Unit L1 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	26.98 m ²	24.4 m ²
Aggregate Living Area	30.0 m ²	30.0 m ²
Duplex Unit L1 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	7.3 m ²	6.0 m ²

Duplex Unit L2		
Name	Proposed Area	DoHPCLG Area Min.
Duplex L2 - 3 Bed Unit	117.25 m ²	90.0 m ²
Duplex Unit L2 - Space Provision & Room Sizes		
Area Type	Proposed Area	DoHPCLG Area Min.
Aggregate Bedroom Area	36.2 m ²	31.5 m ²
Aggregate Living Area	42.5 m ²	34.0 m ²
Duplex Unit L2 - Storage Provision		
Area Type	Proposed Area	DoHPCLG Area Min.
Storage	9.0 m ²	9.0 m ²

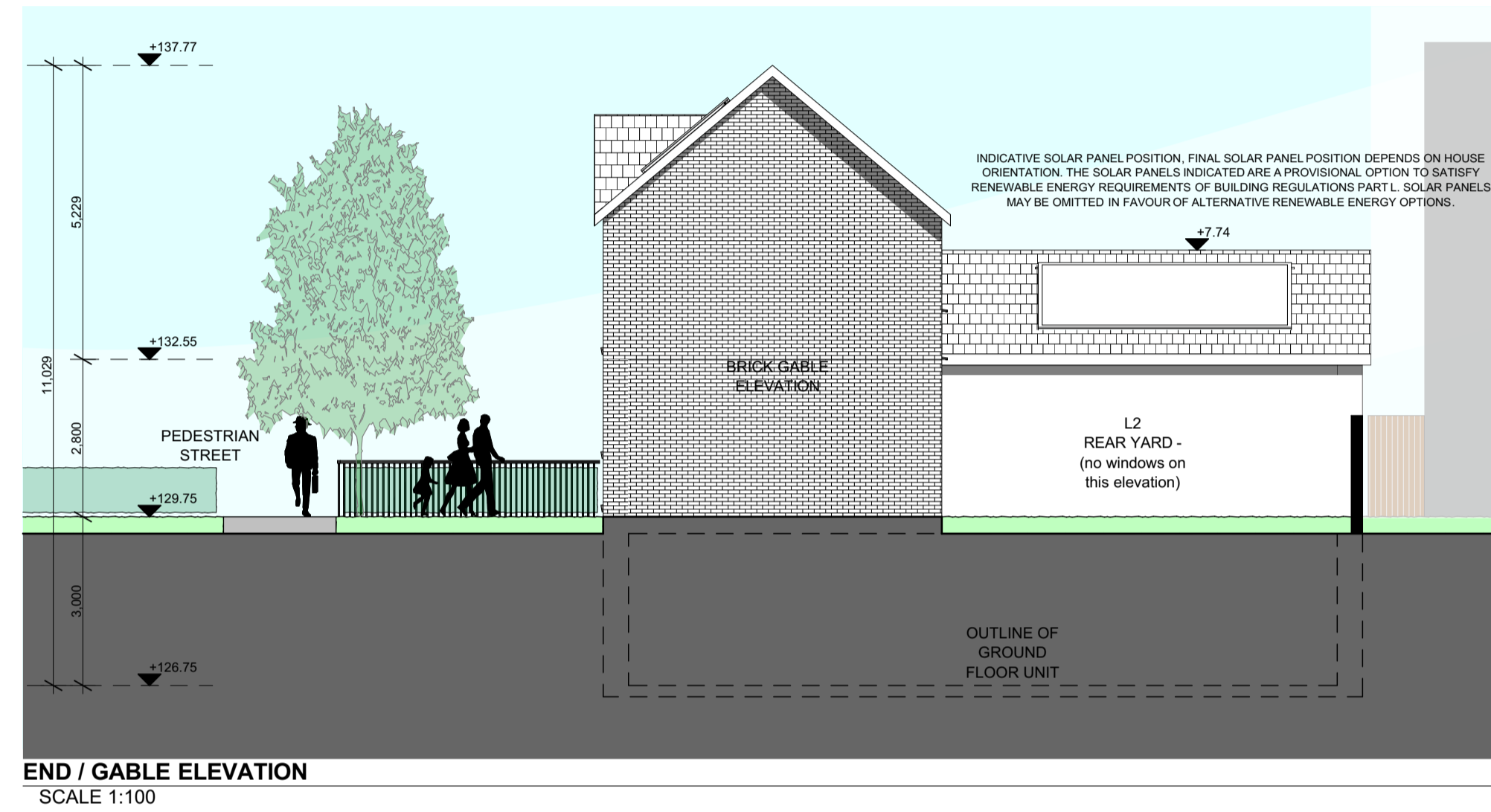


FRONT ELEVATION
SCALE 1:100

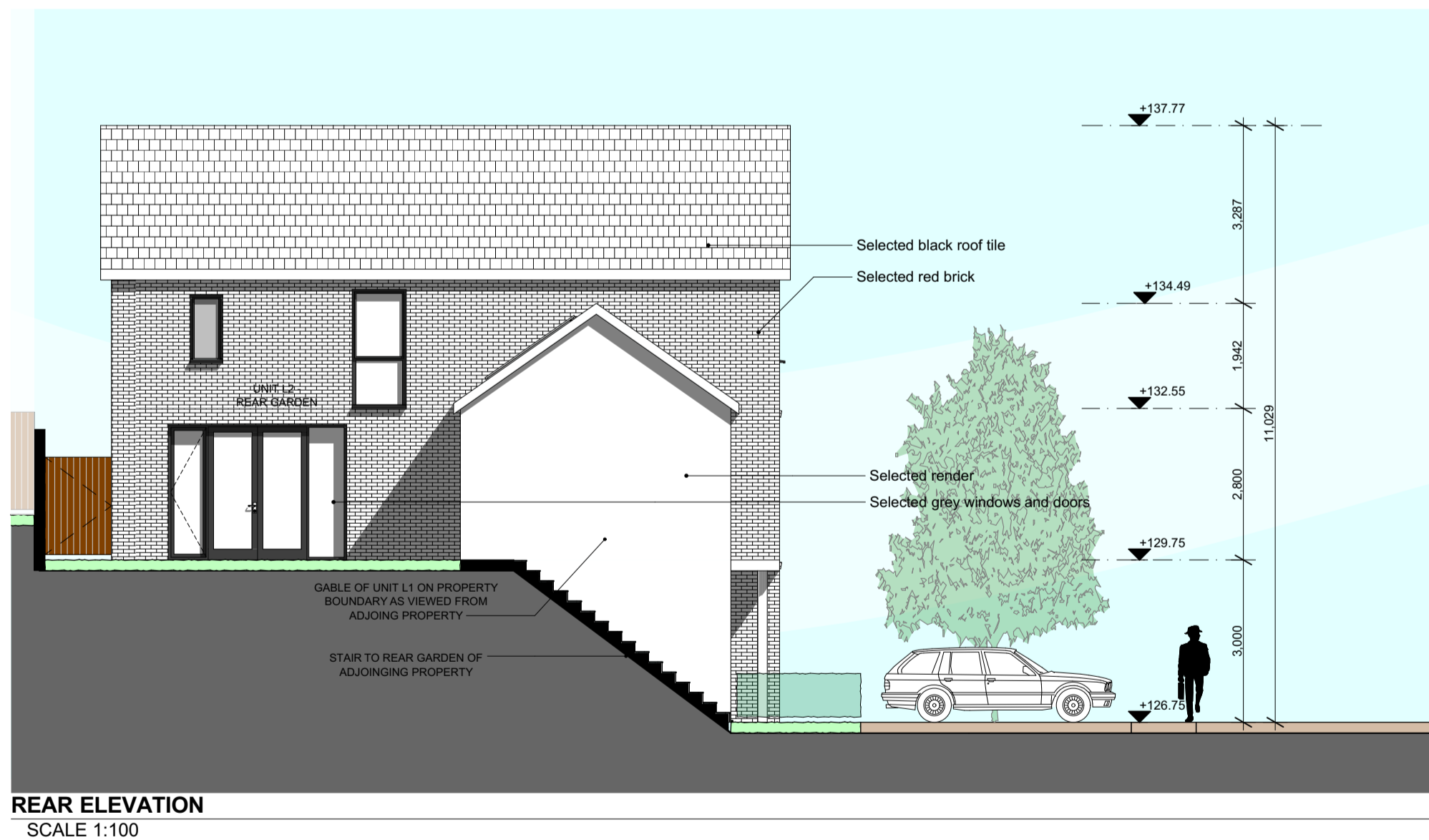
INDICATIVE SOLAR PANEL POSITION. FINAL SOLAR PANEL POSITION DEPENDS ON HOUSE ORIENTATION. THE SOLAR PANELS INDICATED ARE A PROVISIONAL OPTION TO SATISFY RENEWABLE ENERGY REQUIREMENTS OF BUILDING REGULATIONS PART L. SOLAR PANELS MAY BE OMITTED IN FAVOUR OF ALTERNATIVE RENEWABLE ENERGY OPTIONS.



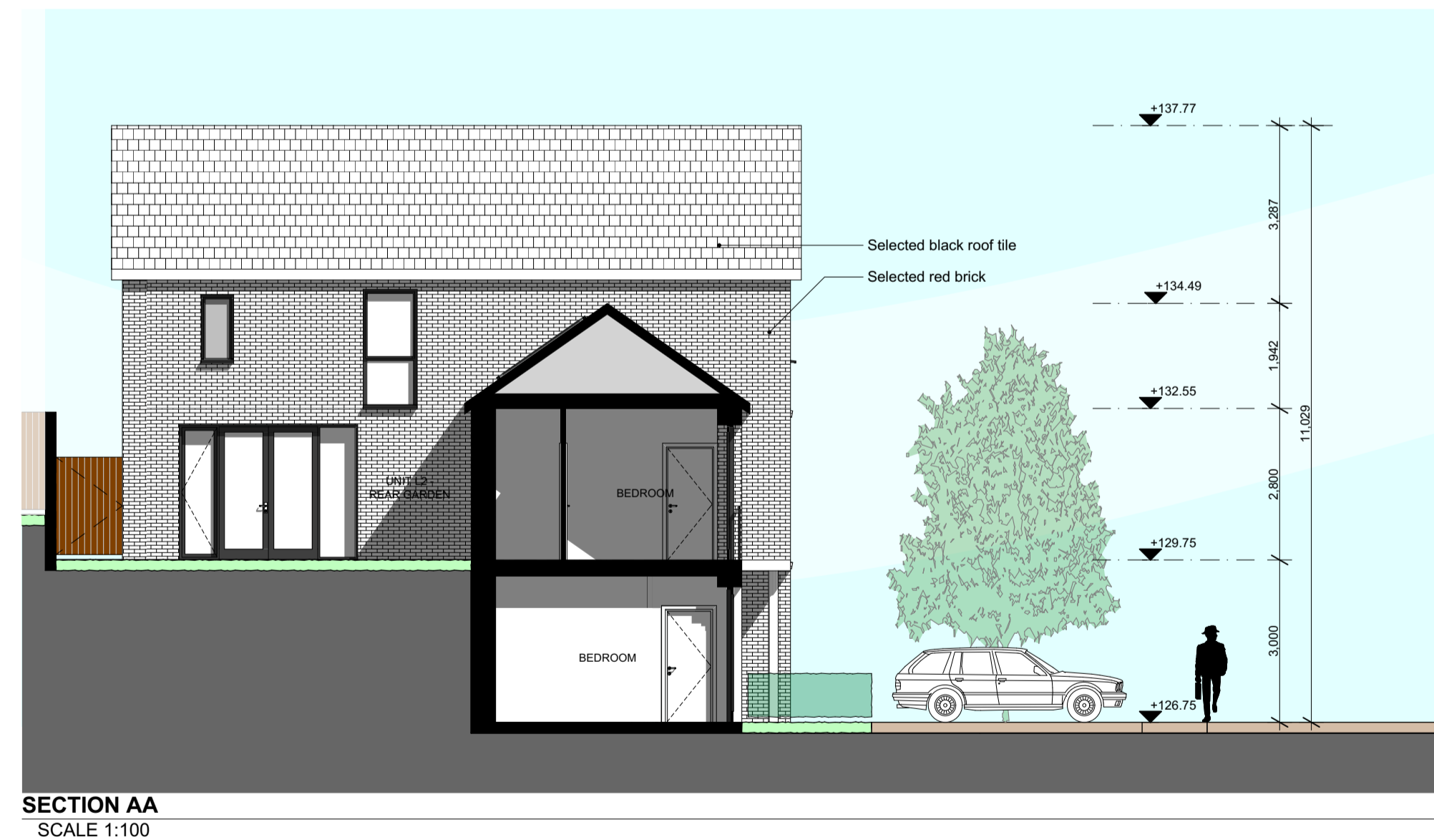
SIDE ELEVATION
SCALE 1:100



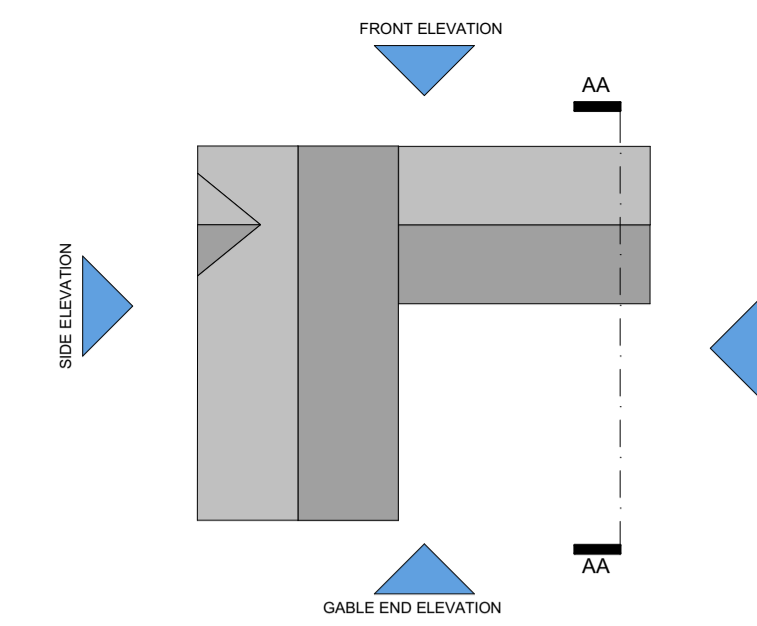
END / GABLE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100



SECTION AA
SCALE 1:100



Notes

Refer to Architects Site Plan Drawing PL02 for North orientation of each units and handing.

Levels on unit type drawings are given relative to Malin Head datum level.

Do not scale from this drawing.
Use figured dimensions only.
All errors and omissions to be reported to the Architect.
This drawing is to be read in conjunction with relevant consultant's drawings.
This drawing is for planning purposes only and not for construction.
This drawing or design may not be reproduced without permission.

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