

Rustic Lodge,
39 Whitehall Road,
Terenure,
Dublin, D12 N265

Senior Executive Officer,
Planning Department,
South Dublin County Council,
Town Centre,
Tallaght,
Dublin 24.



Dear Sir/Madam,

**Ref: Planning Application SD 22B/0088
37 Whitehall Road, Terenure, Dublin D12.**

Our Observations:

With reference to the above planning application, we have some reservations about the greatly increased mass of the proposed extension. Therefore, in order to protect our own property we do need to raise several issues, the most serious of which concerns the proposed alterations to the present Office/Room, which abuts our former garage (a studio since 1988). We have sought a Structural Engineer's advice and he concurs.

History: To facilitate the building of the existing structure, over their adjoining, converted garage, the previous owner of 39, Whitehall Road, Daniel Broad, apparently gave verbal permission to Victor Byrne of 37, Whitehall Road, to build a wall on top of the party (then garden-wall) on the North-Eastern side of our property, in the 1960s and, directly against our property. This erroneous decision, even if made in good faith, was always going to present future problems and, in the present planning application they could manifest themselves as follows;

1. Demolition of this current structure at No. 37

- a) Demolition of this current structure at No. 37 could seriously jeopardise the stability of our side of the structure.
- b) Consideration needs to be given as to how the foundations are secured and the remaining wall of our studio is weather-proofed.

2. Building the new side wall and gable of the proposed extension:

- *We do not wish to give access to build from our side.*
- *We do not wish to have any guttering or fascia boards over-sailing our property.*
- The new construction, at this point, will be extensive in length (over 30 feet) and two stories, plus gable, high.
- Foundations were initially to support a garden wall. Further development took this to single story equalling 1½ times weight bearing. The current proposal takes this to 2 story plus gable weight bearing.
- The history of reinforced foundations is not known.
- From the drawings submitted, it is unclear as to whether the original gap between the properties will be restored.
- If the proposed new-build adjoins our property, it will virtually establish a terrace of 3 houses, Nos 35, 37 and 39.
- The cutting of new and, we presume necessary, foundations could cause severe problems and possible undermining, without under-pinning.
- This, therefore, raises several questions:

Q2a: How, and where, will the new end wall of the proposed building be constructed?

The drawings are unclear therefore we ask the following:

- i. Is the intent to build on the party wall whilst keeping to their side of the centre line?
- ii. Is the intent to build on our side of the centre line?
- iii. Is the intent to build an entirely new wall on their side of the garden wall?
- iv. How will adequate foundations be accomplished?

Q 2b. How will the new wall will be rendered and plastered without access to our property and the adjoining roof of our studio?

History: Because of the current adjoining wall of No.37, being higher than our studio flat roof, which was renovated in 1988, it was necessary to have our flat-roof flashing cut into this adjoining wall, as the original gap between our properties no longer existed.

Re-construction will, we presume, involve the removal of the current flashing which would have to be made good.

Q2c. Can a Planning Condition be laid down to ensure that our flat roof be made good at no cost to us?

Q2d. How can future development of our property be protected?

If at any time in the future there is a requirement to build on our side of the proposed new build how can this be legally assured?

3. Proposed Building extending beyond the building-line.

The proposed extension of the existing Office/Room, including roof extension at that point, will be four feet beyond the building-line of our frontages. A protruding, flat roofed, Oriel/Bay window will take this further out. This could encroach upon our existing front garden wall and property.

Q3a. How will the proposed house wall be built, rendered and plastered without access to our property or damage to existing hedging and garden wall?

We do not wish to have our front garden altered in any way, at this location, to accommodate such an extension.

4. Proposed Rear Dormer Window at third level.

Our concern here is loss of privacy to our rear garden, un-interrupted for 90 years now.

Both houses at Nos: 41 and 43 have extended their homes into their attic. Light is achieved by the use of unobtrusive Velux Windows. See photos attached.

This does not cause any loss of privacy to our rear garden, which we greatly cherish and appreciate.

Given a choice, we would prefer Velux windows, as opposed to the proposed Dormer Window structure. We also attach photos of the roof of no: 37 which shows the potential overlooking.

5. Side window to the rear of the property at ground level.

We have no issue with the enlargement of the existing extension to the rear of No: 37. However, to future proof legality could the distance of the side window from our property be checked to see if it is compliant?

6. Drainage issues:

All drainage issues should be monitored carefully. Our concerns here arise from previous, historic floodings of our property which remain unresolved due to delays to the FAS Scheme at Bord Pleanála, and the proposed remedial work on the fragile sewerage system locally, both well documented with SDCC drainage department.

If these serious issues are taken into consideration and addressed, we would have no objection to other aspects of this project.

Yours sincerely,

Handwritten signatures of Laurence Foster and Pauline Foster in cursive script.

Laurence and Pauline Foster.

Email: laurencefoster2482@hotmail.com

Phone: 01 455 5946.

Encl: Copies of 2 sections of the drawings indicating points of issue/queries.

Photographs attached to this letter.

31 MAR 2022

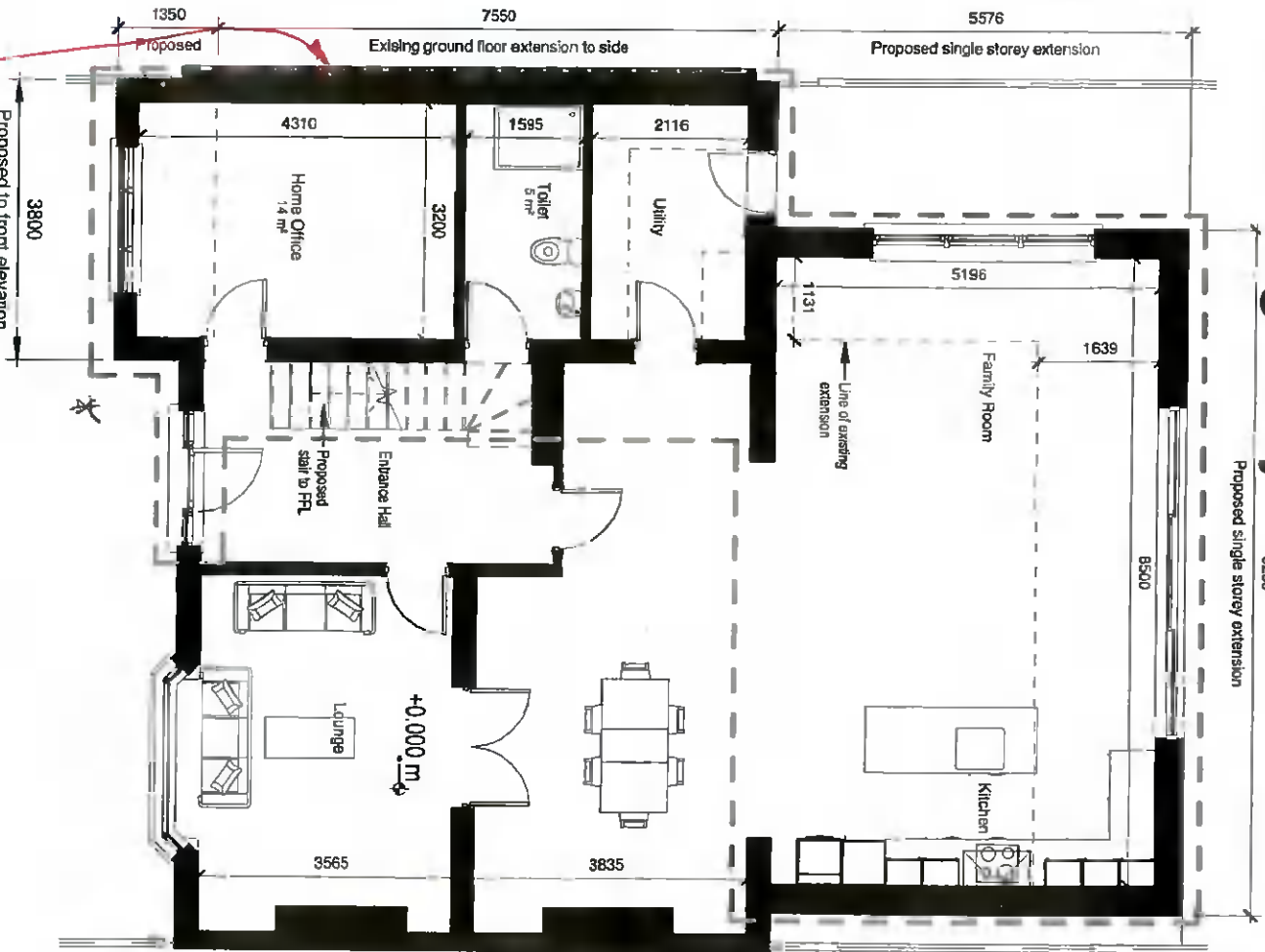


Nos 41 & 45 Whitehall Road – No Overlook from Velux windows.



No 37, Whitehall Road Roof – Showing potential for loss of privacy from proposed dormer addition.

Planning Only



Proposed -1-Ground Floor

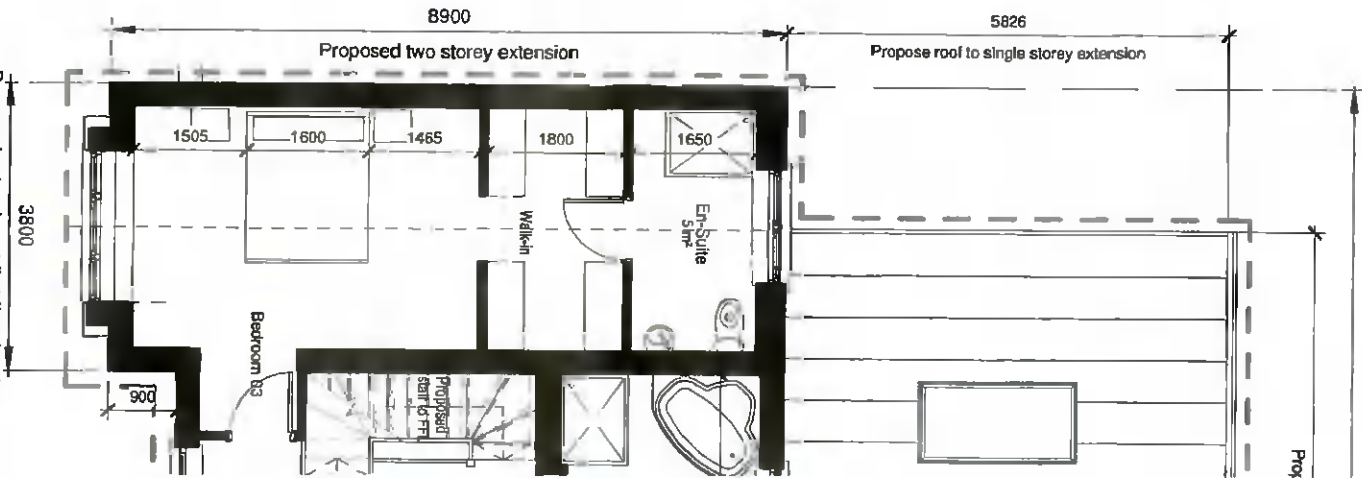
1 : 100

Old area would be still there!! but will (new) be inside it. How are p.c. foundations being strengthened for new level.



Proposed -4-Roof Plan

1 : 200



Proposed -2-First Floor

1 : 100

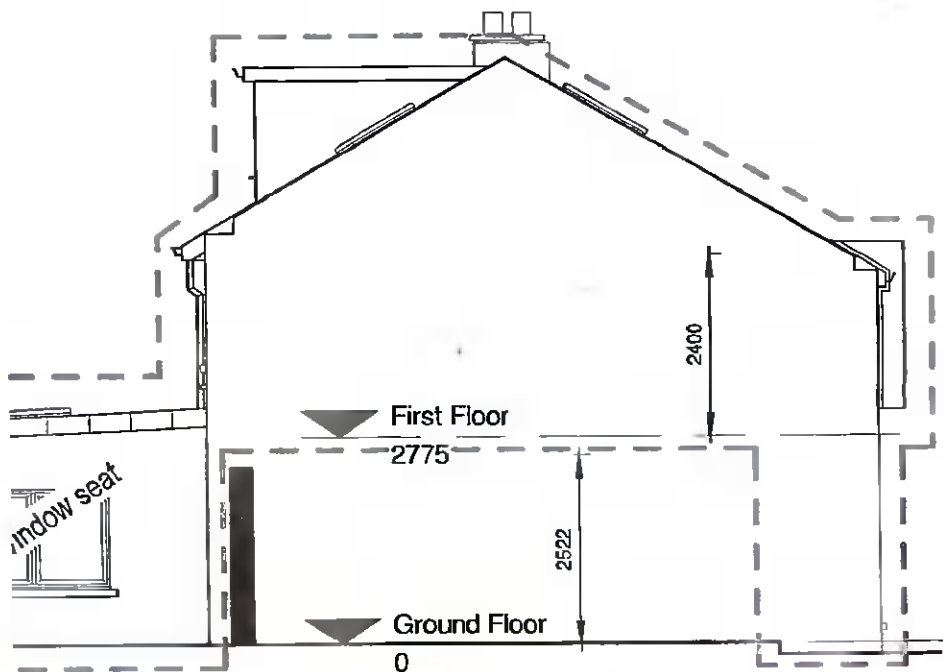
Ensure all works carried out in accordance with current building regulations.
 All changes to the construction design should be verified with the architect.



Existing Rear View 1



Proposed Rear View 1



Elevation

Note: Red arrow is structural Engineers query re boundary wall

BG ARCHITECTURAL SERVICES		
51 Red Arches Rd, Dublin 13 0876187750 Brenguiden@gmail.com		
PROJECT/CLIENT Lisa and Fergal Griffin, 37 whitehall Road, Terenure, D6		
DESCRIPTION Proposed - GA - Elevations and Section		
Date 01.09.2021	Scale (@ A3) 1 : 100	
Drawn by BG	DRAWING NUMBER A201	REV
Checked by BG		

An Rannóg Talamhúsáide, Pleanála agus Iompair
Land Use, Planning & Transportation Department
Telephone: 01 4149000 Fax: 01 4149104 Email: planning.dept@sdublincoco.ie

Pauline & Laurence Foster
39, Whitehall Road
Terenure
Dublin 12

Date: 01-Apr-2022

Dear Sir/Madam,

Register Ref: SD22B/0088
Development: New single storey ground floor extension to the rear elevation including internal ground and first floor plan alterations; new ground and first floor extension to the front/side elevation; fenestration alterations to the front first floor landing window and ground floor entrance door; roof alterations required for first side extension including conversion of existing and proposed attic spaces with roof dormer to the rear elevation for the provision of a bedroom, ensuite bathroom and attic storage at second level and roof windows to the front elevation ; including the widening of existing vehicular entrance onto Whitehall Road and all associated site works.
Location: 37, Whitehall Road, Dublin 12
Applicant: Lisa and Fergal Griffin
Application Type: Permission
Date Rec'd: 25-Feb-2022

I wish to acknowledge receipt of your submission in connection with the above planning application. The appropriate fee of €20.00 has been paid and your submission is in accordance with the appropriate provisions of the Planning and Development Regulations 2001(as amended). The contents of your submission will be brought to the attention of the Planning Officer during the course of consideration of this application.

This is an important document. You will be required to produce this document to An Bord Pleanála if you wish to appeal the decision of the Council when it is made. You will be informed of the decision in due course. Please be advised that all current applications are available for inspection at the public counter and on the Council's Website, www.sdublincoco.ie.

You may wish to avail of the Planning Departments email notification system on our website. When in the *Planning Applications* part of the Council website, www.sdublincoco.ie, and when viewing an application on which a decision has not been made, you can input your email address into the box named *"Notify me of changes"* and click on *"Subscribe"*. You should automatically receive an email notification when the decision is made. Please ensure that you submit a valid email address.

Please note: If you make a submission in respect of a planning application, the Council is obliged to make that document publicly available for inspection as soon as possible after receipt. Submissions are made available on the planning file at the Planning Department's public counter and with the exception of those of a personal nature, are also published on the Council's website along with the full contents of a planning application.

Yours faithfully,

M. Furney
for Senior Planner