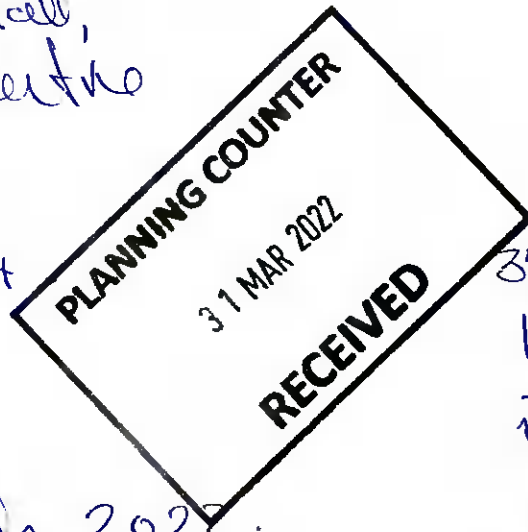


OBJECTION TO PLAN SD 22 B 10088 (1)

South Dublin County Council  
County Hall,  
Town Centre  
Tallaght.  
Dublin 24



35 Whitehall Road  
Kinnage,  
Dublin 12  
D12 E443.

31st March 2022.

Reference: SD 22 B 10088

To Planning Registry.

I am writing to you to express my concern about planning permission sought by my neighbours at 37 Whitehall Road, Kinnage, Dublin 12.

The part of the plan I'm objecting to is the extension at the back of the house. This would be an extension to an existing extension. The existing extension extends 12 feet from the back of the house, the proposed plan is to extend that by another 6½ feet which will make an 18½ foot wall along the side of my house, completely

overshadowing my sitting room, which is only 5 feet from their existing extension. What light I get from there now would be permanently blocked.

Because my house hasn't been built out at the back (it's the original footprint of the house) my neighbour's current extension creates a very dark area in the corner where the windows of my sitting room are, and the door to my terrace & back garden.

I've learned to live with this and work around it when I can, but I can't imagine what another 6 1/2 feet multiplied by the height would be like.

I have measured 18 1/2 feet along my back wall and it stretches over to my kitchen window.

This is going to make a significant difference to the quality of my life in my house.

This room is where I spend most of my time. If this proposed extension goes ahead it will change my house. This is

Why, although I really don't want to have to object to any neighbours plans for their house and home, because we are attached, I feel I must.

As the gardens are north facing, where the proposal extension is planned is exactly where the evening sun falls on my terrace. Is it OK that this be blocked permanently?

I'm not sure what you base your decisions on but if it includes my enjoyment of my home, quality of life and quality of my living situation I ask you to take my points into account.

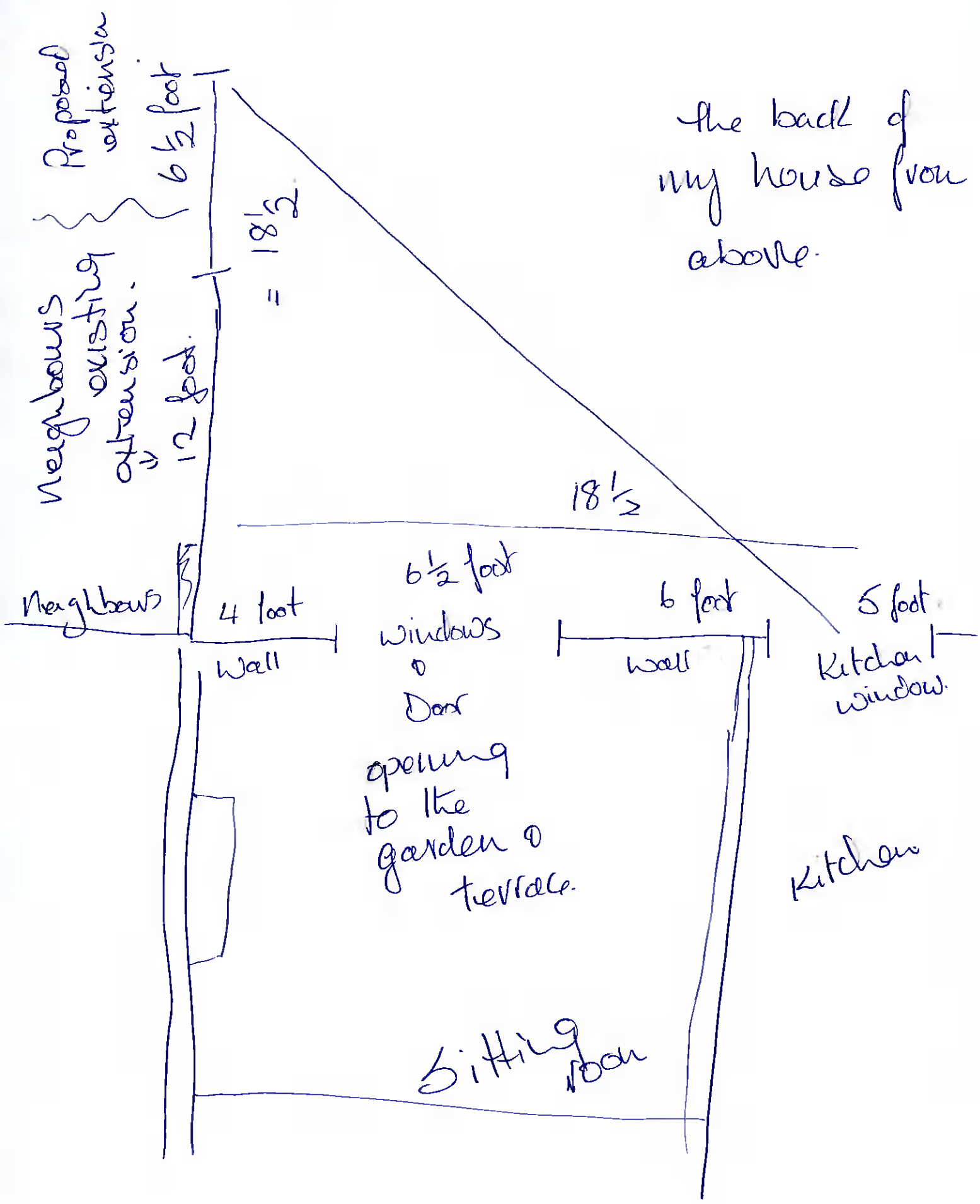
I have included a few drawings to show how it will effect my house

May Byrne

35 Whitehall Rd.

MAY BYRNE.

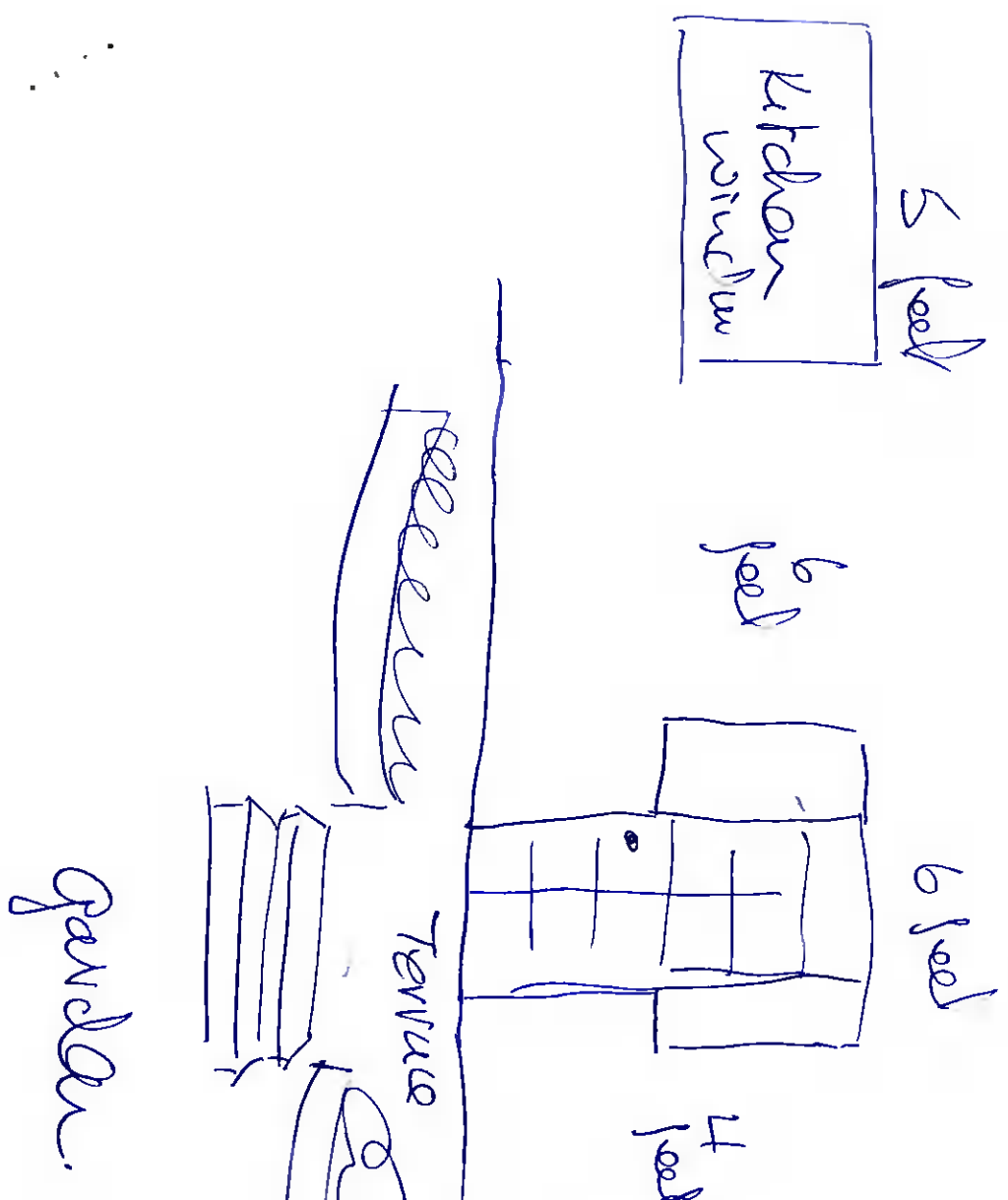
the back of my house from above.



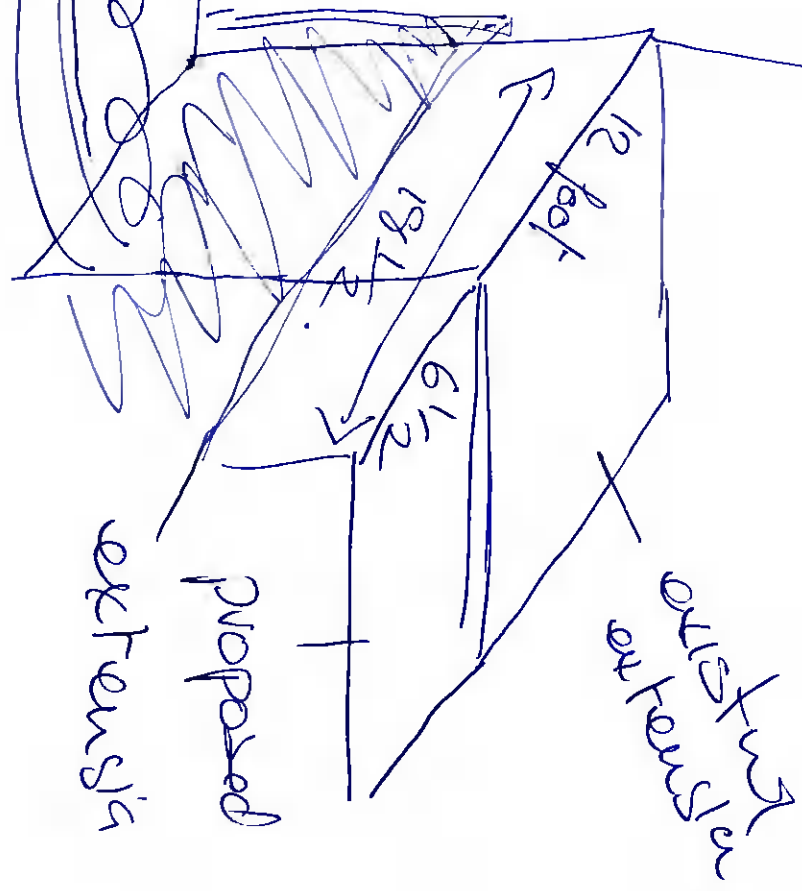
These are all lengths.

Back of house

35



37



**An Rannóg Talamhúsáide, Pleanála agus Iompair**  
**Land Use, Planning & Transportation Department**  
Telephone: 01 4149000 Fax: 01 4149104 Email: [planning.dept@sdublincoco.ie](mailto:planning.dept@sdublincoco.ie)

**May Byrne**  
**35, Whitehall Road**  
**Dublin 12**

**Date: 01-Apr-2022**

Dear Sir/Madam,

**Register Ref:** SD22B/0088  
**Development:** New single storey ground floor extension to the rear elevation including internal ground and first floor plan alterations: new ground and first floor extension to the front/side elevation; fenestration alterations to the front first floor landing window and ground floor entrance door; roof alterations required for first side extension including conversion of existing and proposed attic spaces with roof dormer to the rear elevation for the provision of a bedroom, ensuite bathroom and attic storage at second level and roof windows to the front elevation ; including the widening of existing vehicular entrance onto Whitehall Road and all associated site works.  
**Location:** 37, Whitehall Road, Dublin 12  
**Applicant:** Lisa and Fergal Griffin  
**Application Type:** Permission  
**Date Rec'd:** 25-Feb-2022

I wish to acknowledge receipt of your submission in connection with the above planning application. The appropriate fee of €20.00 has been paid and your submission is in accordance with the appropriate provisions of the Planning and Development Regulations 2001(as amended). The contents of your submission will be brought to the attention of the Planning Officer during the course of consideration of this application.

This is an important document. You will be required to produce this document to An Bord Pleanála if you wish to appeal the decision of the Council when it is made. You will be informed of the decision in due course. Please be advised that all current applications are available for inspection at the public counter and on the Council's Website, [www.sdublincoco.ie](http://www.sdublincoco.ie).

You may wish to avail of the Planning Departments email notification system on our website. When in the **Planning Applications** part of the Council website, [www.sdublincoco.ie](http://www.sdublincoco.ie), and when viewing an application on which a decision has not been made, you can input your email address into the box named **"Notify me of changes"** and click on **"Subscribe"**. You should automatically receive an email notification when the decision is made. Please ensure that you submit a valid email address.



**Please note:** If you make a submission in respect of a planning application, the Council is obliged to make that document publicly available for inspection as soon as possible after receipt. Submissions are made available on the planning file at the Planning Department's public counter and with the exception of those of a personal nature, are also published on the Council's website along with the full contents of a planning application.

Yours faithfully,

M. Furney  
for Senior Planner