

DESIGN STATEMENT

PROPOSED HOUSE EXTENSION AT ST KEVIN'S, 17 RATHFARNHAM PK, D 14

31.03.21

ARANZAZU LERA ANTON ARCHITECT
141 RATHFARNHAM ROAD, RATHFARNHAM, DUBLIN 14
T 0871027162 E aleranton@gmail.com

Contents

1. Design Statement.....	3
1.1 Site Context	3
1.2 Proposed development	6
1.2.1 Wall finishes.....	8
1.2.2 Hipper roof.....	9
1.2.3 PV Panels	9
1.2.4 Fenestration to Western Elevation	9
1.2.5 Fenestration to Eastern Elevation	9
1.2.6 Demolition.....	10
1.2.7 External Unit for Heat Pump.....	10
1.2.8 Utility meter wall.....	10
1.3 Impact on neighboring properties.....	11
1.3.1 Overbearing impact.....	11
1.3.2 Daylight and over shadowing	12
1.3.3 Overlooking and loss of privacy.....	13

1. DESIGN STATEMENT

The purpose of this Design Statement is to accompany the current planning application for the extension and renovation works of the house known as St Kevin's, located at 17 Rathfarnham Park.

1.1 Site Context

The property is located at the junction between Ballytore Road and Rathfarnham Park. The shape approximates a rectangular shape, with the long side running in a north to south direction. The front garden is facing south, with the back garden facing north.

The site is located between two residential houses, 15 Rathfarnham Park to the West and 17A Rathfarnham Park to the East. Both of these houses are 2 storeys high, with single storey returns and back extensions.

The subject house is detached from the adjoining houses, with a side entrance gate to the west (beside 15 Rathfarnham Park) and a garage and shed structures to the East, extending up to the boundary wall.

The existing garage, which is affixed to the eastern side of the house, projects approximately 1 meter outwards from the front elevation and abuts the eastern boundary of the site.

The single storey return of 17A Rathfarnham Park sits 1 meter to 1.3 meters away from the subject site.

The house sits forward in relation to the adjoining properties in (15 and 17A Rathfarnham road).

The site is 0.052ha in size.

The back of the properties at 15 and 17 Rathfarnham park was subdivided a number of years ago, and a new house was built at the back. which faces Dodder Park Road (planning ref.: SD07B/0501), and forms the boundary to the north of the site.



Figure 1: aerial view of the site
Source: google maps

The front garden is relatively level with the ground raising towards the front entrance door.

The back garden slopes down towards the northern boundary, with an overall drop of approximately 1.9 meters.

The neighboring house at 17A Rathfarnham Park has a sloped entrance at the front garden, resulting in a lower level of the ground floor of the dwelling house (1 meter). The back garden is then relatively levelled. As a result, the back garden of 17A Rathfarnham road is approximately 700mm above the lowest point of the back garden of the subject property.

The house at 17A Rathfarnham Park has some window openings facing west, located at ground floor level belonging to utility room and bathroom.



Figure 2: photograph taken from the first floor bathroom window

The house at 15 Rathfarnham Park has also window openings towards the east, which appear to be high level and serving non-habitable spaces.



Figure 3: photograph of 15 Rathfarnham Park side façade taken from the back garden

A low wall of approximately 1 meter in height surrounds the front garden. Two piers frame the entrance from the street.

1.2 Proposed development



Figure 4: artistic impression of current house

The current house consists of a 2 storey building with a single storey kitchen extension to the back and single storey garage and sheds to the side of the house.

The house has a rounded bay window, with an arch entrance and recessed door. The current garage sits approximately 1 meter forward from the main plain of the façade, and is 3.4 meters high. The main building has a hipped roof.

At the back, the single storey extension has not been properly maintained and the roof is overgrown. One of the windows facing the garden has had a stud partition built in front of it. A decking structure appears to have been removed from the back garden (indicated in the previous Planning Application for the site, planning ref.: SD06B/0705) and there is a 1 meter drop at the back dining room door.



Figure 5: photograph of the north façade taken from the back garden

The current design statement is in support of the Request for Further information received from South Dublin County Council. The proposed design has been re-assessed and adjustments have been made to the design to address the comments received. The current design statement will thus focus on the amended design.

As requested by the RFI, consideration has been given to the proposed side extension in relation to the boundary wall, and we now propose to step the building away from the boundary wall.

The distance from the new extension to the boundary wall will be 1 meter to the face of the wall as indicated in the drawings.

As the proposed design requires the demolition of the garage, the current proposal seeks to reduce the height of the wall facing 17A Rathfarnham Park, to reduce the visual impact of the same in the neighbor's property. For doing so, it is proposed to remove the required concrete block courses and cap with a concrete capping.

As the side extension is just over 1 meter in width the intention is to blend the extension with the existing building. Thus, the building language seeks to integrate with the current façade, extending the roof to the side while keeping the slope in all sides of the roof, and creating a regularized shape for the hipped roof. This will allow the integration of the extension into the house, rather than reading it as an 'add on' element.

This approach is consistent with the recommendations set out in the South Dublin County Council House Extension Design Guide (2010). See extract below:



Seamless extension where materials and hipped roof match the original house

Figure 6: extract from South Dublin County Council House Extension Design Guide (2010). page 17

After considering the façade composition we propose to widen the door arch to allow the thickness of the external wall insulation and create an opening proportional to the new façade dimensions, and location of 2 new windows beside the existing openings.

The bay window feature is retained, with the addition of the external wall insulation to the walls and replacement of the existing windows.

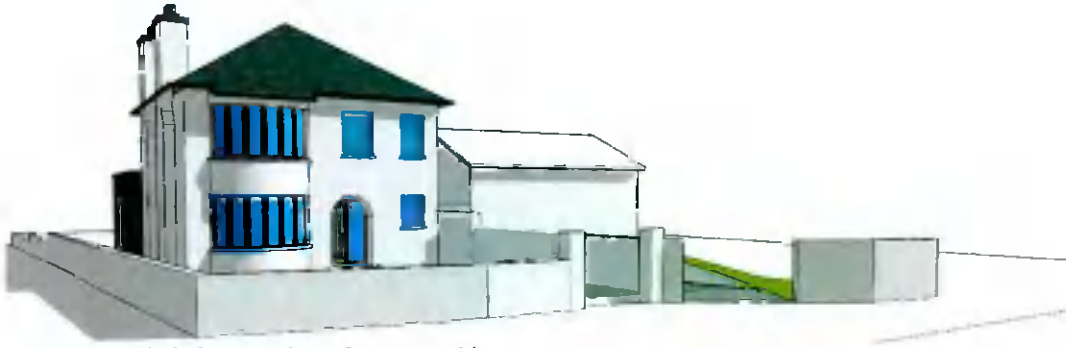


Figure 7: artistic impression of proposed house

To the back the extension is partially 1 and 2 storeys. The two storey side extension wraps around the back and drops to 1 storey towards the west.

A flat roof is proposed to the one storey rear extension. This element will integrate to complement the existing house by the use of same materials, however in order to express the stepping down in the façade, a flat roof is proposed to this area. This will also allow the creation of west facing openings to the bedroom, to allow solar gain to an otherwise north facing room.

A translucent glass screen has been proposed at the side of the roof. This roof is not intended to be used as an outdoor amenity space. The reason for screen is to prevent overlooking into the property at 15 Rathfarnham Park, while allowing light penetration into the First Floor accommodation.

As the terrain steps down towards the back, it is intended that the ground floor level will also step, to help with the change in levels. Thus, it is proposed that the kitchen will be 440mm lower than the main ground floor level in the house, and the family room 1.2 meters below the same level.

A parapet has also been shown in this flat roof edge to the north, the purpose for this is to provide edge protection for roof maintenance.

1.2.1 Wall finishes

In order to improve the thermal performance of the building envelop, it is proposed to apply an external insulation layer to the existing building, finished with a self-colouring render. The new walls will be rendered using the same texture and the colors proposed are indicated below.

The proposed color for the external render finish is an off white colour for the whole 2 storey extension element and the existing house, matching and creating an integrated building that reads as a whole.



0904



W1204 LaceWhite

Figure 8: proposed render colours (L1204 Lace white for main house and site extension, 0904 to single storey rear extension)

It is intended to have the single storey element to the back in a grey render, in order to differentiate the volume from the rest of the house and further emphasize the step in the façade.

1.2.2 Hipper roof

It is proposed that the existing building's hipped roof structure will be retained and extended to cover the first floor extensions. It is proposed to replace the existing tiles with new fibre cement tiles.

1.2.3 PV Panels

The proposal includes the installation of PV panels in the roof of the proposed building. Given the orientation, these are proposed to the south and eastern sides of the hipped roof.

1.2.4 Fenestration to Western Elevation

A window opening is proposed at the ground floor dining room facing toward the site of the garage at 15 Rathfarnham Park.

The single storey extension to the back has a window to the side. The building floor level in this area is sunken by 1.2 meters, and will be facing the side garage of the adjoining house, preventing overlooking issues.

At first floor level a window is proposed to the western side of the extension, to take advantage of its orientation. This window sits approximately 6 meters away from the side boundary, and additional translucent/frosted glass screen will be provided at the edge of the flat roof to prevent any potential for overlooking.

1.2.5 Fenestration to Eastern Elevation

4 new windows are proposed to the eastern elevation. All 4 windows are of equal size, and are not located in habitable rooms. The most southern window in this

façade is located at a lower level and will provide light to the new stairs in the house. The other 3 windows are at first floor and will provide light to corridor areas and will have translucent/frosted glass.

1.2.6 Demolition

To facilitate the proposed development, the demolition of the single storey garage, shed and outhouses will be required.

1.2.7 External Unit for Heat Pump

It is proposed to locate the external unit for the heat pump in the gap created between the boundary wall and the new side extension of the building, to the East. This unit will be screened off the neighbor's property by the boundary wall.

b

1.2.8 Utility meter wall

As part of the new works, a new gas and electricity meter wall will be required to serve the house. Bord gas networks and ESB have specific requirements in relation to the separation, height and other dimensional requirements for the construction for the meter walls. These have been adhered to and have dictated the dimensions of the proposed wall.

The chosen location for the same is at the edge of the current garage wall.

The new wall is independent from the boundary wall between 17A Rathfarnham Park and the subject property.

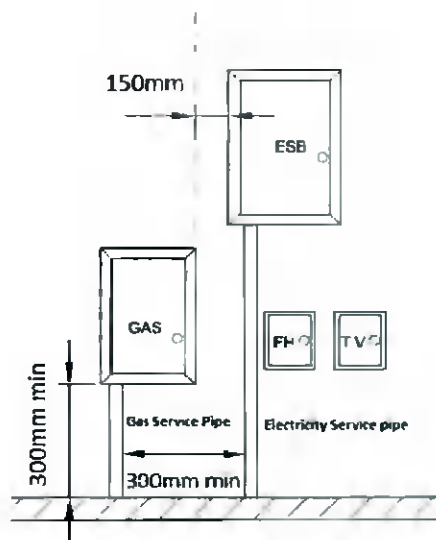


Figure 5 Minimum separation between Gas and other meters

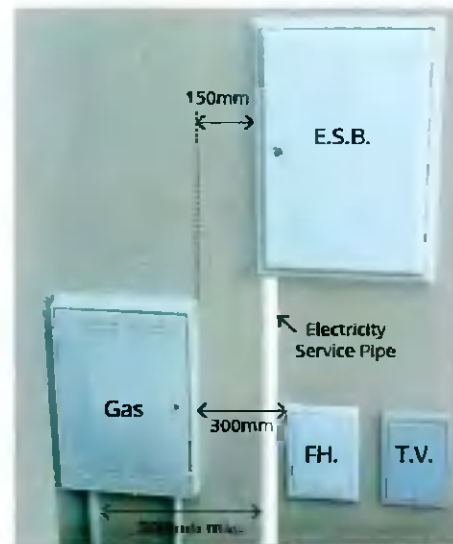


Figure 6 Minimum separation from the Gas Meter box to the Electricity meter

Figure 9: Extract from 'Guidelines for Designers and Builders -Domestic sites', from Gas Networks Ireland

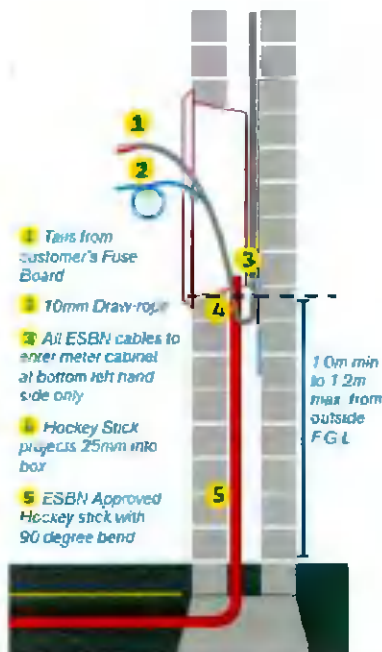


Figure 10: Extract from 'Your Meter Cabinet, location, installation and specification', from ESB Networks

1.3 Impact on neighboring properties.

1.3.1 Overbearing impact

In accordance with the House Extension Design Guide (2010), a 1m distance has been kept from the boundary to avoid the overbearing impact of the extension on the property at 17A Rathfarnham Park. This distance is typical in extensions of properties in the area.

To the west, this distance is increased to 2m for the single storey element and 6m for the two storey element.

This approach seems to be commonplace in extension works in the area (see reference photos below)



Figure 9: photographs of typical side and front extensions in the vicinity of the house

1.3.2 Daylight and over shadowing

In order to assess the impact of the shadow that the proposed extension will cast over the adjoining properties, a photographic record has been taken of the front of the house in a period between 10 am and 3 pm on the 28th of March 2022. See below:



Figure 10: photographic survey of the house carried out on the 28th of March 2022

In the duration of the survey, the shadow of the existing house at 17 Rathfarnham Park did not reach over the building at 17A Rathfarnham Park.

While the subject house did cast a shadow to 15 Rathfarnham Park, I do not believe that the set back and the geometry of the new extension will have a detrimental impact on the property to the West.

The overshadowing impact towards the has further being analysed by creating a volumetric model in Sketch up and the sun pattern has been applied considering the location and orientation. See below:

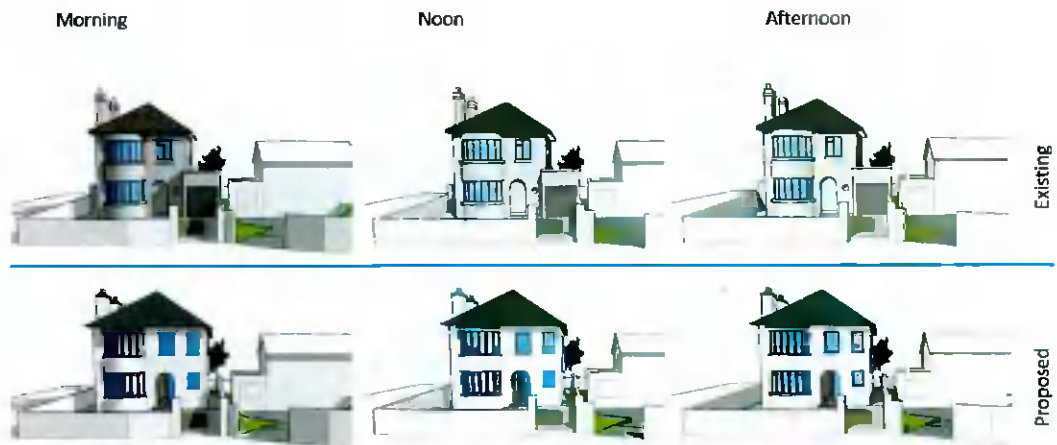


Figure 11: volumetric model of the house and neighboring property showing the potential impact of solar shading at 17A Rathfarnham Park by the proposed development

1.3.3 Overlooking and loss of privacy

Refer to sections 1.2.4 and 1.2.5 of this report.