



Liam Grant

191 Castle Park,

Tallaght,

Dublin 24.

01/04/22

Re: Planning Application Reference, SD22B/0091

Ref: Planning application for Single storey extension with tiled roof to the front & first floor extension with a tiled roof over existing rear extension to the existing two storey end of terraced dwelling with alterations to existing rear extension tiled roof; new high level window in existing gable wall structure; internal alterations & associate site.. all at 192 Castle Park, Tallaght, Dublin 24.

Applicant: Caroline Cummins.

To whom it concerns

With reference to the current planning application as stated above (reference SD22B/0091), I would like to highlight the following observations:

- We are concerned, most importantly, that the application does not correctly detail the existing foul and surface water pipes that service their site and the existing neighbours. It is of great concern that their existing foul water, as indicated on their plans, seems to be connected to the existing surface water drains for the rear of that terrace block and, if so, they maybe discharging their foul water into surface water drains.
Their existing ground floor plan is an extension of a previous ground floor rear extension by the previous owner and seems to have covered an existing foul water manhole which has given problems to the residence of this terrace block over the years. Access to this manhole now seems to be covered with no provision for a new manhole in the rear garden.
(I have attached and marked in red the existing foul water pipe run for the terrace and the approximate position of the foul water manhole that has been built over, on a copy of the drainage layout)
- The existing surface water proposal to the rear of the house is to a soak away. No details of this soakaway have been provided. We would ask for confirmation from an engineer that this has been constructed in accordance with building regulations and can cater for the additional run off. The planning application should note it's location and distance to our boundary. Since the construction of the second extension to the rear of the property our rear garden has been flooding and the existing boundary wall (40 years old) has only now cracked. The surface water should be connected to the existing surface water drains that service the rear of the terrace block.
- The proposed two storey extension is out of character for the area. None have been built to our knowledge. Given the orientation of the terrace block, the proposed two storey extension would greatly overshadow the rear of our property and remove existing direct

sunlight from our windows for a large period of the day. There is no proposed shadowing drawing attached to the application.

- The front extension shows a connection to the existing surface water drainage which would require ground works which are outside their site boundary. This has not been discussed with us and no consent has been given for works on our property. In the absence of consent there is no proposal for the surface water to the proposed extension to the front of the house.
- With the proposed increased floor area and capacity to the house there is no provision for additional parking spaces indicated. Currently, the applicant drives up from the main road, across the public open space grassed playing area and parks in front of her house on the grass. There are now driving tracks in the grassed playing area. Despite many requests to stop this activity and park on the front road or the cul de sac adjacent the property, the applicant has refused and continues this very dangerous parking.
- The existing rear boundary walls have been extended in height without permission. This application does need seem to address this.
- The proposed application seems to be missing dimensions to proposed plans, both internal and external, to allow for a clear assessment of the application in accordance with planning regulations. I would propose that the application might be deemed invalid on this point alone.

I would like to lodge and confirm our objection to this application for the reasons stated above. We would insist that the Planning authority note the concerns above and have them addressed and answered as part of the planning process.

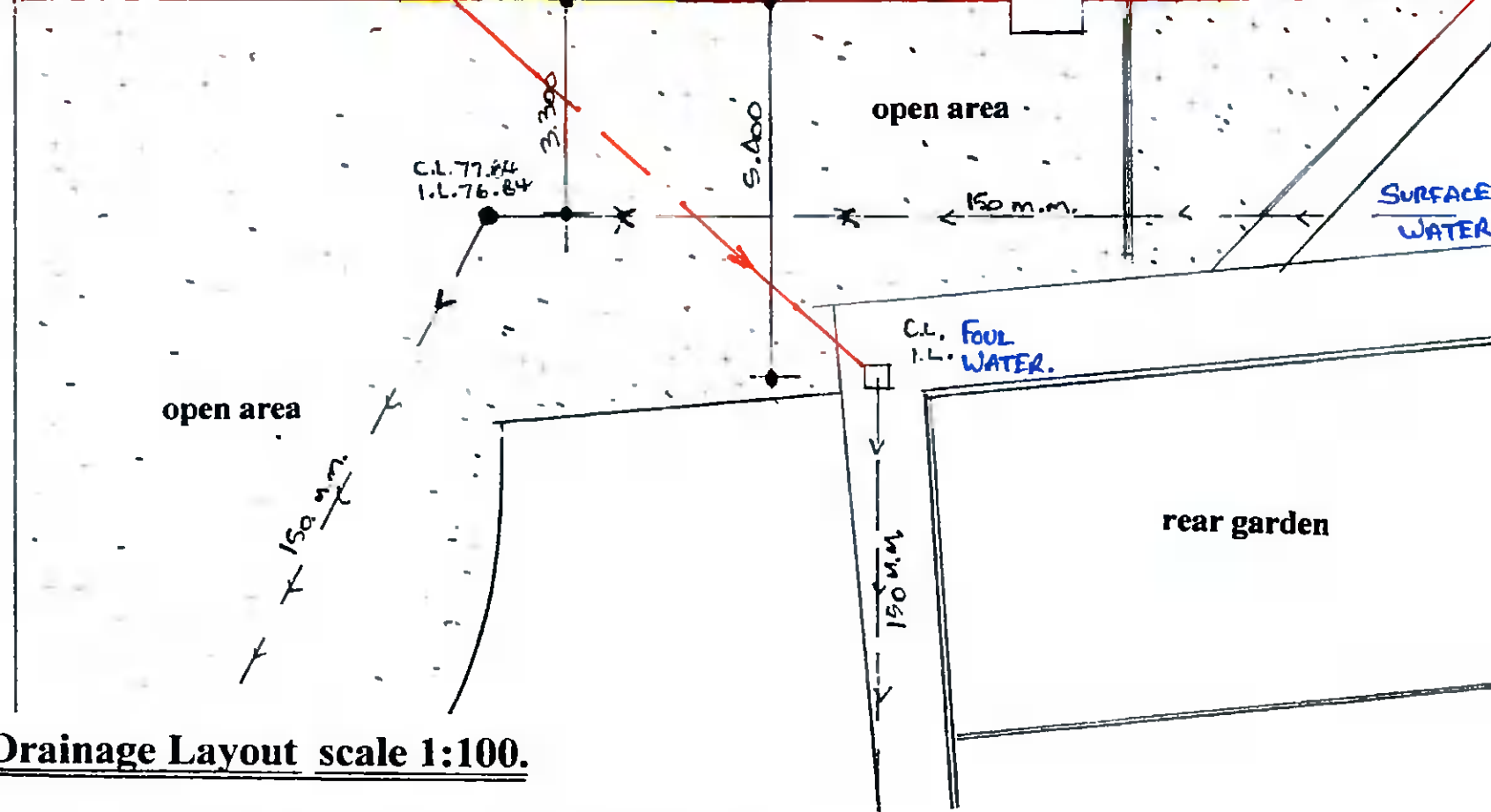
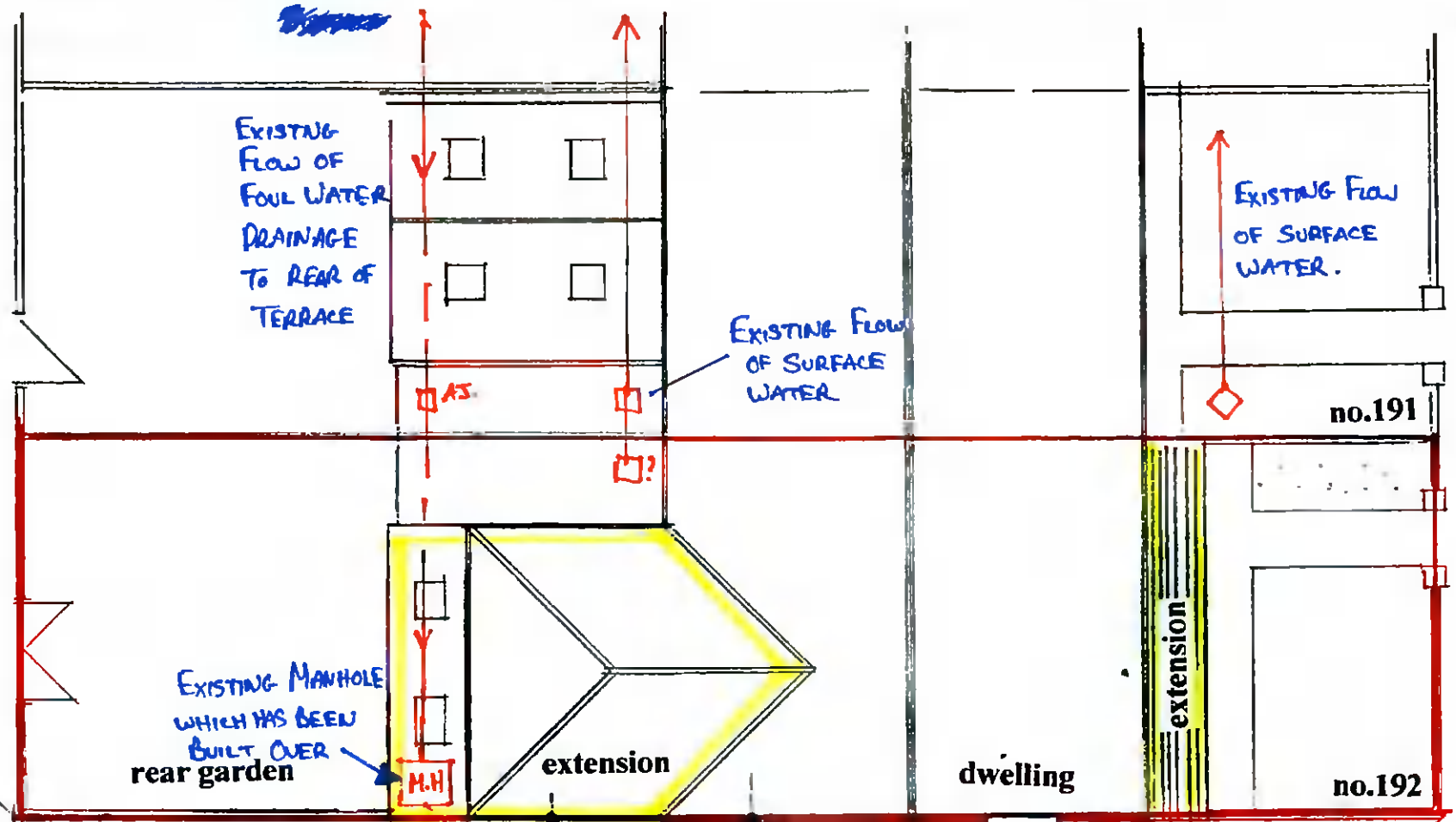
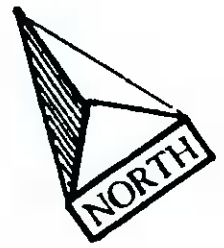
We await your response and reply to the concerns listed above.

Yours Sincerely,

A handwritten signature in black ink, appearing to read 'L. Grant', written over a horizontal line.

Liam Grant

Note : All dimensions to be checked on site prior to construction of the proposed works.

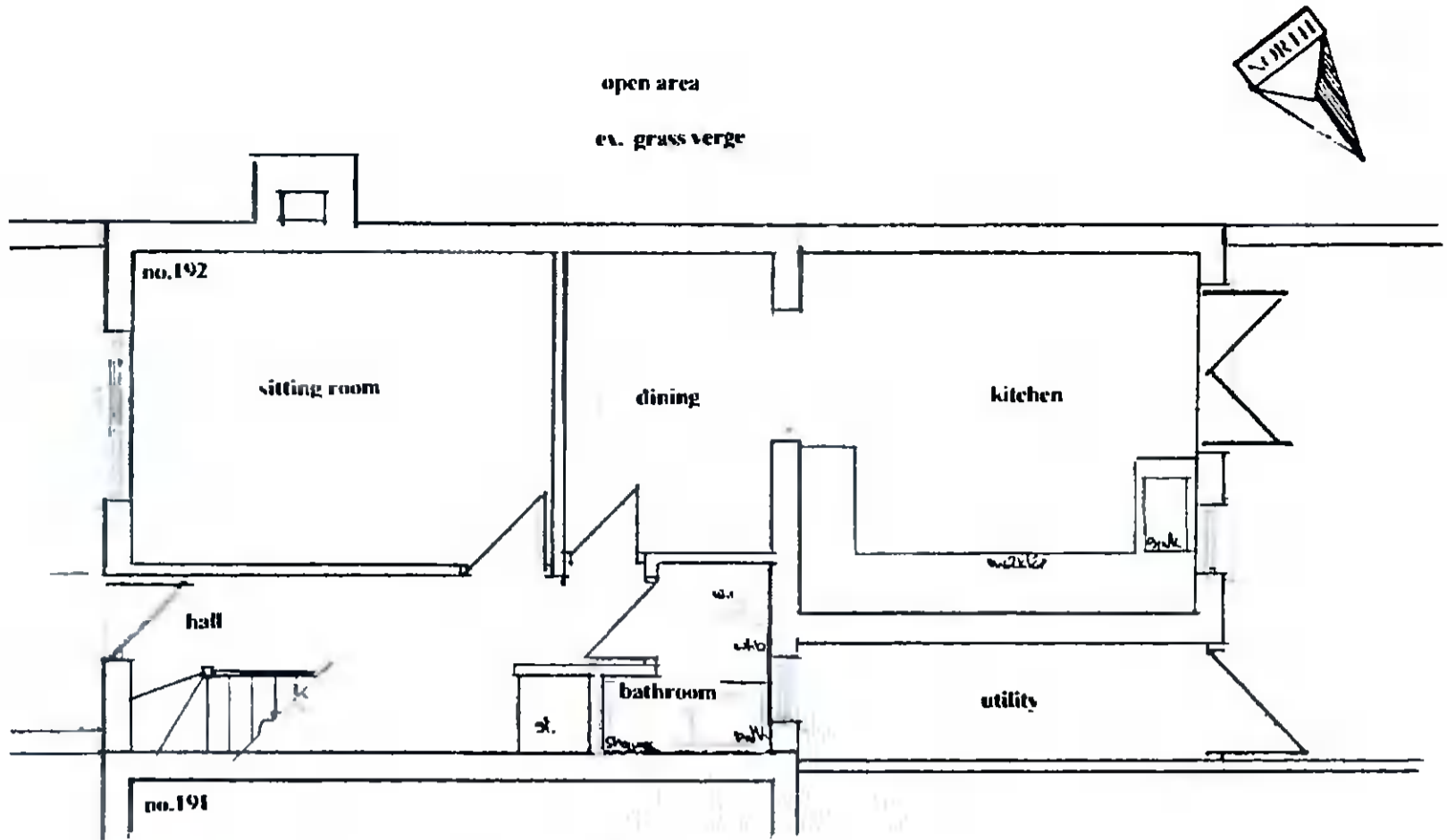


Drainage Layout scale 1:100.

[to be read in conjunction with Irish Water Web Map]

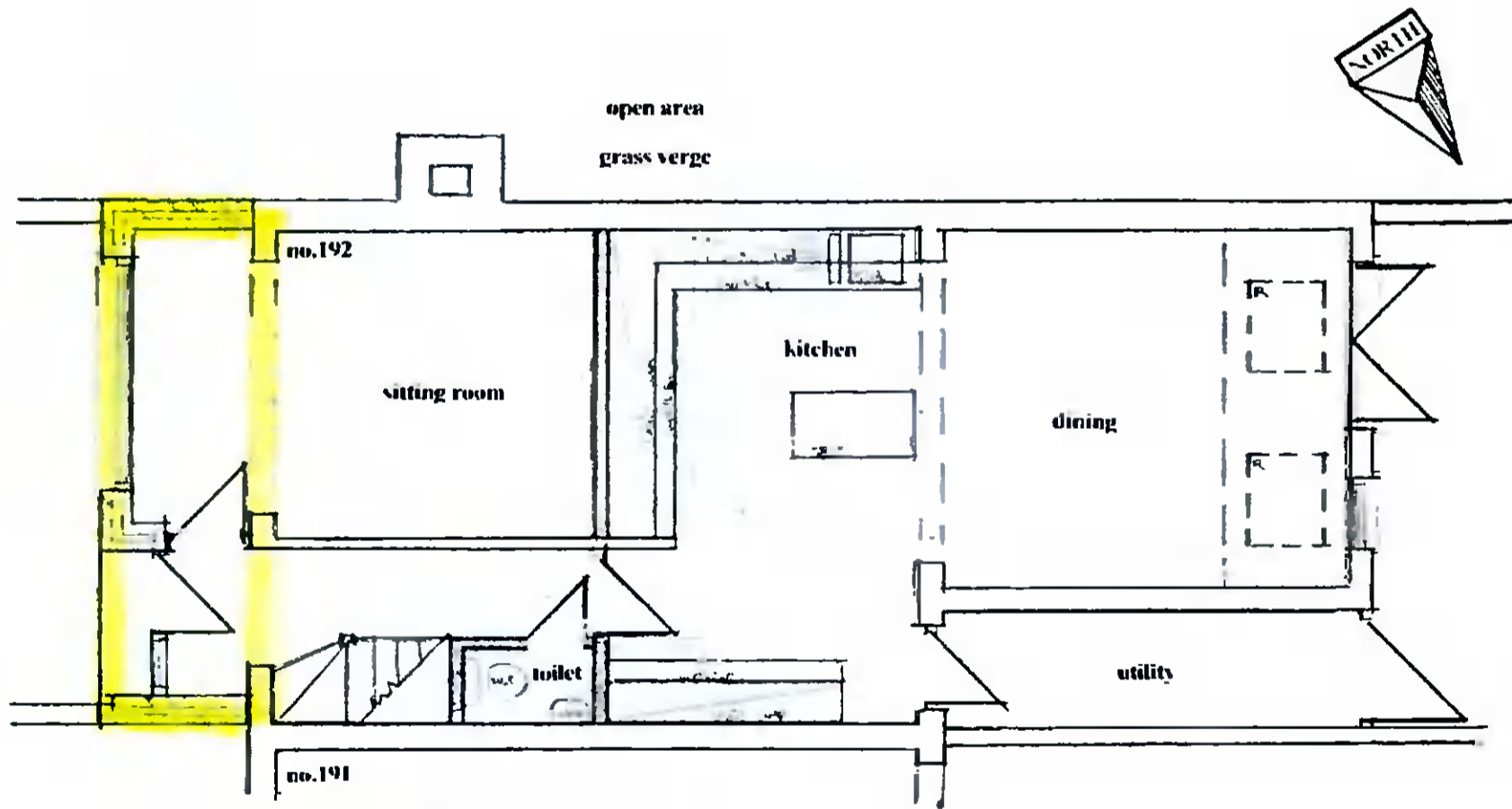
Drawing No. 16.02.2022

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Existing Ground Floor Plan scale 1:100.

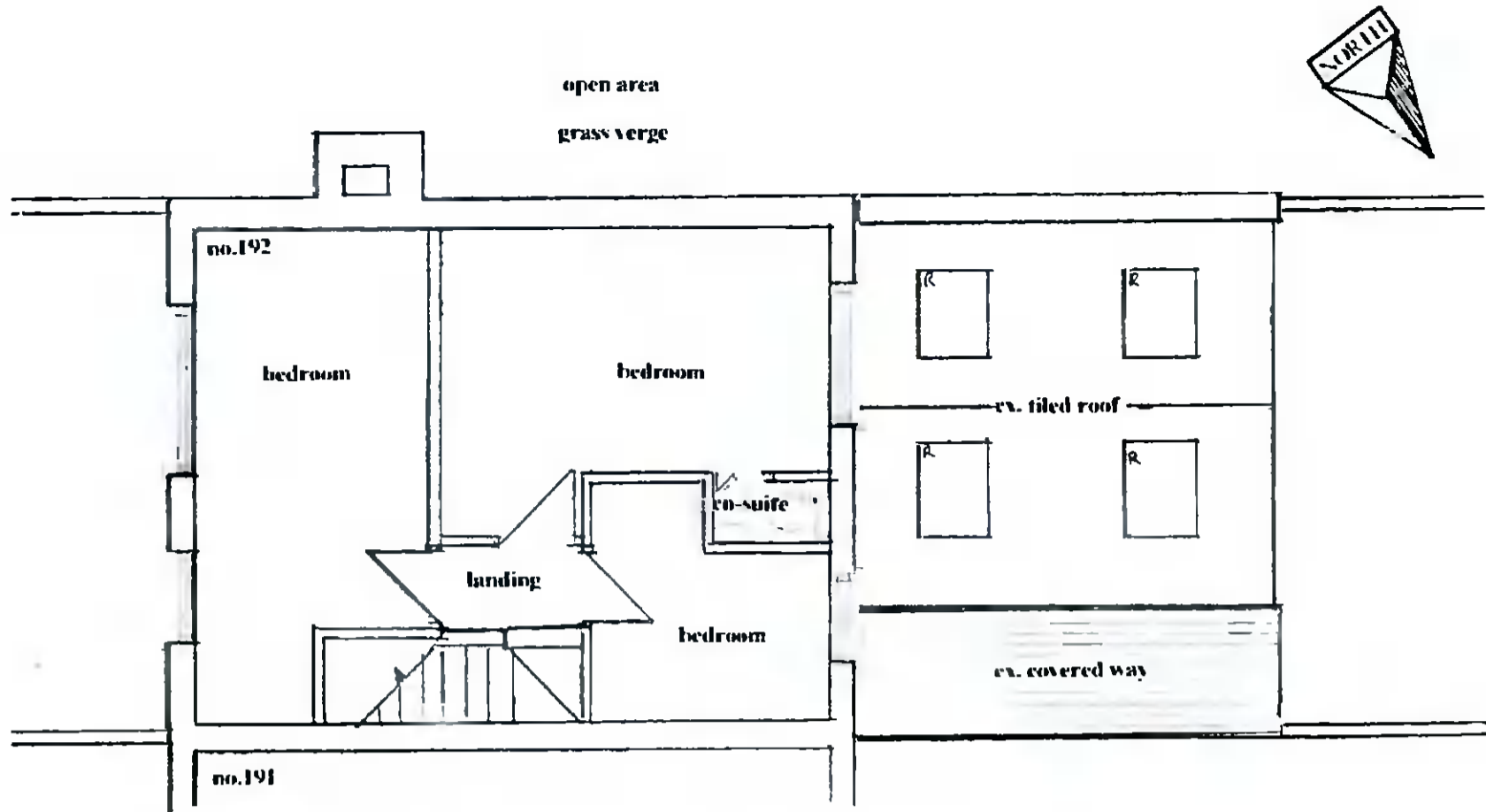
Plans NOT DIMENSIONED!



Proposed Ground Floor Plan scale 1:100.

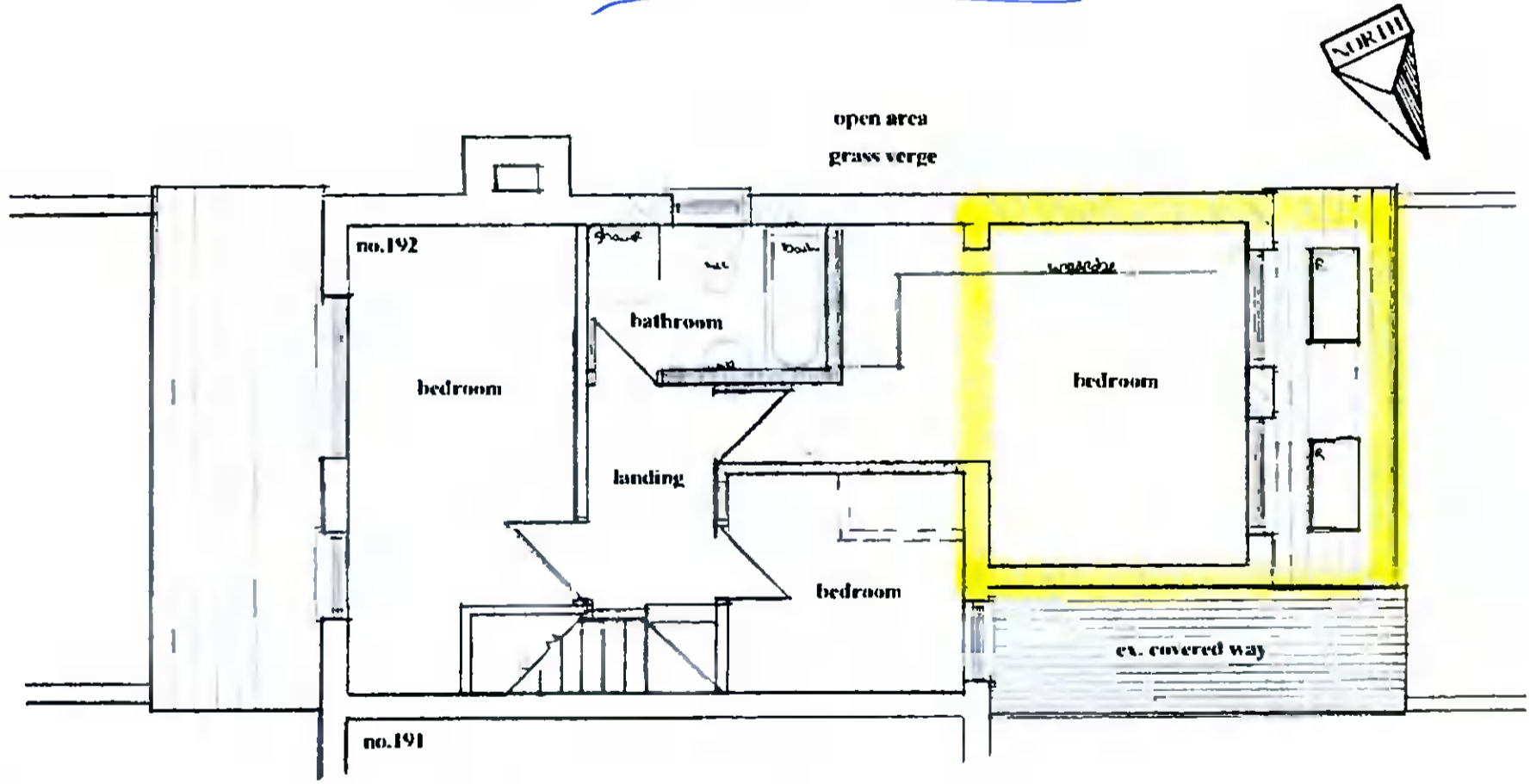
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Existing First Floor Plan scale 1:100.

② PLANS NOT DIMENSIONED!



Proposed First Floor Plan scale 1:100.

Drawing No. 03.02.2022

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Note : All dimensions to be checked on site prior to construction of the proposed works.

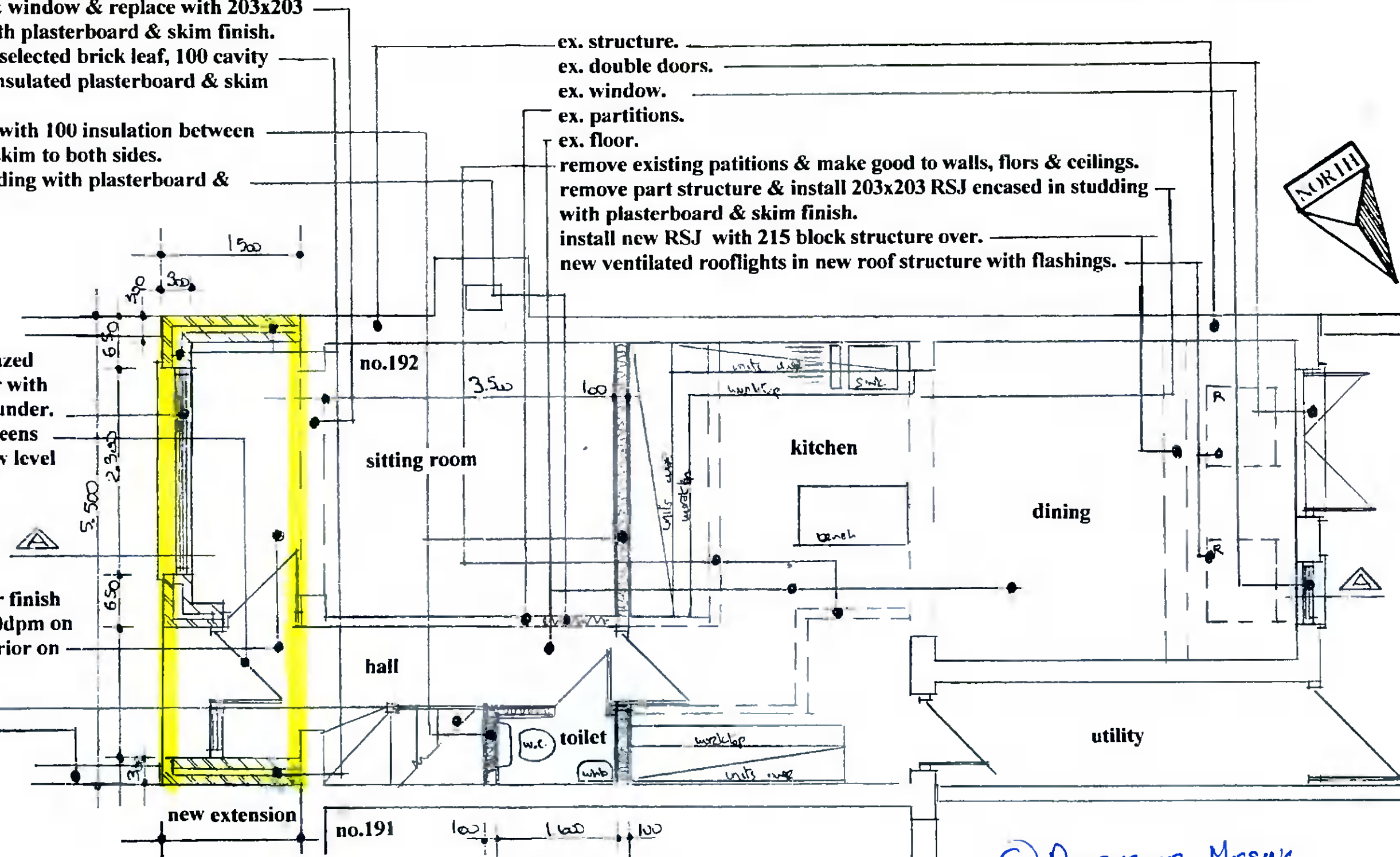
remove ex, part structure & window & replace with 203x203 RSJ encased in studding with plasterboard & skim finish.
 new 300 structure with 100 selected brick leaf, 100 cavity with 65 insulation with 65 insulated plasterboard & skim finish.
 new 100x50 stud partitions with 100 insulation between studs with plasterboard & skim to both sides.
 block up ex. door with studding with plasterboard & skim finish to both sides.

ex. structure.
 ex. double doors.
 ex. window.
 ex. partitions.
 ex. floor.
 remove existing patitions & make good to walls, flors & ceilings.
 remove part structure & install 203x203 RSJ encased in studding with plasterboard & skim finish.
 install new RSJ with 215 block structure over.
 new ventilated rooflights in new roof structure with flashings.

new selected upvc double glazed window with steel lintol over with precast concrete cill on dpc under.
 new selected door & side screens with steel lintol over with low level threshold cill on dpc under.

new floor to be selected floor finish on 150 concrete slab on 1200dpm on 100 insulation on radon barrier on sand barrier on hardcore.

ex. stairs
 ex. party walls.



Proposed Ground Floor Plan scale 1:50.

③ DIMENSIONS MISSING FOR REAR EXTENSION ??

Drawing No 08.02.2022

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Note : All dimensions to be checked on site prior to construction of the proposed works.

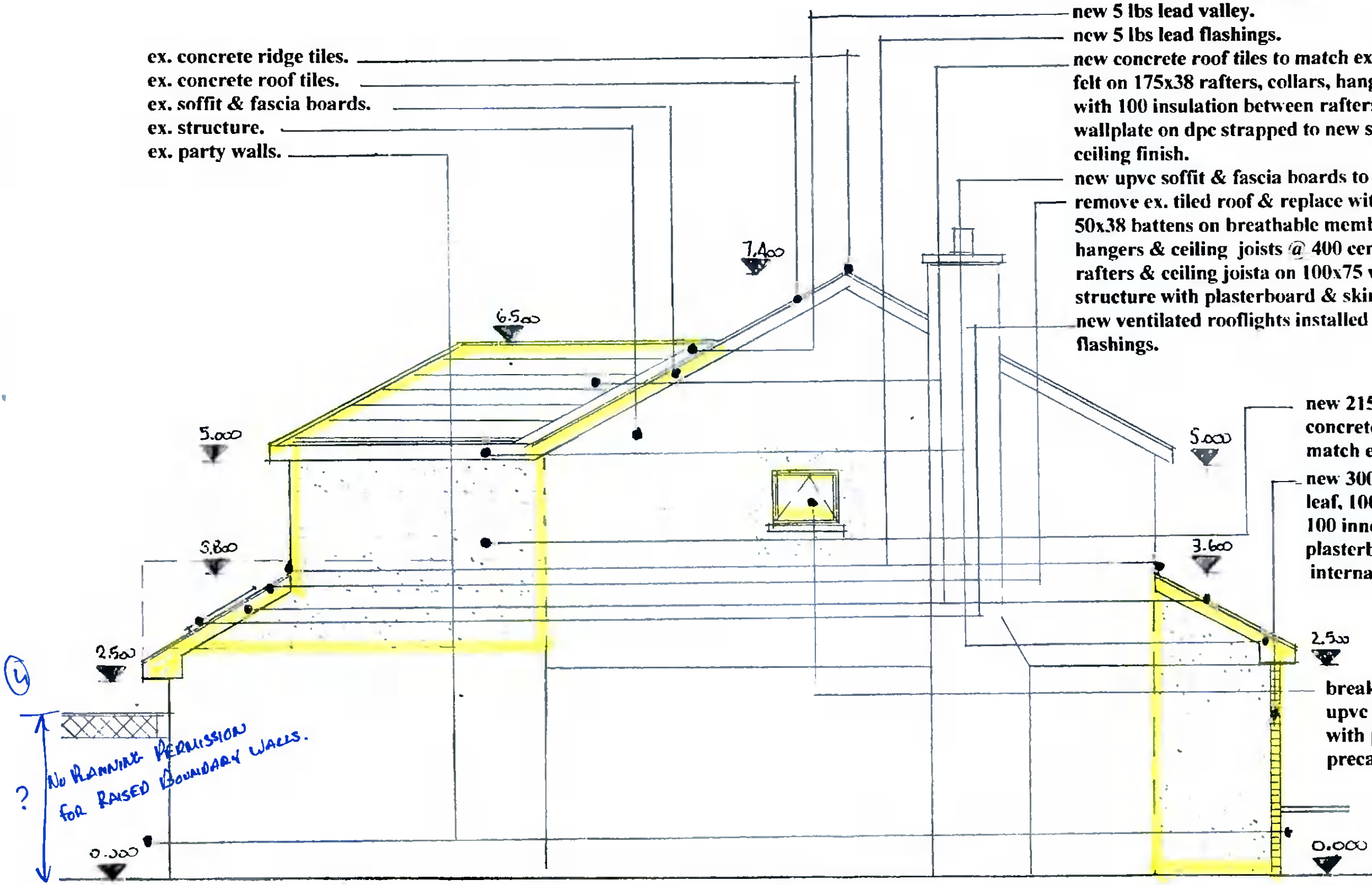
ex. concrete ridge tiles.
 ex. concrete roof tiles.
 ex. soffit & fascia boards.
 ex. structure.
 ex. party walls.

new 5 lbs lead valley.
 new 5 lbs lead flashings.
 new concrete roof tiles to match ex. on 50x38 battens on breathable felt on 175x38 rafters, collars, hangers & ceiling joists @ 400 centres with 100 insulation between rafters & ceiling joists on 100x75 wallplate on dpc strapped to new structure with plasterboard & skim ceiling finish.
 new upvc soffit & fascia boards to match ex, with vents in soffits.
 remove ex. tiled roof & replace with new roof tiles to match ex. on 50x38 battens on breathable membrane on 175x38 rafters, collars, hangers & ceiling joists @ 400 centres with 100 insulation between rafters & ceiling joists on 100x75 wallplate on dpc strapped to structure with plasterboard & skim ceiling finish.
 new ventilated rooflights installed in new roof structure with suitable flashings.

new 215 concrete block structure with concrete render finish externally to match ex. with 65 insulated plasterboard
 new 300 structure with 100 outer brick leaf, 100 cavity with 65 insulation with 100 inner block leaf with 65 insulated plasterboard & skim skim finish internally.

break out new opening & install new upvc obscure double glazed window with precast concrete lintol over with precast concrete cill

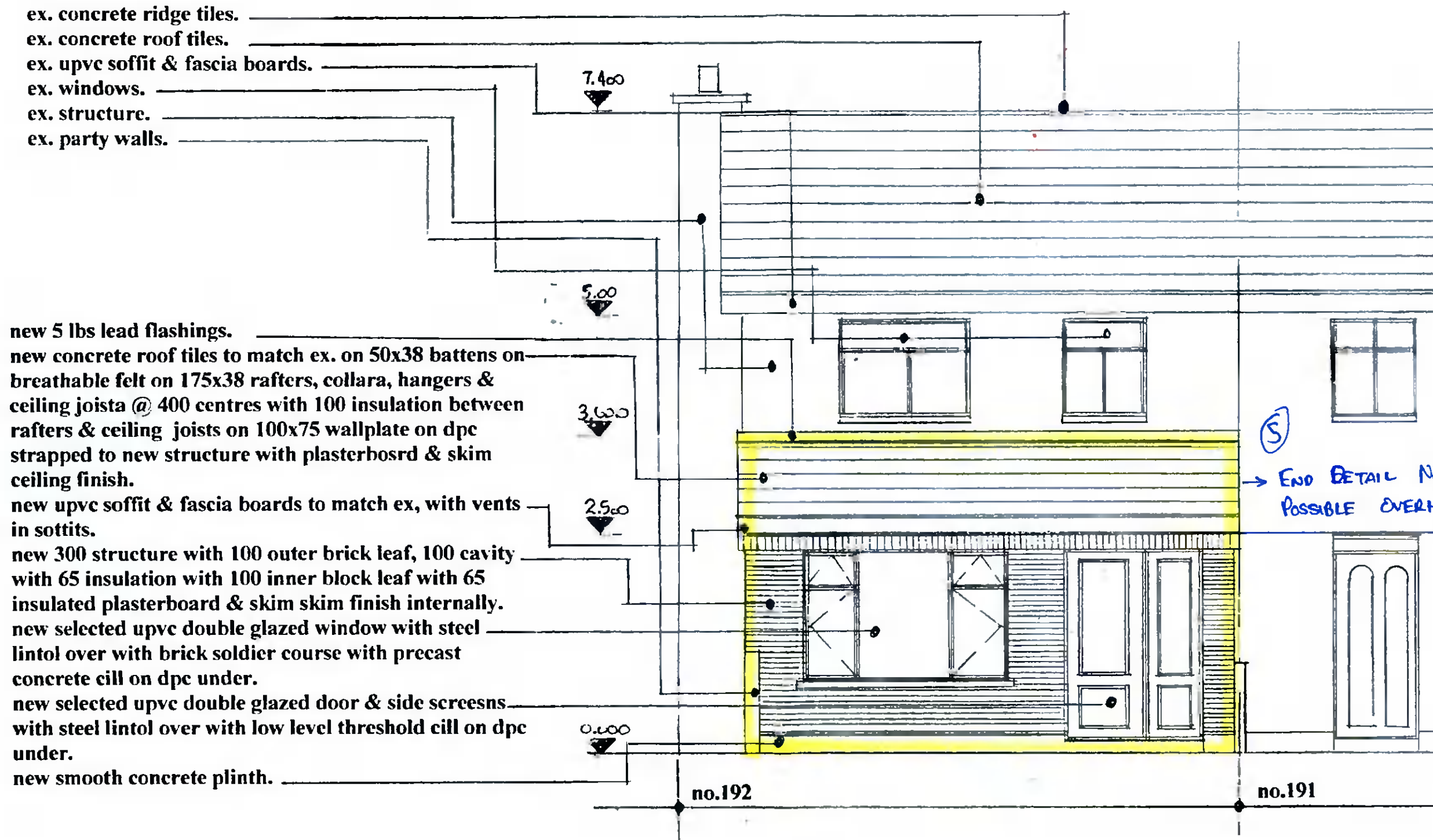
④
 ? No PLANNING PERMISSION FOR RAISED BOUNDARY WALLS.



Proposed Side Elevation from Open Area scale 1:50.

Drawing No. 11.02.2022
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Note : All dimensions to be checked on site prior to construction of the proposed works.



ex. concrete ridge tiles.

ex. concrete roof tiles.

ex. upvc soffit & fascia boards.

ex. windows.

ex. structure.

ex. party walls.

new 5 lbs lead flashings.

new concrete roof tiles to match ex. on 50x38 battens on breathable felt on 175x38 rafters, collara, hangers & ceiling joista @ 400 centres with 100 insulation between rafters & ceiling joists on 100x75 wallplate on dpc strapped to new structure with plasterbosrd & skim ceiling finish.

new upvc soffit & fascia boards to match ex, with vents in sottits.

new 300 structure with 100 outer brick leaf, 100 cavity with 65 insulation with 100 inner block leaf with 65 insulated plasterboard & skim skim finish internally.

new selected upvc double glazed window with steel lintol over with brick soldier course with precast concrete cill on dpc under.

new selected upvc double glazed door & side screesns with steel lintol over with low level threshold cill on dpc under.

new smooth concrete plinth.

END DETAIL NOT CORRECT
POSSIBLE OVERHANGING TO ADJACENT PROPERTY.

Proposed Front Elevation scale 1:50.

Drawing No. 10.02.2022

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**An Rannóg Talamhúsáide, Pleanála agus Iompair
Land Use, Planning & Transportation Department**

Telephone: 01 4149000 Fax: 01 4149104 Email: planning.dept@sdblincoco.ie

**Liam Grant
191 Castle Park,
Tallaght,
Dublin 24.**

Date: 06-Apr-2022

Dear Sir/Madam,

Register Ref: SD22B/0091
Development: Single storey extension with tiled roof to the front & first floor extension with a tiled roof over existing rear extension to the existing two storey end of terraced dwelling with alterations to existing rear extension tiled roof; new high level window in existing gable wall structure; internal alterations & associate site.
Location: 192, Castle Park, Dublin 24
Applicant: Caroline Cummins
Application Type: Permission
Date Rec'd: 01-Mar-2022

I wish to acknowledge receipt of your submission in connection with the above planning application. The appropriate fee of €20.00 has been paid and your submission is in accordance with the appropriate provisions of the Planning and Development Regulations 2001(as amended). The contents of your submission will be brought to the attention of the Planning Officer during the course of consideration of this application.

This is an important document. You will be required to produce this document to An Bord Pleanála if you wish to appeal the decision of the Council when it is made. You will be informed of the decision in due course. Please be advised that all current applications are available for inspection at the public counter and on the Council's Website, www.sdblincoco.ie.

You may wish to avail of the Planning Departments email notification system on our website. When in the **Planning Applications** part of the Council website, www.sdblincoco.ie and when viewing an application on which a decision has not been made, you can input your email address into the box named **"Notify me of changes"** and click on **"Subscribe"**. You should automatically receive an email notification when the decision is made. Please ensure that you submit a valid email address.

Please note: If you make a submission in respect of a planning application, the Council is obliged to make that document publicly available for inspection as soon as possible after receipt. Submissions are made available on the planning file at the Planning Department's public counter and with the exception of those of a personal nature, are also published on the Council's website along with the full contents of a planning application.

Yours faithfully,

M. Furney
for **Senior Planner**