

REPORT ON THE ARCHITECTURAL/HISTORIC
SIGNIFICANCE OF LANDS AT WHITECHURCH ROAD
(SILVERACRE BUNGALOW), RATHFARNHAM, DUBLIN 14
WITHIN THE ORIGINAL CURTILAGE OF THE MILL HOUSE
(A PROTECTED STRUCTURE)

&

OBSERVATIONS ON THE IMPACT OF THE CURRENT
PROPOSAL



NOVEMBER 2021



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Report On The Architectural/Historic Significance Of Lands At Whitechurch Road (Silveracre Bungalow), Rathfarnham, Dublin 14 Within The Original Curtilage Of The Mill House (A Protected Structure) & Observations On The Impact Of The Current Proposal

1. Introduction

This report has been completed on instruction from Crionna Stokes of Dunmoy Properties Limited. It provides an assessment of the significance of the development site at Silveracre Bungalow, Whitechurch Road, Rathfarnham, its setting and context, identifies any associated special architectural and historic character also any other features which are of note. An evaluation of the chronology of the site is also included. The report outlines the scope of the development proposed, and assesses the potential impact on the significance of the site. In the preparation of this report the site was evaluated and photographically recorded internally and externally. These photographs are appended to the report. The impact of the proposal on the significance and character of the site has been assessed in accordance with the 2000 Planning Act and the DoAHG Guidelines on Architectural Heritage.

The subject site is zoned – Objective RES, with the objective “to protect and/ or improve residential amenity.”

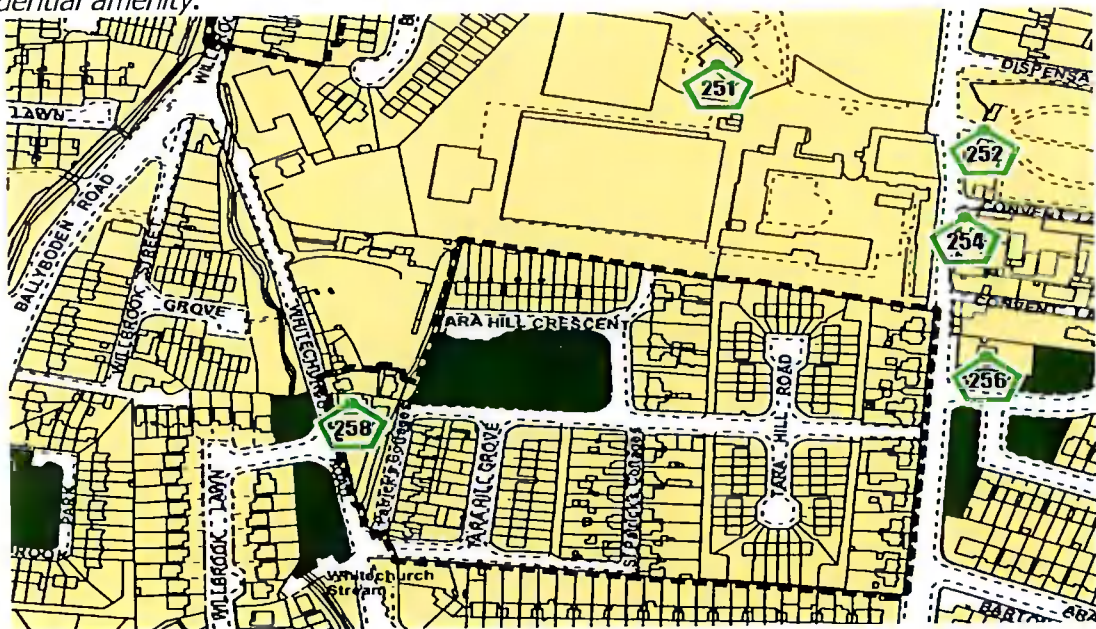


Figure 1: Extract from Map H of South County Dublin County Council Development Plan 2016-2022.

An Architectural Conservation Area - Whitchurch Road and Taylor’s Lane Cottages borders the site to the east and south and includes a Protected Structure Ref: 758: The Mill House. The site and Mill House would have been within the original curtilage of a demolished mill.

2. Context, Setting, Typology, Chronology

The subject site is located south of Rathfarnham village on Whitechurch Road, a branch off Willbrook Road leading to St. Enda's and Marley Park.

Patrick Healy in 'Rathfarnham Roads' notes on Whitechurch Road:

'At Willbrook the Whitechurch Road branches to the east and follows the course of a little river which flows down from Kilmashogue Mountain. On the other side of the road is a partly choked up mill race which was taken from the river higher up to serve the Silverware mill. This was named Brooklawn Mill on both Taylor's map of 1816 and Duncan's of 1821. In 1836 Mark Fowler had a pin and wire factory here which was then named Silveracre's Mill. This closed down in 1853. The place was then converted in to a flour mill by Robert Gibney who also owned the nearby Willbrook Mills. From 1864 to 1893 it was operated by Patrick Gibney, after which it was taken over by J.E. Madden. Subsequent to 1899 it changed hands frequently and the last tenant was Mr. Murray from 1922 to 1933. The Mill has since been demolished but the Mill House and some out offices still remain.'

2.0.1 Historic Research on ownership of the site:

Access to Thom's Directories was limited to on-line searches due to the current Covid-19 restrictions. The following was however identified by the previous owner in relation to ownership of the site:

- 1720 - Memorial No. 25/55/16195 shows the transfer of 10,500 acres of land around Rathfarnham Castle to Adam Loftus and Loftus' son Warrington inherits the lands.
- Memorial number 27/269/16917 shows the fee simple transfer of lands from Loftus to Warrington and then on to Jacob's
- 1722 - William Connolly bought the lands from Jacob, Connolly renewed a lease with the Presbyterians.
- 14th January 1847 there was a renewal of water lease but no names mentioned in the lease. Paper Mill rents were paid by the Marquis of Ely.
- April 1851 - A Farm fee grant was given by John Earl of Stafford & Others. The others mentioned appear to be: William Thomas Earl of Clancarty; Right Honourable John Earle of Strafford, Thomas Connolly (heir of William Connolly); Elizabeth Pakenham; & Helen Pakenham.

Valuations Office information indicates the following timeline for the current site (referred to as #19 up to 1909, thereafter 8a)

- 1851-1899 - Marquis of Ely owned the land known as Beaufort (includes what is now Loretto School)
- 1899 - 1923 - John E Madden owned the land referred to as 19 (up to 1909), then 8a
- 1923 - 1936 - the lands are recorded as owned by Miriam Madden and then Reps of Miriam Madden

- 1936 - 1987 - the lands are recorded as owned by Mrs Burke (no first name).
- 1988 - 2021 - Vincent Moloney is the recorded owner.
- Silveracre Bungalow was advised as built circa 1947 by the previous owner's family.
- The roadside cottages have been derelict since the 1980's and had been rented prior to that.

2.0.2 Previous planning History:

The following singular permission (Application SD12B/0315) was noted in relation to planning history for the site and involved:

'New 215mm thick boundary wall to the rear to run along the entire rear boundary of the property, 91m long and will have an average height of 2.49m with a maximum height of 2.97m. New 215mm thick boundary wall to the rear to run along the entire rear boundary of the property, 91m long and will have an average height of 2.49m with a maximum height of 2.97m.'

The works addressed the previous owners concerns about access egress to the site.

2.0.2 National Inventory of Architectural Heritage & the RPS:

There is one Protected Structure close to the site, the 'Mill House' referred to in the cartographic analysis below. This house was built immediately south of a Mill building (now demolished) that bordered the southern boundary of the subject site.



Fig. 2 - The Mill House, Whitechurch Road, Rathfarnham

Following are the details recorded on the NIAH:

Survey Data Reg No 11216024
Rating Regional
Categories of Special Interest Architectural, Technical

South Dublin RPS Ref: 258

Architectural Heritage Impact Assessment of
 Silveracre development site, Whitechurch Road,
 Rathfarnham, Dublin 14

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 Dublin 6

Original Use

House

In Use As: House

Date: 1800 – 1820

Description

Detached four-bay three-storey house, c.1810. Rendered walls. Doorway to side in later conservatory. Timber sash windows. Replacement hipped slate roof with pierced terracotta ridge tiles and large brick chimney stacks to south. Rubble boundary wall to street.

Appraisal

Stark and prominent Georgian house retaining much original fabric, penned in between older mill race and later roads, with an imposing presence along this stretch of road.

Comment:

Cartographic analysis indicates the house is later than that indicated on the NIAH record, post 1843 (not illustrated on the first edition Ordnance Survey), it appears on the first revision of 1865. The associated mill was demolished in the mid twentieth century and the roadside cottages also associated with the mill are separated from the house, only one remains and is in poor condition. No vestiges of the mill streams or associated mill infrastructure remain save some fragments of boundary walling. The cottages are not referred to by the NIAH.

In order to determine the chronology of building on the subject site, a number of historic maps and images were consulted (the relevant plates are appended to the report and should be referred to). These are as follows –



Figure 3: Rocque Map of Dublin 1760

2.1 Rocque Map of Dublin, 1760

This map lacks enough detail in the area concerned to confirm if the Mill existed in 1760. There are structures between the river branches leading in to Rathfarnham, that appear to represent Fonthill Abbey as illustrated on the first edition OS Map (refer appendices).

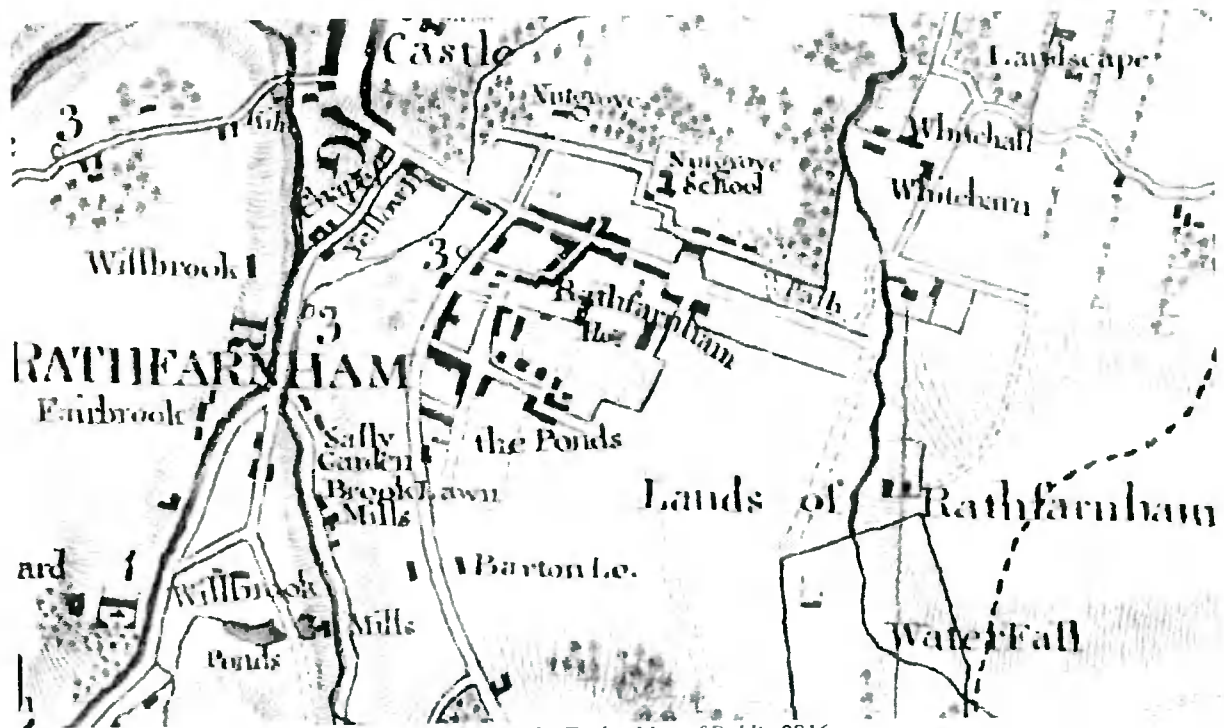


Figure 4: John Taylor Map of Dublin 1816

2.2 John Taylor Map of Dublin, 1816

As noted above the Mill adjacent to the site was known as Brooklawn Mills and is noted on the 1816 Map. There are structures shown that reflect both the mill and roadside cottages. The stream is shown wholly on the western side of Whitechurch Road. The mill and cottages therefore predate 1816 and did not exist in 1760.

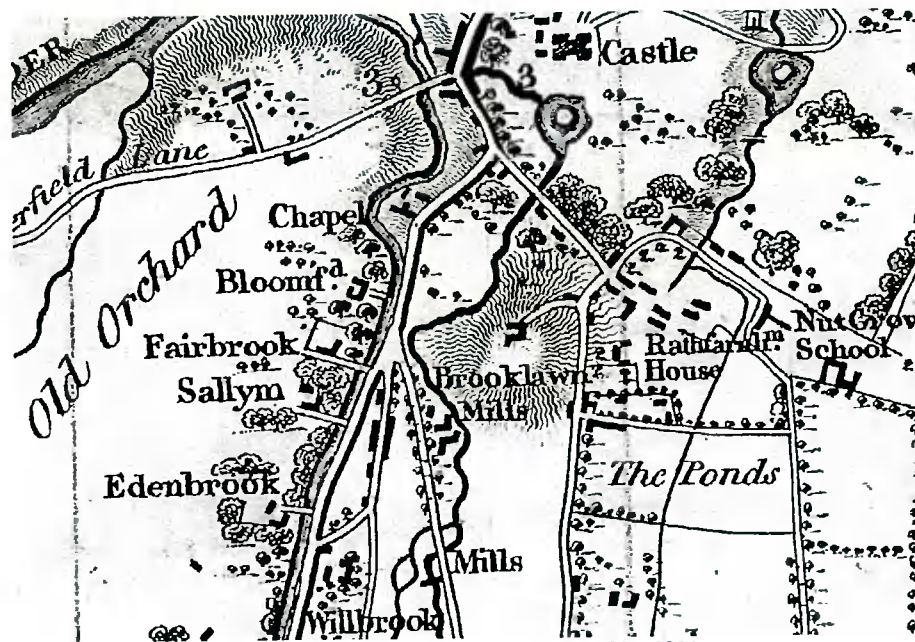


Figure 5: William Duncan Map of Dublin 1821

2.3 William Duncan Map of Dublin, 1821

Again Brooklawn Mills is noted on the 1821 Map. There are structures shown, however they appear further in to the lands from the road than on the previous map. The stream is shown

wholly on the eastern side of Whitechurch Road, quite different in route from the earlier and later maps. This map appears more diagrammatic than the earlier map.

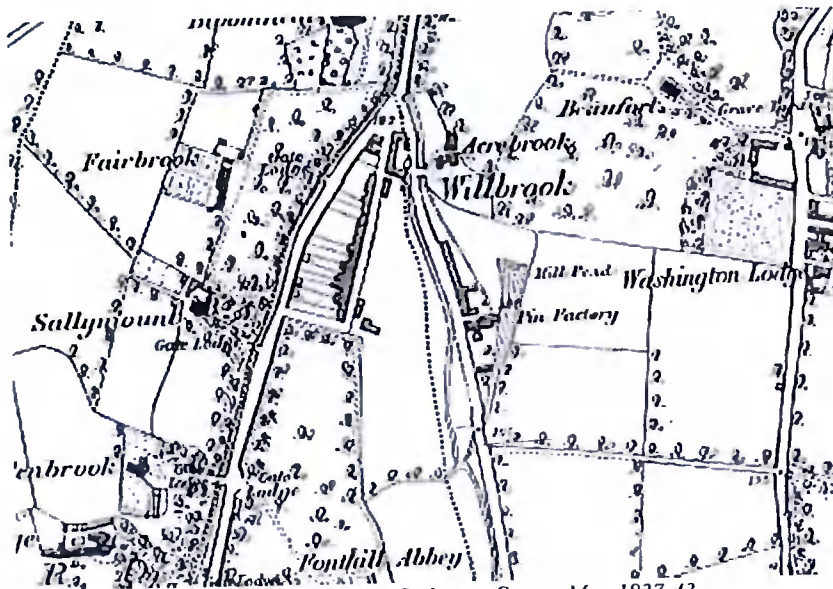


Figure 6: First Edition Ordnance Survey Map 1837-43

2.4 1st Edition Ordnance Survey Map, 1837-43

The subject site is north of the Pin Factory, and is depicted as part open field with a Mill Pond extending in to the site on this map. Whitechurch Road is shown as a rural road, there has been some development of short terraced cottages likely associated with the Pin Factory along the road. The Mill House has not been built at this time and a small square projection on the Pin Factory is located on the site of the later house. A stream is indicated behind the roadside cottages running from the mill that is no longer extant.

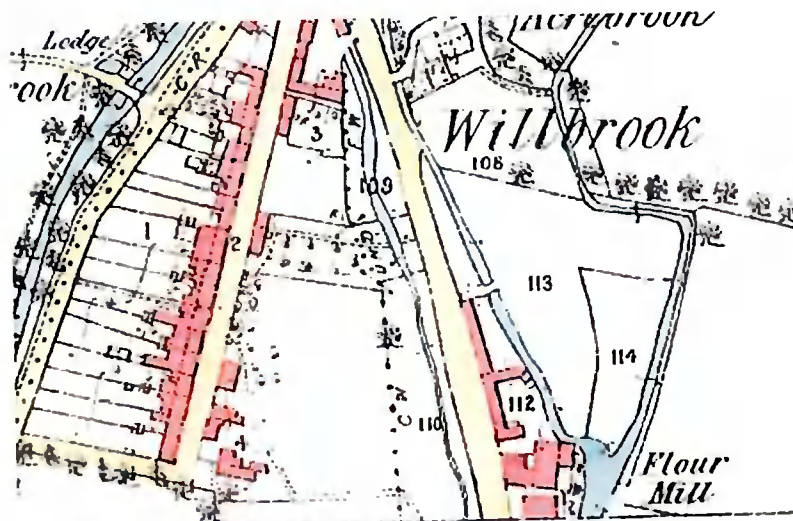


Figure 7: Second Edition Ordnance Survey Map 1865-66

2.5 Ordnance Survey Map, 1865-66

The subject site is represented by the numbered plots 112, 113 & 114. The area noted as 114 coincides with the previously noted Mill pond. The Mill as noted above is now referred to as a Flour Mill. The roadside cottages are illustrated in two sections perhaps representing different uses or phases. The Mill building is south of them. Streams are shown on the eastern

boundary, part of the north, also along the back of the cottages with a bridge indicated to access the site. Immediately south of the site and Mill buildings, the Mill House is now illustrated (dating the protected structure to between 1843 and 1865).

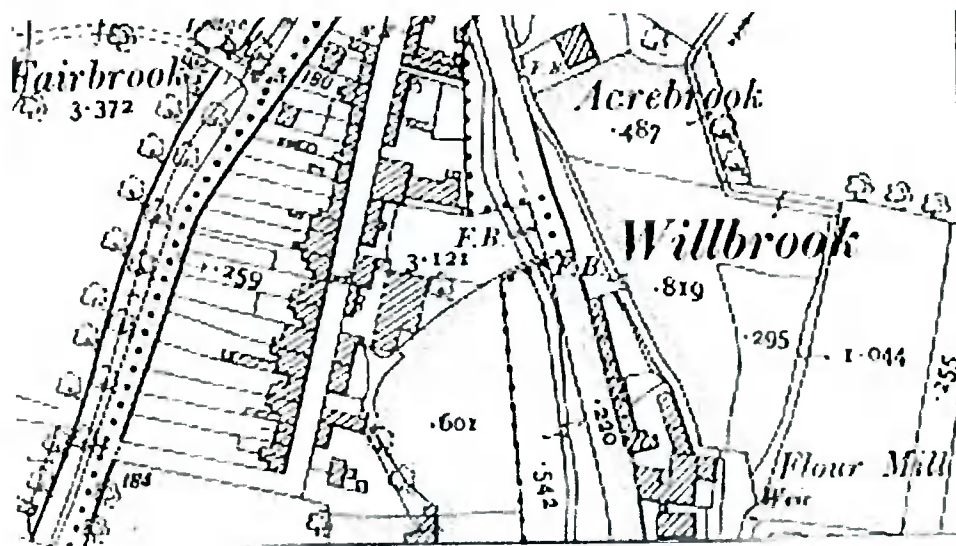


Figure 8: Ordnance Survey Map 1910

2.6 Ordnance Survey Map, 1910

The subject site is represented by the acreage area numbered 0.819, 0.295 (previous mill pond) and 0.220 – roadside cottages. The Mill continues to be noted as a Flour Mill. The roadside cottages are illustrated and divided into 7 terraced plots. The Mill building south of them has an extension along the stream, parallel to the cottages. Streams remain as previously shown on the eastern boundary, part of the north, also along the back of the cottages with the bridge to access the site. A weir is noted on the eastern stream adjacent to the mill, just outside the site. Immediately south of the site and Mill buildings, the Mill House is illustrated with a connecting link to the mill buildings.

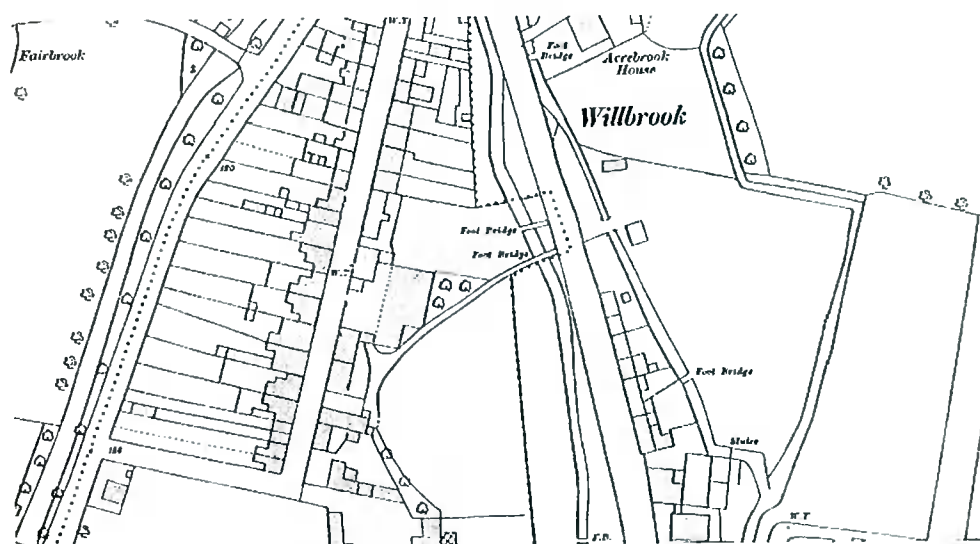


Figure 9: Ordnance Survey Map 1934

2.7 Ordnance Survey Map, 1934

There are no considerable changes to the layout of the lands, however the rear garden of the cottages (six now indicated) reflect extensions and further division, including a foot bridge

across the stream indicated from the rear of the most southerly cottage. There are two structures on the site close the access bridge, likely agricultural uses. The mill buildings appear to be part unroofed reflecting disuse, a sluice gate is noted on the stream.

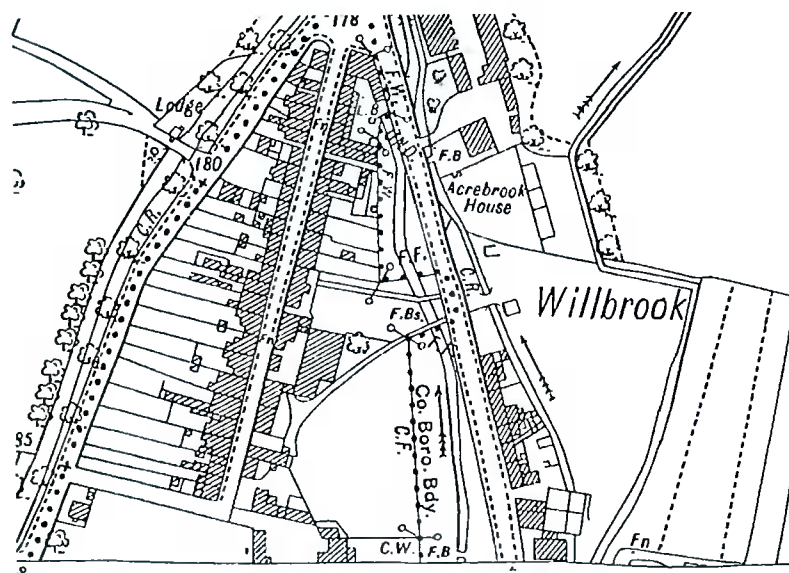


Figure 10: Ordnance Survey Map 1956

2.8 Ordnance Survey Map, 1956

There are no considerable changes to the layout of the lands, however the rear garden of the six cottages reflect further rear extension. The stream at the rear of the cottages is show terminated at the site of the mill building. There are two structures on the site close the access bridge are shown unroofed. The mill buildings appear to reflect further disuse with the roadside section maintained. The stream on the east and northern boundary remains. The mill house has a rear projection connected to the unroofed section of the mill building.

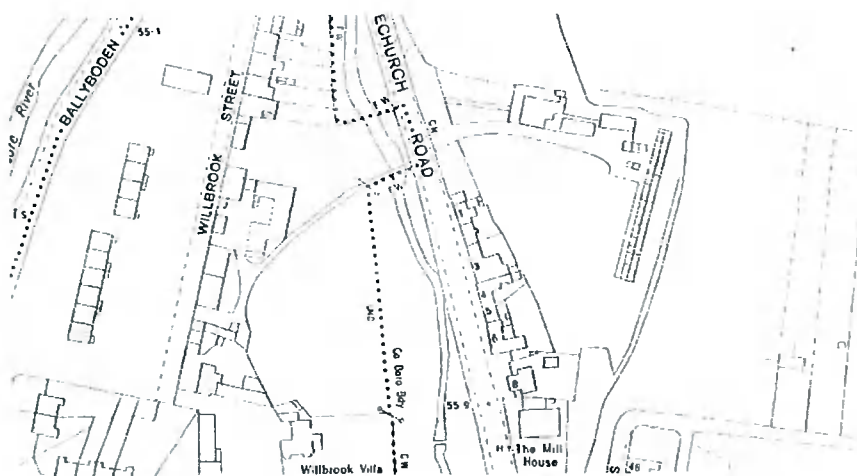


Figure 11: Ordnance Survey Map 1972

2.9 Ordnance Survey Map, 1972

The bungalow extant on the site is now shown on the north section of the site along with associated out-buildings along the eastern boundary. The rear garden of the six cottages reflect ongoing change/ extension. The stream at the rear of the cottages is no longer indicated. The mill buildings appear to have been demolished and a house built on the site, set back from the road and with a shed in the rear garden. The stream on the east and

northern boundary is no longer fully illustrated, perhaps diverted up stream or piped underground. The mill house has a rear projection connected to the boundary of the demolished mill building of the mill building.

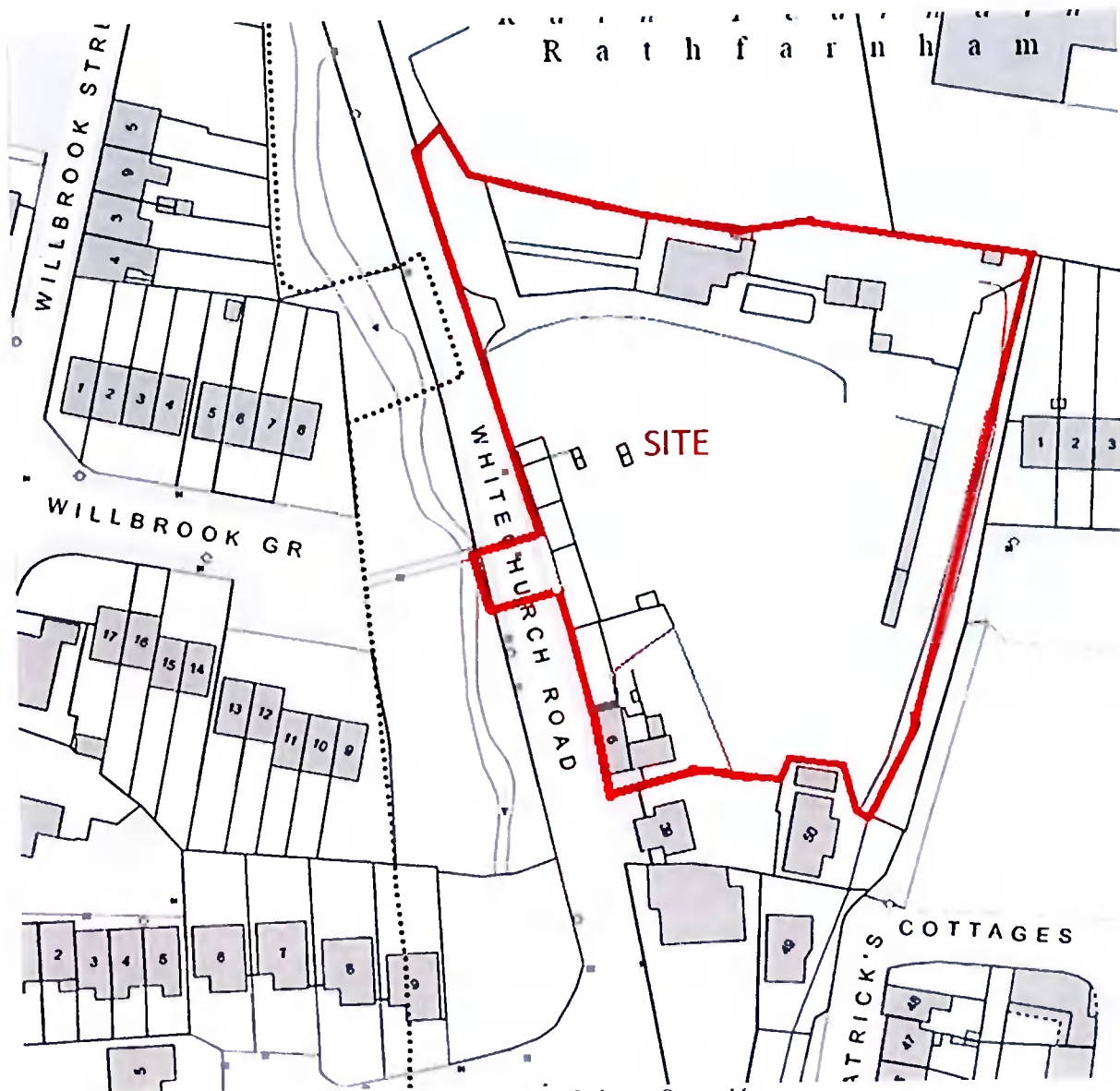


Figure 12: Current Ordnance Survey Map

2.10 Current Ordnance Survey Map

The bungalow and associated out-buildings along the eastern boundary remain as previously illustrated. Five of the six cottages are now unroofed and ruined, the sixth remains and appears to be in a state of disrepair but inhabited. A further house has been built on the site of the mill building with access from St. Patricks Cottages (terrace), alongside the Mill House. The line of the stream on the east and northern boundary is partly illustrated, perhaps noting a change in levels. The mill house has expanded further along the boundary previously associated with the mill building.

3. Site Description

Architectural Heritage Impact Assessment of
Silveracre development site, Whitechurch Road,
Rathfarnham, Dublin 14

David Slattery Conservation Architects Ltd
Historic Buildings Consultants
8 Vergemount
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Dublin 6

The site is immediately north of where the mill building stood, the site of which has been developed to accommodate two house sites backing on to each other. There is one of six cottages in the south west corner of the site which is in a dilapidated condition. The other five cottages are ruined, with their front wall acting as a boundary wall and their rear, party and other walls extant but exposed stonework (plaster fallen off) heavily weathered. North of the cottages a boundary wall circa 1200mm high continues to the north western corner of the site with a splayed entrance/ gate access to the second dwelling within the site. This dwelling, a bungalow was dated by the previous owner to pre-1947, however it is not illustrated on the 1956 map, it may date from a decade later, 1957. It is a standard design of no architectural merit (refer to photographic record appended).

The south boundary has remnants of stone walls associated with the mill, adjacent extant cottage. The east boundary has been formed by a block wall built by the previous owner and permitted under Reg. Ref: SD12B/0315 noted above. The north boundary is a combination of fencing and blockwork wall/ hedges.

3.1 External

Whitechurch Road Setting:



Figure 13: View south on Whitechurch Road – Site is on the left in the vicinity of the traffic signs



Figure 14: View south on Whitechurch Road – At the entrance to the Bungalow



Figure 15 – View north on Whitechurch Road with the Mill House on the left, the remaining cottage and façade boundary wall along the site



Figure 16: View north on Whitechurch Road – Site is on the right with the remaining cottage adjacent to the modern house built on the site of the Mill

Rear Setting:



Figure 17 – View northwest of the site across the green of Tara Hill Crescent from the junction of Tara Hill Grove. The house beside the contemporary grey corner dwelling was built on the site of the Mill.



Figure 18: View west on Tara Hill Crescent across the green – Site is behind the trees at the end of the cul-de-sac.



Figure 19: View south on the southern end of St. Patrick's Cottages – Site is on the other side of the gated house built on the site of the Mill.



Figure 20: View south on St. Patrick's Cottages – Site is on the other side of the gated house built on the site of the Mill

The Mill setting:



Figure 21: View south on the site of the two houses in the foreground built on the site of the Mill. The houses between are on the right, the Mill House rear extension and a second house to the left built on the site of the later Mill House.



Figure 22: View south on the site of the second house built on the site of the Mill. The boundary wall retains some evidence of the mill wall where the stream and the sluice gate were located.

3.2 The Bungalow

The Bungalow is of mid twentieth century construction with a drydash coloured render above window cill level red painted nap render to the front elevation and white painted dash on the other three sides with painted patent render reveals. The windows and doors are PVC, the roof has brown tint concrete tile and hips with PVC gutters and downpipes. The front has nap render bands around the door/ windows and corners. There are a number of outbuildings of basic construction, single leaf blockwork, decayed shuttered concrete etc., concrete and tarmac hardstanding areas around the dwelling. Front lawn with evergreen hedgerows to the lane and some perimeter planting, with a couple of apple trees to the rear.



Figure 23 – Silveracre Bungalow from Whitechurch Road Entrance



Figure 24 – Silveracre Bungalow from the front garden



Figure 25 – Silveracre Bungalow rear garden

The interior as illustrated below has basic finishes, four panel timber doors, basic architraves and skirting and picture rails, simple cast plaster quadrant corning, simple/ replaced domestic fireplaces, mixture of painted and wall papered finishes and plasterboard ceilings, plain pine timber floors. Tiled kitchen and bathrooms.



Figure 26 & 27 – Silveracre Bungalow Entrance Hall views from either end of corridor

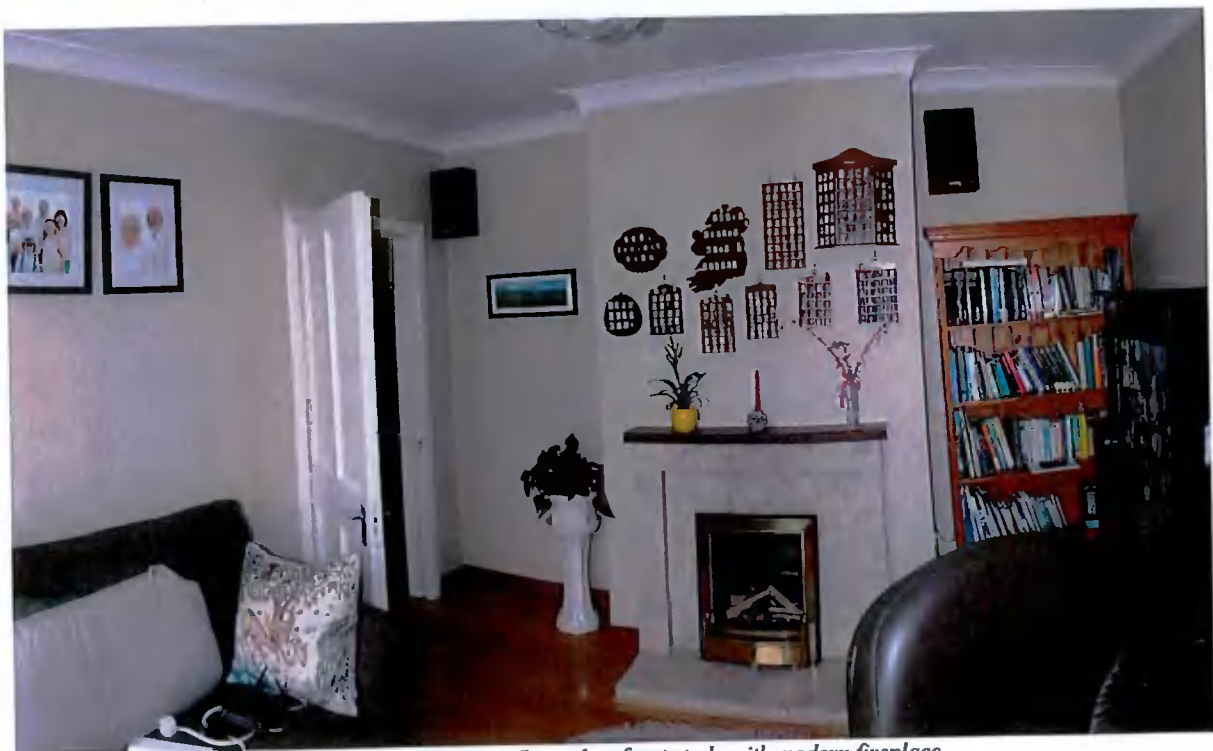


Figure 28 – Silveracre Bungalow front study with modern fireplace



Figure 29 – Silveracre Bungalow front sitting room



Figure 30 – Silveracre Bungalow rear bedroom



Figure 31 – Silveracre Bungalow rear kitchen dining area

3.3 The Extant Remaining Cottage

The cottage is of early 19thC century vernacular construction with a painted wet-dash render with nap finished bands to the window, door and plinth. The windows are PVC and the door is not original, the roof has waterproofing felt bonded on to the slate with PVC gutters and downpipes. The pavement is narrow and carparking is restricted in visibility to traffic on the north gable and presently relies on an open boundary to an adjacent property. Key photographs of the cottage are included here (and also in the appendices) to present the poor condition the cottage is currently in and the case for demolition.



Figure 32 – The remaining cottage viewed from Whitechurch Road



Figure 33 – The remaining cottage viewed from Whitechurch Road with the front façade boundary wall of the adjacent cottages along the pavement frontage of the site.



Figure. - 31: Sitting room in the pitched roof south return



Figure 31 – Existing room in the cottage



Fig. 32 Dilapidated bedroom in cottage.



Figure 33 View of 20thC Kitchen Extension to north wall door openings



Figure 34 – Existing cottage garden gate access.



Figure 35 – Corner of the cottage Garden from the back door

The interior as illustrated above has basic (dilapidated) finishes, flush hollow core timber doors, basic featureless architraves and skirting and picture rails, no corncing, simple/replaced domestic fireplace, mixture of painted and wall papered finishes and dilapidated flat ceilings, plain pine timber floor (new) in one bedroom, rest carpeted to wall. Tiled kitchen and bathrooms.

3.4 The Ruined cottages

The five ruined cottages were of early 19thC century vernacular construction and the remaining boundary wall has a painted wet-das cementitious render with nap finished bands to the windows, door and plinth of most of the facades. The windows and doors are blocked up. The pavement is narrow and no access was provided to the rear of the cottages save through the original footprint.



Figure 36 – The front (boundary wall) façade of the first cottage (northern end), with a 20thC extension on the left hand side with large window cill.



Figure 37 – The front wall boundary of cottage No.4/5



Figure 38 & 39 – The front wall boundary of cottage No.4/5 & 3 (right)



Figure 409 – The rear wall boundary wall of the remaining cottage (6) adjacent to fifth (right). The walls are concrete with some rubble stone and on the fifth a 20thC outside toilet was built in late 20thC brick.



Figure 41 – The rear wall boundary wall of the cottages 1-5, fifth (right) the walls are random rubble uncoursed with some 20thC extensions in brick/ concrete in a similar ruinous condition. The rubble walls would not typically have foundations



Figure 42 – The rear wall boundary wall of the first northerly cottage with ruined 20thC extensions in blockwork (right) and brick (centre) the houses in the background are on the site of the mill.



Figure 43 – The rear wall boundary wall of the first northerly cottage with ruined 20thC extensions in concrete (centre) and brick (right) the back door is in the rubble wall.



Figure 44 – The original walls are random rubble/ likely local fieldstone, this section showing evidence of an infilled window or door ope. The construction is basic vernacular and unlikely to have any foundation.



Figure 45 – The interior would have originally comprised of two rooms, one either side of the central doorway, the door likely opened directly in to the larger room. An additional room was added to the rear in most cases in the later 19/ 20thC.



Figure 46 – The gable wall of the first northerly cottage with fireplace opening, fire surround etc. removed.

The Ruined Interiors

The interiors of the ruined cottages have little more than the exteriors to show in relation to their condition and fabric, rubble walling with scant evidence of internal finishes, fireplace surrounds include one tiled fireplace of 20thC origin. No salvageable joinery exists and the floors are broken up and all overgrown.

4. Assessment of Cultural Significance

The subject site fell within the original curtilage of the demolished Mill building, originally a 'pin & wire factory' and later a flour mill, which closed in the early 20thC. The later Mill House, a dwelling (protected structure) was also part of the curtilage of the Mill and the three formed a group of structure now divided by three 20thC houses to the south of the site.

Mill site

The mill has been replaced by two late 20thC houses on the same site. The protected structure is located immediately to the south of these houses wholly separated from the subject site.

Remaining Cottage

There is one cottage and five ruined cottages along the pavement of Whitechurch Road that were likely built as accommodation for Mill workers. They are all of a vernacular construction and some remained in use up to the 1980's. The single remaining extant cottage is in very poor condition, reflecting its age, minimal maintenance and simplicity of its construction. These cottages appear to have been less well constructed and maintained compared to those on Willbrook Street nearby that are of a similar date, perhaps reflecting the more secure and undisturbed location of the latter. The width and traffic nature of the Whitechurch Road and its pavement do not support a street condition, nor is there any parking directly available. The cottage has been altered a number of times, mostly during the early 20thC, it does not have any architectural significance and any vernacular significance has been lost with the demolition of the Mill and the ruined state of the adjoining cottages.

Internally, as demonstrated in the photographic record, the core of the building is unremarkable, the interiors of the extended portions are of very poor quality. Architecturally then, the building does not represent any outstanding design or vernacular features worthy of its retention.

The DoAHG's notes on such structures:

" 2.5.18 A structure may display vernacular traditions of construction and may be set in a group or area which illustrates the social organisation of the inhabitants. Most obviously this would include thatched cottages. In vernacular buildings, elements of the plan-form (for example, direct-entry, lobby-entry, doors opposite one another, bed out-shots etc.), as well as the roofing material of otherwise ordinary structures may be distinctive and have special social interest."

The structure is a stand-alone cottage and was originally part of a rural group of structures related to the mill, this context along with any associated social element no longer exists. The cottage has a felt roof, was slated and may originally have been thatched, no evidence remains. The original plan form has been altered and does not reflect a vernacular prototype.

It is important to note that the building does not meet the DoAHG's own criteria for inclusion on the Record. These criteria and how the subject building does not meet them are set out below.

1. *Whether the structure is a generally agreed exemplar of good quality Architectural design;*

Comment: The structure is not an exemplar of good quality design.

2. *Whether the structure is a work of a known and distinguished architect, engineer, designer or craftsman;*

Comment: The structure is not the work of a known and distinguished architect, engineer, designer or craftsman.

3. *Whether the structure is an exemplar of a building type, plan-form, style or styles of any period but also the harmonious interrelationship of differing styles within one structure;*

Comment: The building is not an exemplar of a building type, plan-form, style or style of any period nor is it the harmonious interrelationship of differing styles within one structure.

4. *Whether the structure makes a positive contribution to its setting, such as a streetscape or a group of structures in an urban area, or the landscape in a rural area.*

Comment: The structure is clearly a remnant of the setting of the demolished mill and ruined adjacent cottages. It is located on a busy suburban road with a narrow pavement, a road that does not reflect a 'street' setting. The building could not be considered appropriate in its current form to its now centralised suburban residential context.

5. *Whether the structure has an interior that is well designed, rich in decoration, complex or spatially pleasing."*

Comment: The structure has no interiors of note.

Clearly the building, on the basis of the DoCAHG's own criteria for assessment, is not significant enough to merit protection.

The five Ruined Cottages

The ruined cottages are of a vernacular construction and some remained in use up to the 1980's. They are in an advanced state of decay, have lost their roofs, internal and external plaster behind the front façade, internal walls, doors etc. and have clearly been cleaned out for safety reasons in the past, leaving the uncoursed random rubble of which they were built exposed. They reflect the age and simplicity of vernacular construction and the rapid disintegration such structures encounter when abandoned. They remaining rubble walls would not have foundations and having been long exposed to weather on both side would present a very difficult structural solution to retain. They are not protected, are no longer associated with a Mill building and are remote from the main house associated with the mill. There is simply not enough of the fabric to support their retention or reconstruction.

It is important to note that the remaining ruined walls do not, like the remaining cottage considered above, meet the DoACHG's own criteria for inclusion on the Record.

4.1 Architectural Significance

The subject site has four types of structures, a bungalow, a cottage in poor repair, five terraced ruined cottages and lastly remnants of boundary walls. None are considered to be of architectural significance. The terrace of cottages would have had a significance associated with the mill and its semi-rural setting, however the loss of the Mill and the ruined state of the cottages leaves only a fragment of the original fabric. The front façade of the cottages acts simply as an infilled boundary wall. The later Mill House is separated from the cottages and orientated to the south with a gable to the road, it has no relationship with them.

The rear of the cottages cannot be considered to be of any particular significance, they have been altered from their original form, with 20thC extensions etc. that are similarly in a ruined state. The rear setting too has completely changed with the streams redirected/ filled in, leaving an open field area beyond the ruined walls.

The interiors of the ruined are of no significance, with no surviving architectural features or fittings such as joinery or plasterwork. The lay-out of the cottages appears to have been a central entrance with two narrow rooms and a room (often the extension) to the rear. They were very basic in accommodation terms and even more so in their construction.

4.2 Historic Significance

The subject site could be considered of local historic significance as part of the wider context of rural development in the early 19th century, reflecting the growth of Rathfarnham and local mills, all in support of an increasing population of Dublin. This significance is however no longer apparent with the redirecting of the streams, loss of both the mill and the five cottages. Modern development separates the Later Mill house from the site.

4.3 Technical Significance

The buildings, bungalow, cottage, ruins are not of any technical significance.

4.4 Vernacular Significance

The cottage and associate ruins are of a vernacular origin, likely simple accommodation for mill workers. The remaining cottage is in a dilapidated state and lacks vernacular detail of interest. It reflects a simple 19thC semi-rural dwelling that has nothing extant of architectural or vernacular interest remaining (refer to photographic record).

4.5 Group Significance

The bungalow is free-standing within the site, the mill building has been demolished and replaced by two 20thC houses. The later mill house is separated from the site by the houses referred to and has a further late 20thC house constructed on its eastern gable side. The singular stand-alone cottage had a group significance with the original 19thC grouping, now lost.

4.6 Personal Association

There are no known personal associations of not, though the ownership history of the site was researched extensively as illustrated above.

4.7 Unique/Rarity

The bungalow and cottages are typical of the time of construction, and cannot be considered to be particularly rare or unique.

4.8 Detail/Design

The bungalow and cottage are quite standard for their time in detail and execution.

4.9 Archaeological Significance

This report does not address archaeological issues.

4.10 Materials

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The use of materials in the bungalow and cottage are standard for the time of construction, and could not be considered to be significant.

4.11 Setting

The setting of the bungalow is within the site. The cottage was the gable end of a terrace of six cottages, the significance of its setting has been lost through decay and demolition of the mill. The significance of the cottage/ ruins to the Mill house is severely limited by 20thC interspaced development and the orientation of the Mill house due south with a gable facing on to Whitechurch road.

5. Proposed Works

The detail of this proposal is clearly illustrated on the accompanying documentation, prepared by BBA Architecture, Suite 3, Eden Gate Centre, Delgany, Co.Wicklow. A63 C966.

The following is the description from the planning ad:

"The development will consist of a residential development on an overall site of approx. 0.58 ha on lands at "Silveracre" Whitechurch Road, Rathfarnham, Dublin 14, D14 W2K8. The proposed development shall provide for

(a) the demolition of two existing habitable structures on site including a bungalow (Silveracre), an existing cottage (No. 6 Whitechurch Road) and a row of several derelict structures/ cottages located along the eastern boundary of the site, the extent of proposed demolition is 433 sq.m.

(b) the construction of 22 no. 4 bed 4 storey units ranging in size from 197 sq.m to 214 sq.m, all with associated private balcony/ terrace areas.

Vehicular and pedestrian access is proposed via a new entrance on Whitechurch Road. The proposed development shall provide for 44 no. car parking spaces, a new single storey bicycle storage shed (approx. 34sq.m) and provision of bin storage to be provided at the front curtilage of the dwelling for all terraced units, all boundary treatment, all site services and all associated site development and landscaping works

5.1 Removal of the present bungalow and cottage:

As noted above it is considered that neither the bungalow nor cottage have architectural significance, neither are protected structures and both have been shown to contribute little or nothing to the setting, the bungalow being deep within the site and the cottage by being a remnant of a ruined terrace. The cottage is of vernacular origin and would require very considerable alteration and upgrading to achieve current standards of construction and safety, particularly in view of its roadside location.



Fig. It is proposed to match the adjoining site boundary wall as illustrated above (wall on the left of the photograph)

5.3 Removal/ reconstruction of boundary wall

The existing boundary wall along the Whitechurch Road frontage does not represent a unified impact across the site. The northerly section does not tie in with the adjoining site in terms of height and is rendered. The next section forms flanking walls contemporary with the bungalow, followed by infilled façade walls of ruined cottages up to the remaining cottage. It is proposed to provide a new wall in keeping with the adjoining northerly property across the entire frontage. Any suitable stone walling material that can be salvaged from the present boundary wall structures will be set aside for re-use.

5.4 Character of Whitechurch Road:

In addressing development of this section of Whitechurch Road it would seem appropriate to focus on the increasingly urban impact of such a development, its scale/ with higher density under the current CDP, that contribute to a more urban physical built infrastructure. In addressing this aspect, house types reflect a change from lower density 20thC suburban estate housing to an urban emphasis of taller structures around a central designed urban space. All designed in a contemporary semi-formal interpretation of a Georgian square as considered below.

5.5 Architects Design Statement & the Current CDP Guidelines

A detailed Architects Design Statement has been prepared based on the criteria established in the Urban Design Manual: a best practice Guide. It notes in relation to the receiving context

Existing Adjacent uses

Adjacent existing uses consist of medium density residential developments to the East, (Tara Hill) West (Willbrook Grove) and South (St. Patrick's Cottages & Grange Park). To the North of the site there is a mix of educational, commercial and residential buildings such as Loretto High School/ Hockey Club, St. Mary's Boys National School, Campbell's Packaging, Flanagan's Funeral House and Beaufort Downs/ Glenbrook Park housing estates. All these areas are located within less than 500m of the site. Other town centre amenities such as Castle Golf Club, Nutgrove Shopping Centre, Rathfarnham Castle Park and Saint Enda's Park are also located at less than 1 Km away from the subject site. The Dublin bus lines 61 and 16 are also located close by along the R115 Ballyboden road and R822 Grange Roads.

On the design approach and materials used the following is noted:

Architectural Heritage Impact Assessment of
Silveracre development site, Whitechurch Road,
Rathfarnham, Dublin 14

David Slattery Conservation Architects Ltd
Historic Buildings Consultants
8 Vergemount
Clonskeagh
Dublin 6

DISTINCTIVENESS

The proposed scheme uses external materials applied in a variety of ways and directions, in an attempt to create a high quality and distinctive elevational treatment, which will sit appropriately into the context of the surrounding areas. The external finishes consist mainly of traditional red brick facing, smooth white render plaster bands, stone window reveals and grey roof tiles, which, together with the landscape design, gives a sense of identity and place. The housing is peppered through the site, trying to maximize density and solar orientation. The Western boundaries has been opened to the main street to create a sense of frontage and act as a main focal point of the development. We believe that this approach contributes towards a cohesive proposal providing a variety in form, material and heights.



Fig. Material palette, selected red-brick, self-coloured render and window frame colour Ral 7009

Material palette

A high quality of materials is proposed throughout the development. Selected red brick cladding, blue/black natural roof slate/tiles, smooth white render and Wicklow granite window reveals will be combined in the scheme. Material selected are of a high quality, low maintenance and are durable. The variety in materials add interest to the development. The selection of the materials is those which are common in the area to blend in its context. To prevent any staining, capping's will be detailed properly. The material selection together with the design will make a positive contribution to the locality of Rathfarnham.



Fig. Material palette reference image of brick, granite and approach to detailing.

6. Assessment of the Architectural Heritage Impact of the Proposals

Refer also to the section 3 above and the Appendix photographic record for view and settings photographed on inspection of the site along with noted commentary.



Figure 47 – Current Proposal Site Layout Plan

6.2 Site Layout

The site layout loosely follows the concept of a Georgian Square with an open side to the main roadway. Consequently two gables align with the road as does the protected structure further south, inside a stone boundary wall defining the site along Whitechurch Road. The site will have designed landscape treatment encompassing a child-safety focused central green and good quality hardstanding to compliment the façade treatment of the houses. The attic storey on all houses will have balconies that through orientation over the central space are afforded fine views of the sylvan landscape on the opposite side of the road (along the stream) and beyond to the Wicklow mountains. No attic balconies overlook existing back gardens and none are on the rear of the houses.



Figure 48 – Current Proposal Contiguous elevation – before and after

6.3 Contiguous Elevation

The contiguous elevation underlines the increased density of contemporary housing, particularly noted on a site that contains ruins and a mid-century bungalow. The setting however is a sylvan one and trees on the west side of the road are mature and of considerable height, similar to the proposed dwellings. The Mill House Protected Structure is also of a similar scale to the proposed development and will have an anchoring effect on the setting.

The boundary wall treatment proposed will continue the character/ impact of Whitechurch road along this section of road with its stone walls and new trees planted in the central space will enhance the sylvan nature of the surroundings.

6.4 Review of Computer Generated Imagery – CGI's

Views are presented of the *before and after* impact of the proposed development. These views are submitted in full A3 format separately in the Architects submitted documentation and are reproduced here for reference and comment from a Conservation perspective.

Refer below:

6.4.1 Impact on Whitechurch Road – View South



Fig. Existing view, Whitechurch Road view south



Fig. Proposed view, Whitechurch Road view south

Significance:

The setting on Whitechurch Road is a sylvan one developed primarily along the stream on the west side of the road. Considerable sections of the road have been developed in the twentieth century as housing and have a clear sub-urban emphasis. Any historic emphasis is now focused on the later Mill house, a structure associated with the demolished mill, ruined cottages and other lost infrastructure in the area. The house is on elevated ground and of considerable height, independent and separated from the site by late 20thC detached single houses.

The existing view above (save the development site) has a sylvan roadside character with rubble stone boundary walls running the whole way to the junction with St. Patrick's cottages beyond the Mill House (Protected Structure). The Mill house with its gable facing the road and infill housing on the site of the mill does not as a consequence figure that prominently in a distant view. In essence partly through the ruined terrace on the site boundary, this section of the road lacks impact in a built context. It would be assumed that under current and future development plan strategy that it would develop a stronger urban presence and this development proposal would reflect that change.

Impact:

The impact on this road is at a mid-point along a straight section of road parallel to a tree lined stream. The new urban type square with terraces dwellings will be read in scale terms in its relationship to the Mill House (closest large structure) and in the context of mature trees of considerable height along the stream on the opposite side of the road. The building line of the roadside façades are approximately a metre from the boundary wall and circa 3 metres from the roadside kerb.

The shorter gable elevation of the terraced houses front on to this road and sections of the rear may be glimpsed in closer proximity to the central space, following which the central space and setting of the houses will become the visual focus of this section of road. The impact will have the visual familiarity of a Georgian square type layout in an urban sense. The roadside gables being similarly treated to the front elevations of the houses increasing the emphasis on materials, Architectural detailing within its local surroundings.

In architectural terms the development does not seek to follow the design emphasis of the 20thC suburban housing along the road, but follows a contemporary-classical design emphasis appropriate to an increasingly urban setting. The rear garden of the easterly houses will be separated from a housing ACA (Whitchurch Road and Taylor's Lane Cottages), by a strip of land associated with a re-directed stream (now green strip). Views from a key aspect within the ACA are presented below. The development as presented will clearly add to the reading of this residential area, it does not dominate, but seeks to enhance and benefit from the sylvan setting of this section of Whitechurch Road.

The Millhouse (protected structure) is on elevated ground and of considerable height, supporting the scale of development proposed while also being independent and separated from the site by late 20thC detached single houses.

6.4.2 Impact on Whitechurch Road – View in to development



Fig. Existing view, Whitechurch Road view east



Fig. Proposed view, Whitechurch Road view east

Significance:

On this section of Whitechurch Road the tree lined stream on the opposite side of the road sets the scene with the subject site undeveloped, characterised by a boundary wall reflecting a linear façade of roadside ruined meagre cottages, a negative impact.

Impact:

The impact is of a new urban square with anecdotal references to Georgian Squares in the city centre. The site will become a focal point along this road, with the increased scale of quality housing and urban design layout on a road that typically reflects mid-20th low density suburban

semi-detached housing. It will set a precedent for new housing development in scale, layout and level of finish/ finishes. The use of brick on the upper stories will like the layout reference Georgian houses in scale and finish underling a new aesthetic being adopted in the change of house-type in contemporary developments of this type. The houses as proposed are in a terraced arrangement with contemporary classically inspired elevational treatment within a carefully designed landscape setting. They will contribute a considered architectural character with a qualitative material palette in an urban sense to the wider area.



Fig. Proposed view within the development southwest to Whitechurch Road.

6.4.2 Impact on Whitechurch Road – View north



Fig. Existing view, Whitechurch Road view north along gable of the Mill House (Protected Structure)



Fig. Proposed view, Whitechurch Road view north to road frontage of the development site.

Significance:

Whitechurch Road meanders northward from south Dublin passing Marlay and St. Enda's Park as a gently winding relatively narrow road with a sylvan setting including interspaced sections of rubble boundary walls. The road has taken on an increasingly suburban character in the later 20thC. These characteristics continue up to the junction with Willbrook road north of the site. In the area of the subject site, the Millhouse with its gable on to the road is substantial yet shielded by trees, the stream on the opposite side of the road with its trees continues the sylvan character the road enjoys. The site itself is characterised by the ruined facades of the cottages that have a negative impact.

Impact:

The impact is of a set-piece urban development in a sylvan setting associated with an increasingly urban housing model now appropriate over existing suburban low density 20thC estate housing. The site will become a central piece of architectural infrastructure along this road. The protected structure will retain its dominance along the road, its gable ended arrangement to the road reflected in the similarly arranged terraced ended houses. The sylvan setting of the west side of the road will open up at the development in to the central landscaped area reinforcing the character of the road.

6.4.3 Impact on ACA St. Patrick's Cottages – view northwest over the green



Fig. Existing view, from Tara Hill Crescent view northwest over the green towards the development site.



Fig. Proposed view, Tara Hill Crescent view northwest over the green to the location of the development site.

Significance

The ACA is characterised by low density 20thc single, one and a half and later two storey houses, around and branching off a central green located east of the subject site, separated by a linear green space associated with a re-directed or piped stream. The green within the ACA is dominated by the least impressive housing type of the ACA, flat roofed two storey terraced houses of late 20thC origin, variously altered and poor in aesthetic terms. From the ACA appraisal carried out by John Cronin & Associates for South Dublin County Council it appears these later houses were built on the truncated back gardens of the original cottages and on the open green space. They are not the key concern of the ACA.

Impact:

The development is screened from the ACA by mature trees on the west side of the open green, also by houses constructed on the mill site and lastly the 2 storey flat roof terrace houses across the green. The new development will make an impact through its increased density and height compared to the ACA. However the ACA is peculiarly low density, of early 20thc origin in layout terms, one that provided gardens intended for planting of vegetables etc. The change in visual emphasis reflects the location of the development along the main road side of the green and adjacent to houses on the mill site and the Mill house adjacent to them. It is an improved aesthetic compared to the numerous flat roofed houses within the ACA and the material palette adopted will reinforce the quality of the proposed dwellings.

6.2 Summary

The proposed development as set out above will have a minimal but positive impact on

- The character of Whitechurch Road
The character of the road will be maintained and reinforced by boundary treatment adopted and by planting of mature trees with a new residential development laid out as a square overlooking the road.
- The Mill House (Protected Structure)
The Mill House while separated from the site will remain a focal point now associated with the development, of a similar scale and boundary treatment, including landscaping.
- The ACA.
The ACA is somewhat separated from the site and proposed landscaping will likely reinforce this over time, there is also existing tree screening on the western section of the green in the ACA that will mitigate the impact of a contemporary development of a higher density compared to the early 20thC semi-rural nature of the original single/ storey and a half labourers cottages within the ACA. It is noted the circa 1970's two storey flat roof houses dominate the ACA in respect of proximity to the development site.

7. Conclusion

The proposed development will have a positive impact on the character of the area as set out above, enhancing the residential status and amenity of Whitechurch Road where at present there a number of vacant sites and development proposals being considered or granted. It will also improve the residential density of the area reinforcing public transport and other public facilities.

The development will have positive impact on the character of the road and existing buildings including the Mill House and will offer a central green space that will complement the sylvan setting of Whitechurch Road.

The character of the rear setting cannot be considered particularly significant, despite its inclusion in the ACA. The rear area is separated by the walled off area along the east boundary, previous location of a stream. The impact on the ACA will be limited by separation and development of a landscape proposal including trees.

The development as proposed, will improve the residential amenity of the area, along with its interface to and character of its setting. The proposed development is therefore considered worthy of support.

8. Bibliography

1. Lewis, Samuel – *A Topographical Dictionary of Ireland, 1837*
2. Healy, P - *Rathfarnham Roads – South Dublin Libraries 2005*
3. Kelly, D. - *Four Roads to Dublin: The History Rathmines, Ranelagh and Leeson Street. 2001.*

9. Appendices

1. Historic Maps
2. External Photographs
3. Internal Photographs
4. CVs

APPENDIX 1

Mapping Record

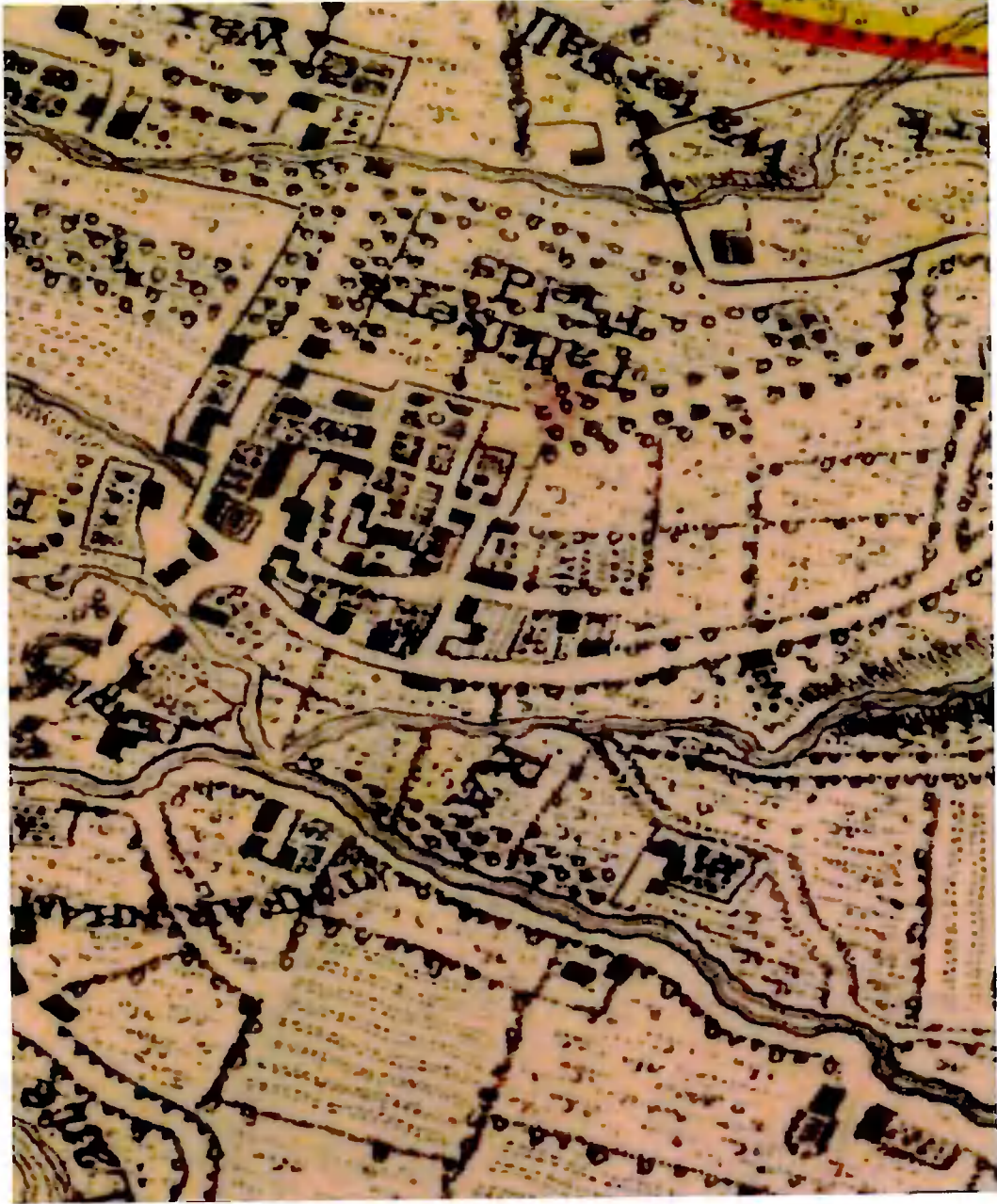


Fig. 1 – Map of Dublin-John Rocque-(1760)-Extract



Fig. 2 – Map of Dublin-John Taylor (1816)-Extract

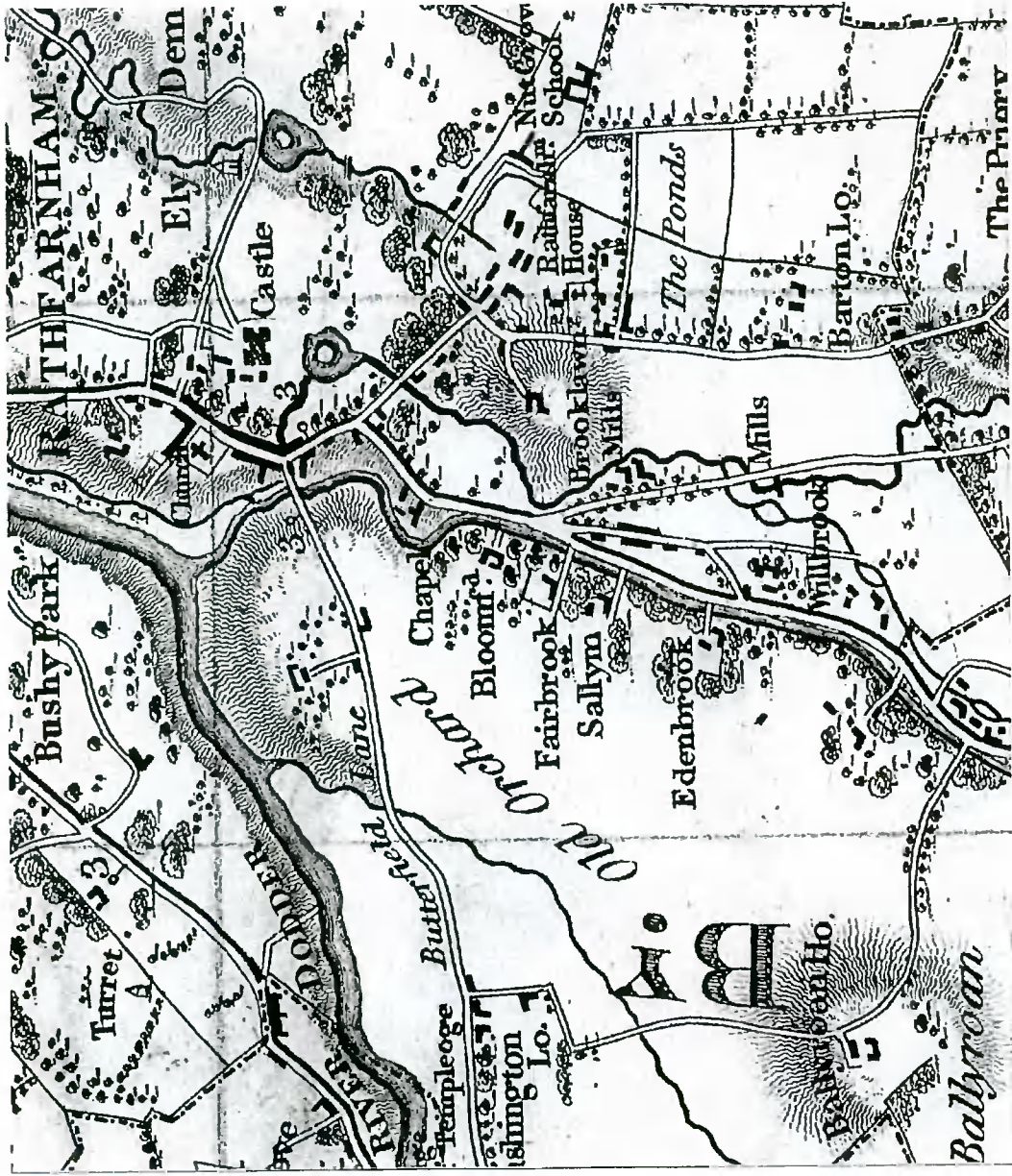


Fig. 3 – Map of Dublin-William-Duncan-(1821)-S006-Extract

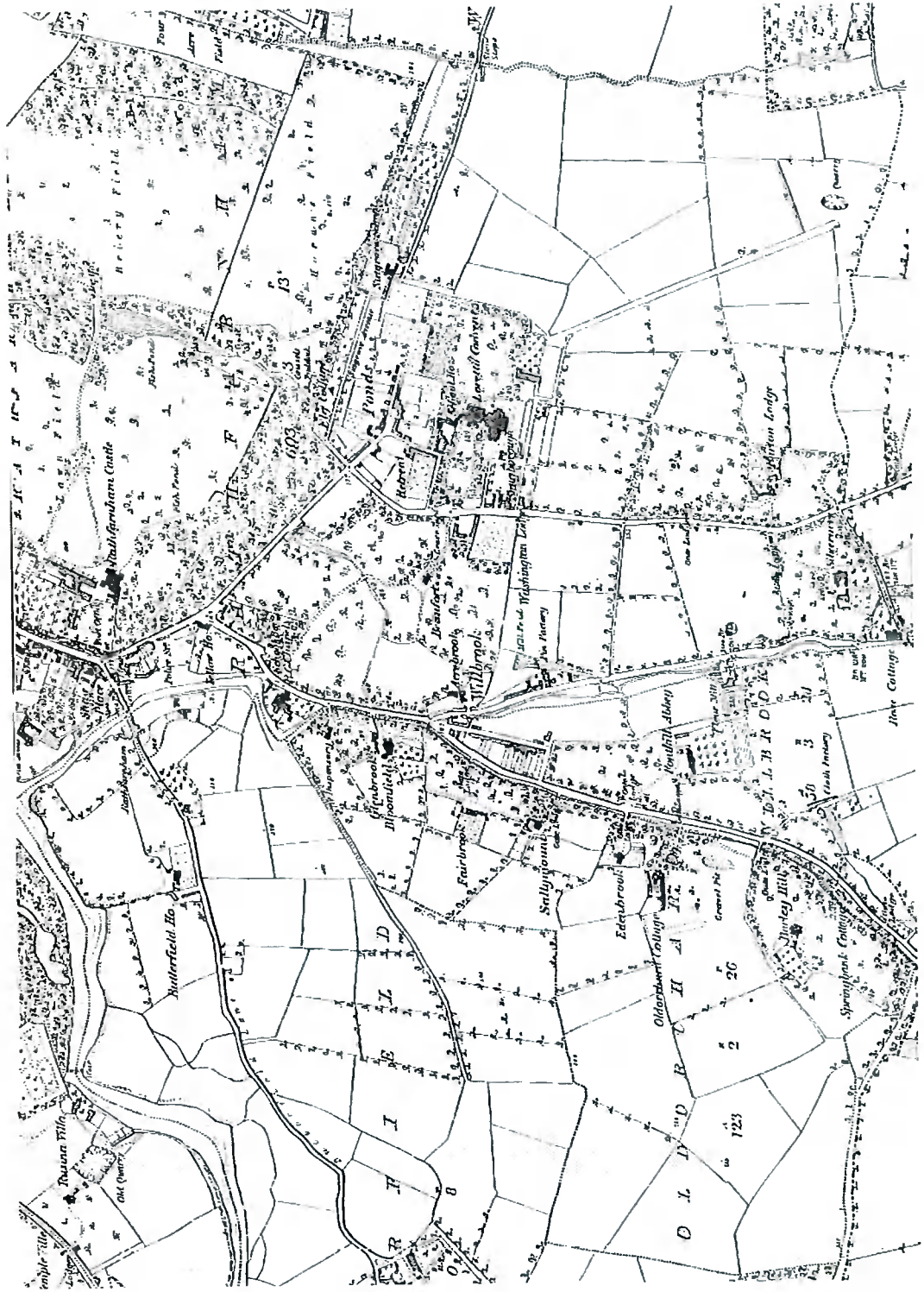


Fig. 4 - OS-Dublin- Scale 1: 10,560-Sheet 22-(1837-43)- Published 1843

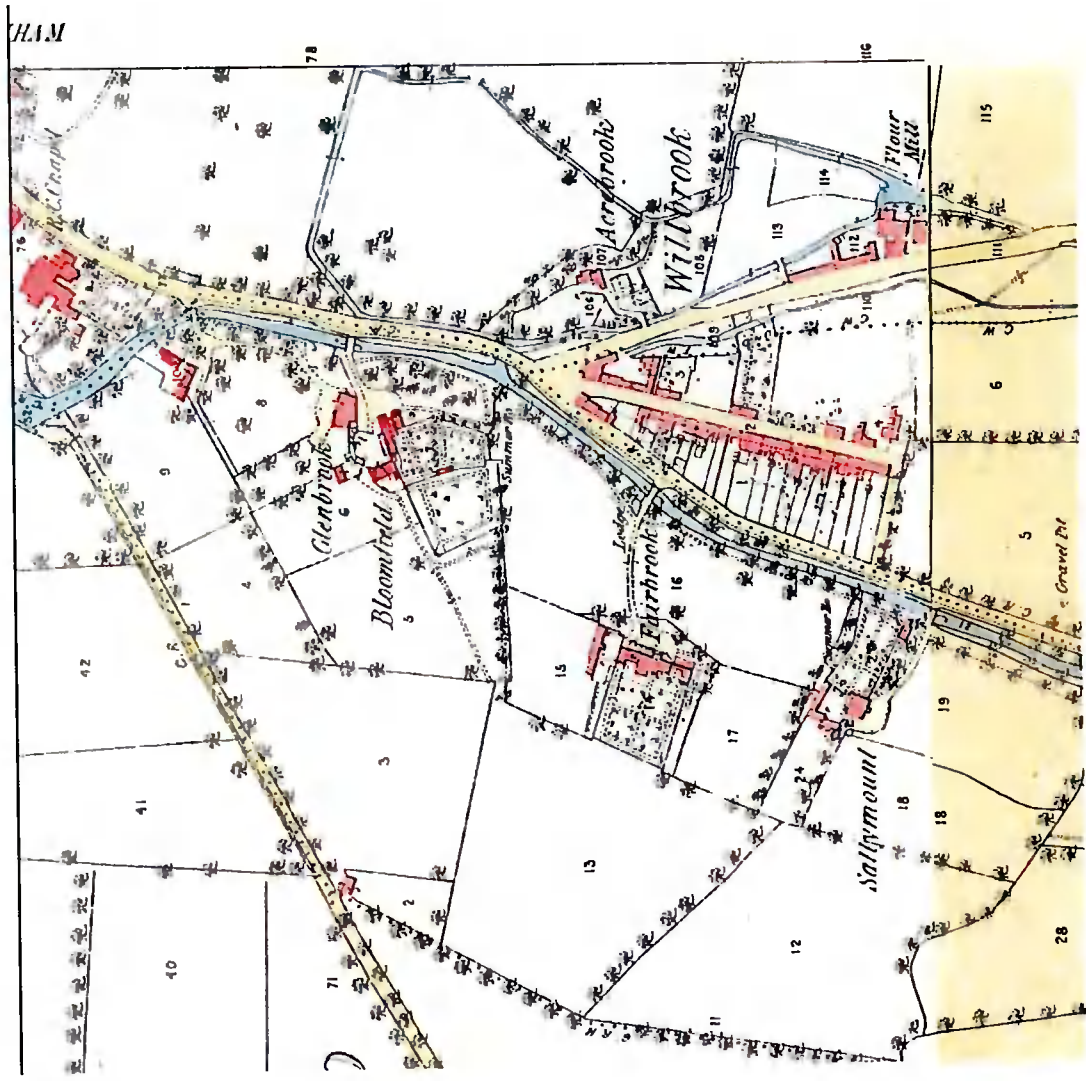


Fig. 5 - OS-Dublin- Scale 1:2500-Sheet 22-06-(1864)- Published 1865

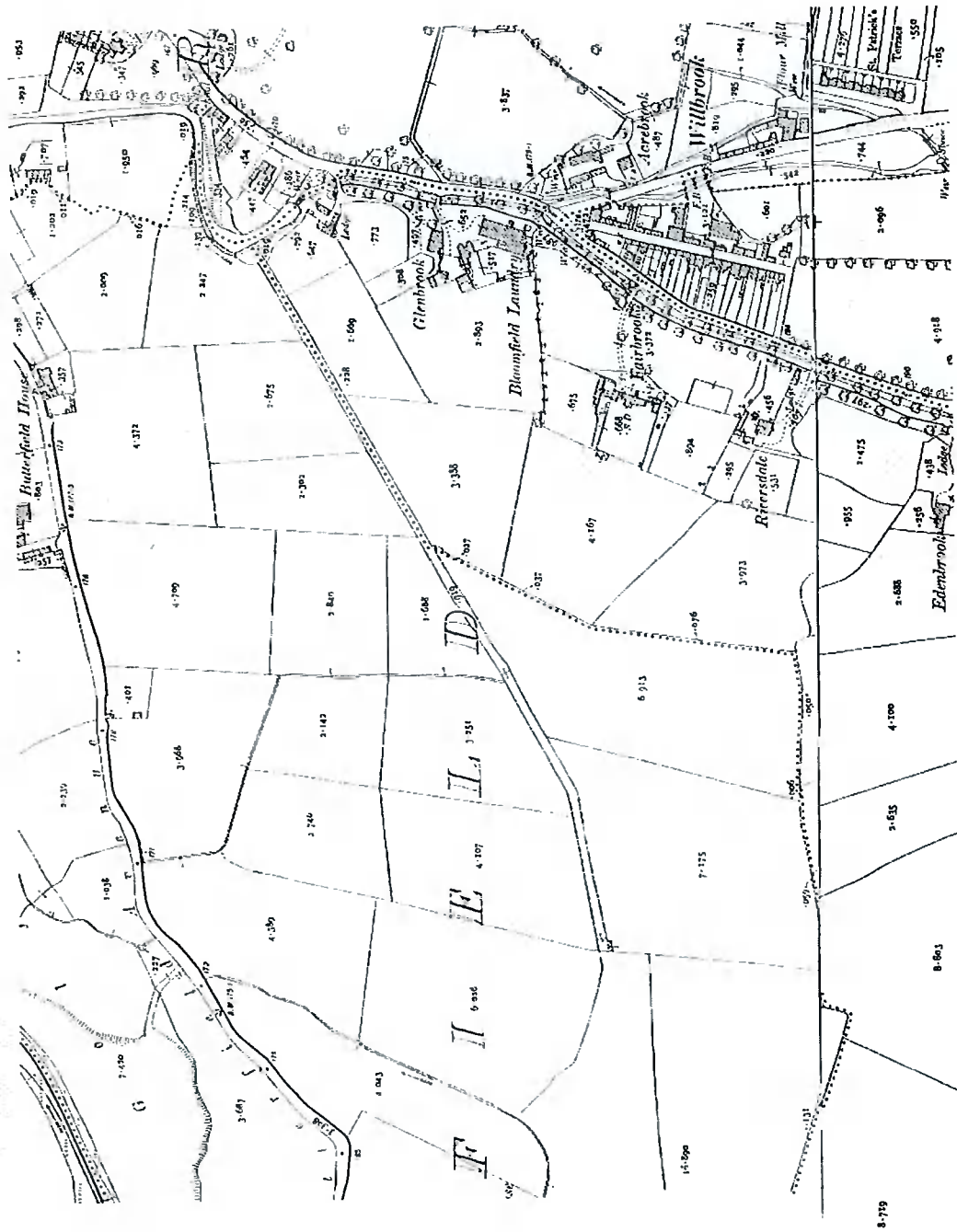


Fig. 6 - OS-Dublin-Scale 1:2500-Sheet 22-06-(Revised 1907)- Published 1910

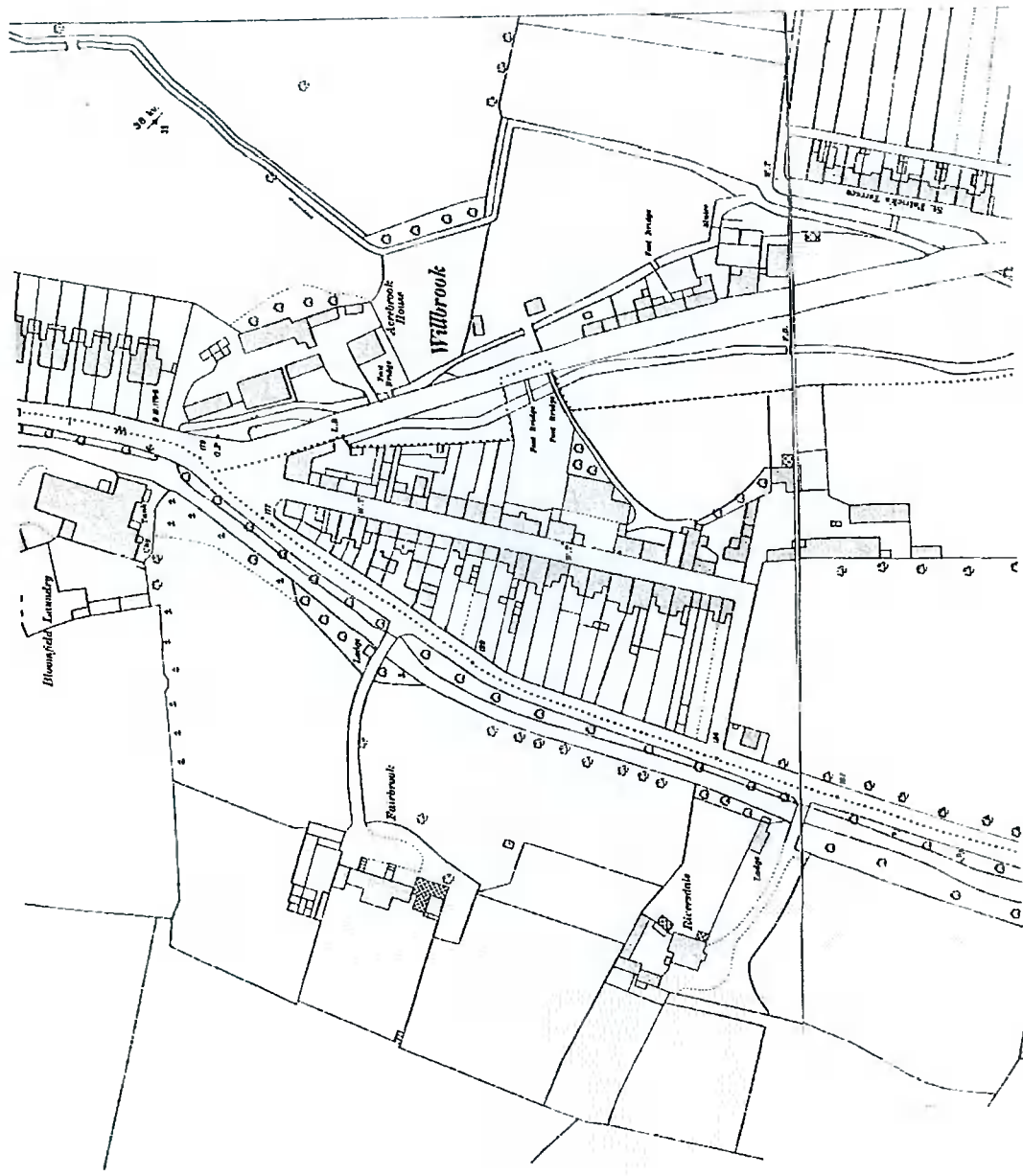


Fig. 7 - OS-Dublin- Scale 1:1,056-Sheet22-45-(Revised 1933)- Published 1934

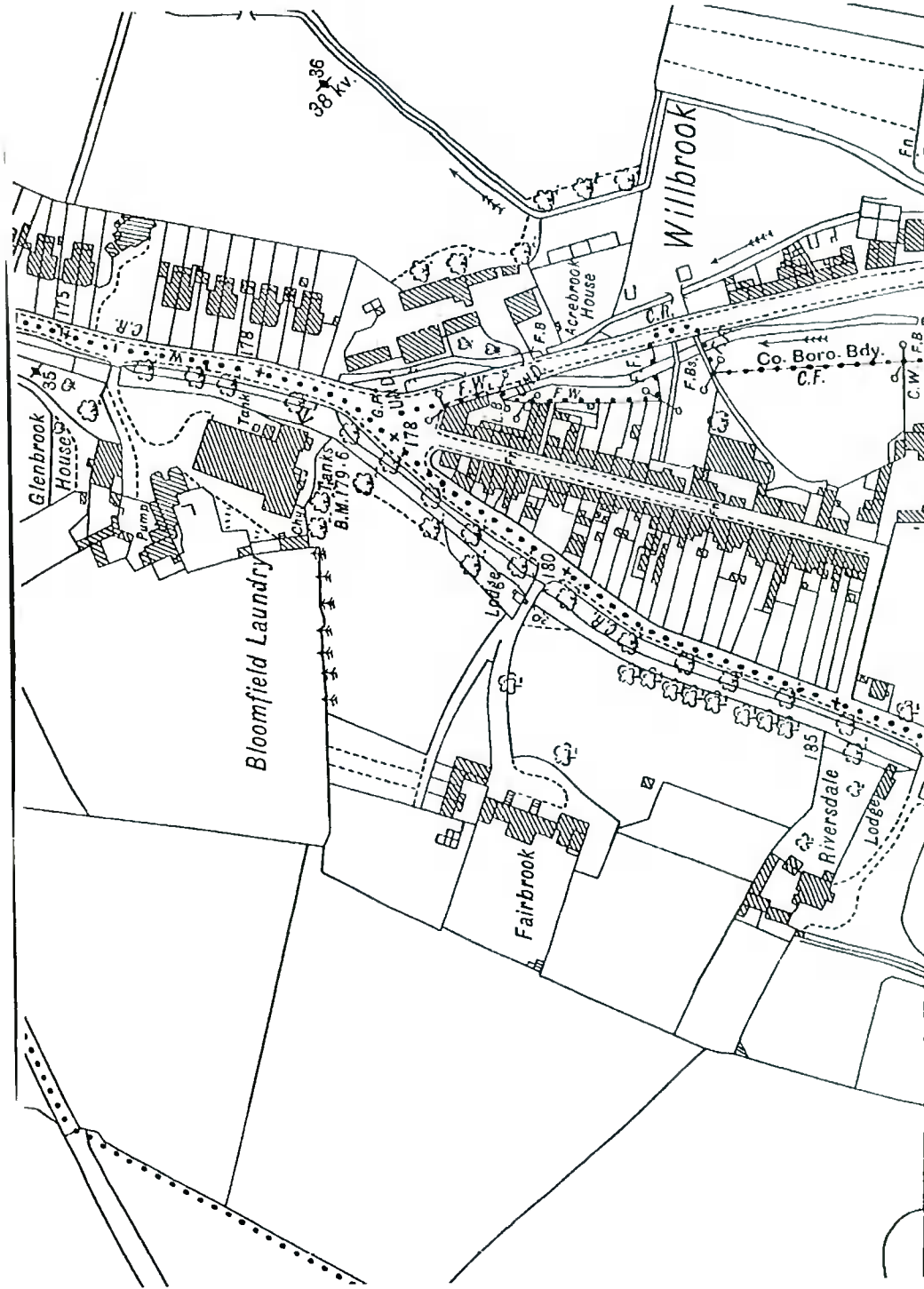


Fig. 8 - OS-Dublin- Scale 1:1250-Sheet 22-06d-(Revised 1944)- Published 1956

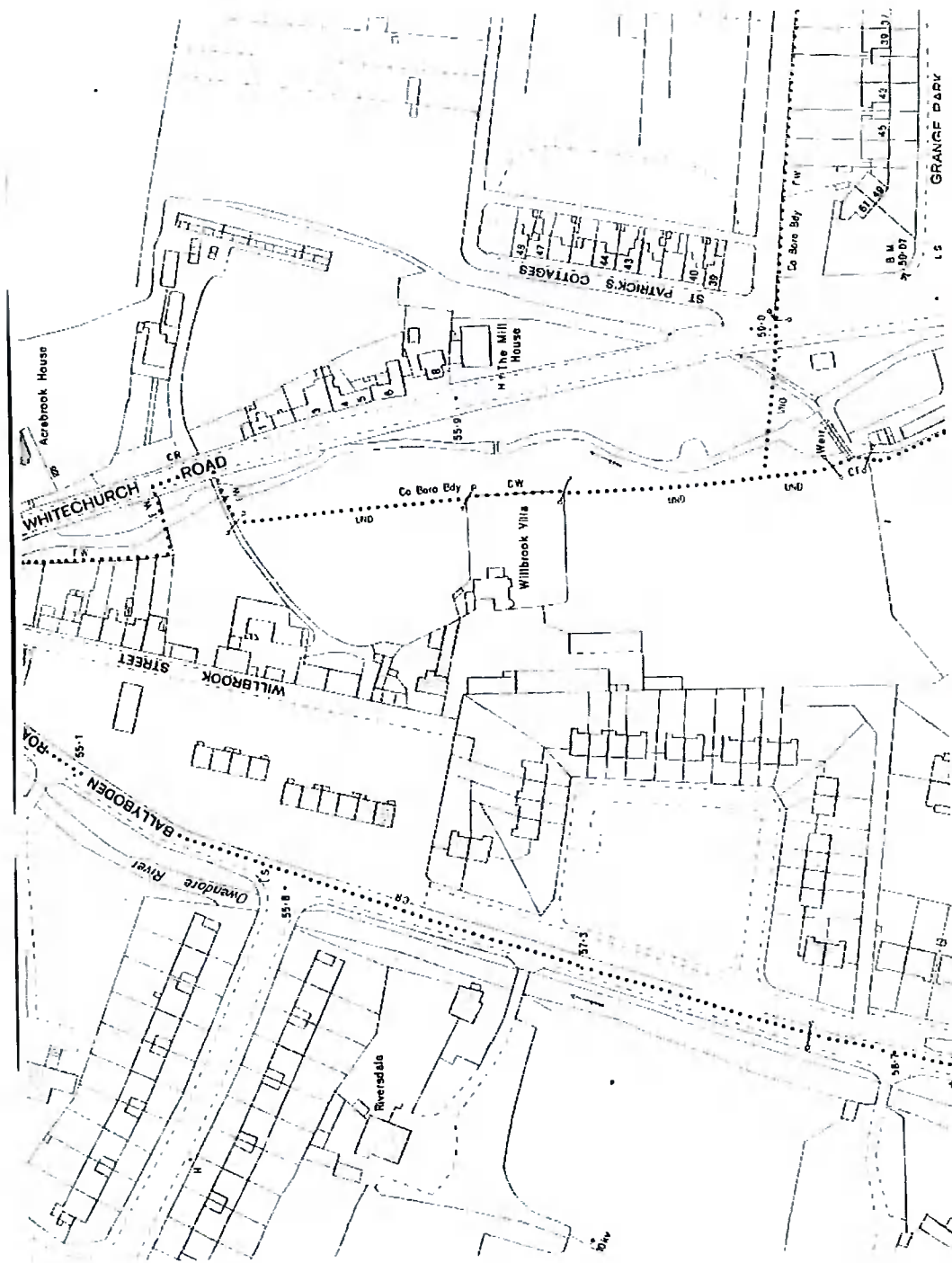


Fig. 9 - OS-Dublin-1000-Sheet 3391-08-(Surveyed 1968)-Published 1972

APPENDIX 2

External Photographic Record



Fig. 1 – View south on Whitechurch Road – Site is in the vicinity of the traffic signs on the left side of the road

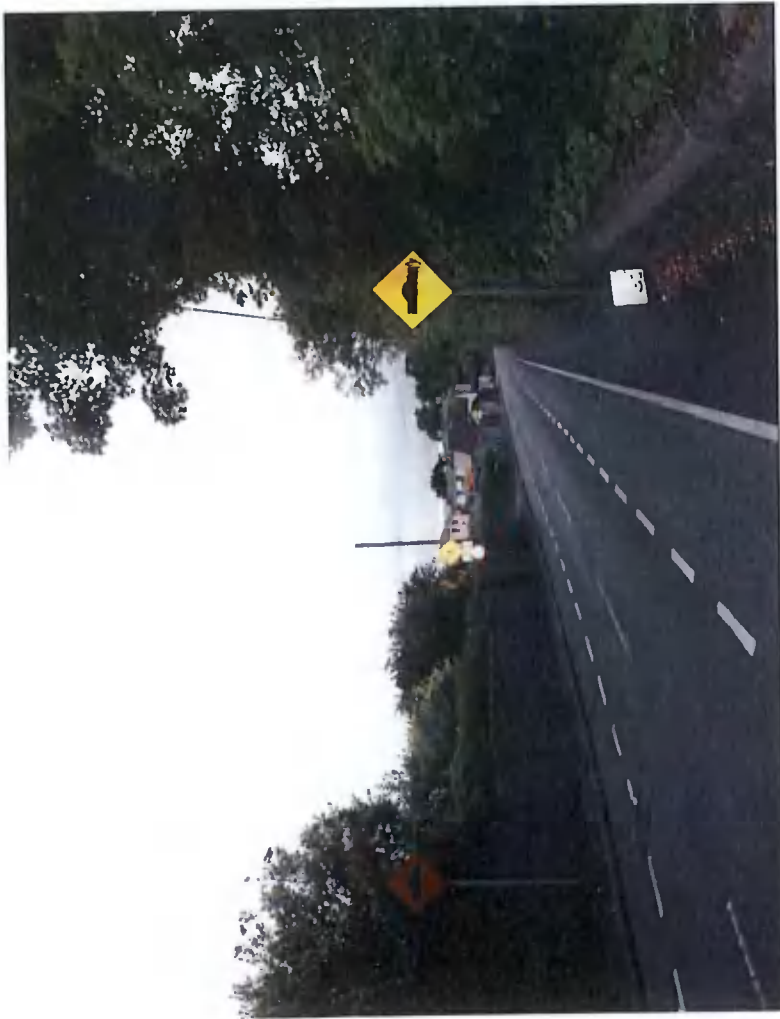


Fig. 2 & 3 – Two views south on Whitechurch Road – Site is on the left side of the road



Fig. 4. View north on Whitechurch Road – Site corner is the pale blue cottage gable to the advertisement at the trees site behind.



Fig. 5. View northeast on Whitechurch Road – Site corner is the pale blue cottage gable. The house on the right is the mill house, a later dwelling associate with the mill. The stone boundary wall ends at the site of the mill, now occupied by two modern dwellings.



Fig. 6. View of remaining cottage on Whitechurch Road. (C1)



Fig. 7. View northeast on Whitechurch Road – Site corner is the pale blue cottage gable.



Fig. 8. View of boundary wall double façade adjoining remaining cottage on Whitechurch Road. (C2/3)



Fig. 9. View of boundary wall mid section single façade along Whitechurch Road. (C4)



Fig. 10. View of boundary, north section of double façade on Whitechurch Road with end 20thC extension raised wall section. (C6)



Fig. 11. View of boundary, south section of double façade on Whitechurch Road. (C5)



Fig. 12-15 – Views of boundary wall façade walling.



Fig. 16 – View of entrance to Silveracre Bungalow on the site and 20thC flanking boundary walls and piers.



Fig. 17 – View of random rubble boundary wall to north west corner of site with pedestrian opening.

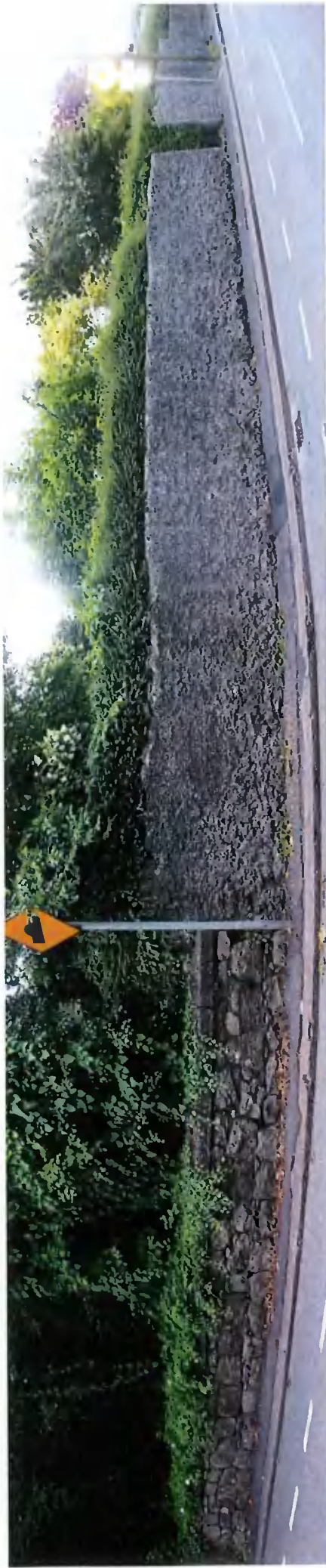


Fig. 18 – View of random rubble boundary wall to north west corner of site with pedestrian opening.



Fig. 19 – View north on St. Patrick's Cottages (ACA) with Mill House site on left



Fig. 20 – View north at the end of St. Patrick's Cottages/ site beyond house site with gate.



Fig. 21 – ACA View northwest from the Junction of Tara Hill Grove over the green to the east boundary of the site



Fig. 22 – ACA View west from the end of Tara Hill Crescent over the green to the east boundary of the site/ 20thC flat roof housing on the green.



Fig. 23 – View of Silveracre bungalow from front garden..



Fig. 24 – View of Silveracre bungalow front garden..



Fig.25 – View of north boundary along bungalow.



Fig. 26 – View of south façade of bungalow.



Fig. 27 – View of rear garden of bungalow.



Fig. 28 – View of rear garden along north boundary outshed.



Fig. 29 – View south in rear garden of bungalow.



Fig. 30 – View north of shed in rear garden of bungalow.



Fig. 31 – View west in rear garden of bungalow.



Fig. 32 – View southwest of shed in rear garden of bungalow.



Fig. 33 – Panoramic view southwest from northeast corner of site..



Fig. 34 – Panoramic view southwest from northeast corner of site..



Fig. 35 – Panoramic view of east boundary block wall bounding the site..



Fig. 36 – Panoramic view from centre of site of setting of Silveracre bungalow along north site boundary.



Fig. 37 – Panoramic view from centre of site of setting of south and west boundaries along Whitechurch road..



Fig. 38 – Panoramic view of single storey rubble/ concrete and brick ruins along Whitechurch Road boundary.



Fig. 39 – View of east boundary block wall bounding the site, flat roofed 20thC dwellings are within the adjoining ACA..



Fig. 40 – Panoramic view east from Silveracre bungalow corner of site..

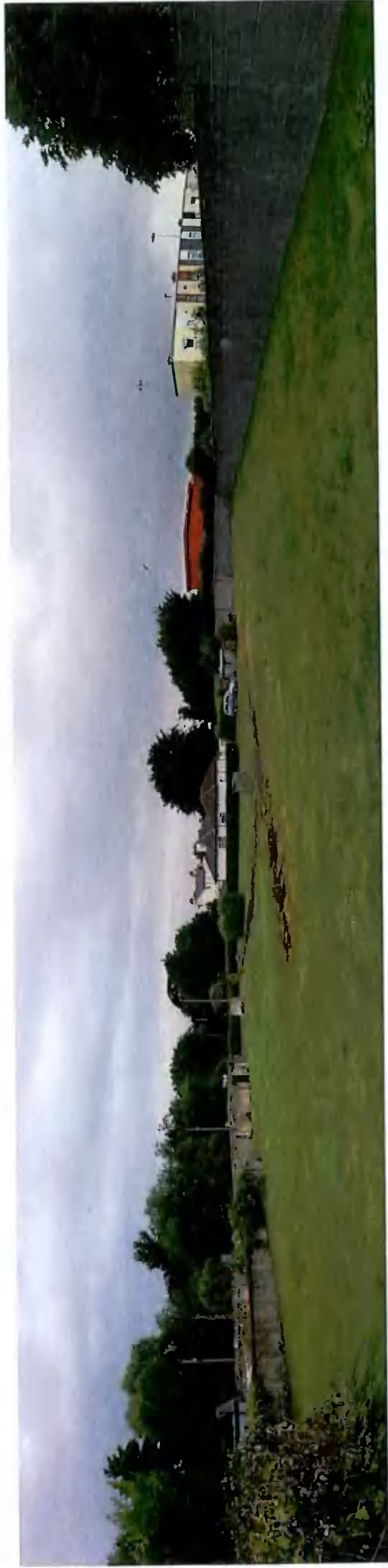


Fig. 41 – Panoramic view northwest from southeast corner of the site.



Fig. 43 – View of 20thC houses built on site of the mill (immediately outside site boundary).



Fig. 42 – View of 20thC house built on site of the mill (immediately outside site boundary).



Fig. 44 – View of southeast corner of the site and east boundary block wall.



Fig. 45a (above) – View west over rear garden of remaining cottage. (C1) & Fig. 45b (above right) of haphazard extension on the cottage.



Fig. 46 – View of concrete section of rear garden boundary wall of remaining cottage. (C3)



Fig. 47 – View of rear walls of ruins along Whitechurch Road. (C4 – 6)



Fig. 48 – View of 20thC ruin walls along west boundary/ along Whitechurch Road. (C6)



Fig. 49 & 50 – Views of 20thC ruin brick/ concrete walls along west boundary/ along Whitechurch Road. (C6)





Fig. 51 – View of section of ruin walling/ rubble masonry uncoursed. (C5)



Fig. 52 – View of ruin walls along west boundary/ along Whitechurch Road, brick, concrete and rubble walling.



Fig. 53 – View of interior section of ruin walling/ rubble masonry uncoursed. (C5)



Fig. 50 – View north of north end ruin interior with blocked up openings to Whitechurch Road. (C5/ 6)

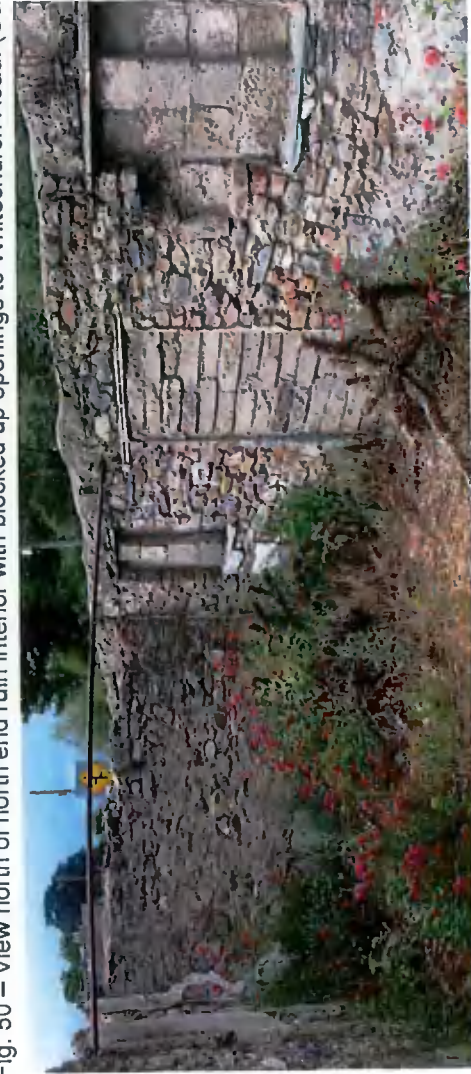


Fig. 51 – View south of north end ruin interior, blocked up openings to Whitechurch Road. (C5)



Fig. 52 – View north in ruin interior, blocked up openings 20thC extension ruin. (C6)



Fig. 53 – View of ruin walls along west boundary/ along Whitechurch Road rubble walling of middle and section of north end ruins. (C4 – 5)



Fig. 54 – View south in north section of middle ruin interior with blocked up openings to Whitechurch Road. (C6)



Fig. 55 – View north in mid section of ruin interior/ northern end. (C4)



Fig. 56 – View east in mid section of ruin interior/ northern end. (C4)



Fig. 57 – View south in mid section of ruin interior. (C4)



Fig. 58 – View south in south mid section of ruin interior with blocked up openings to Whitechurch Road. (C4)



Fig. 59/ 60 – View (above) south of section of ruin boundary wall (C3), and left - toilet cubicle in rear garden of middle section. (C4)

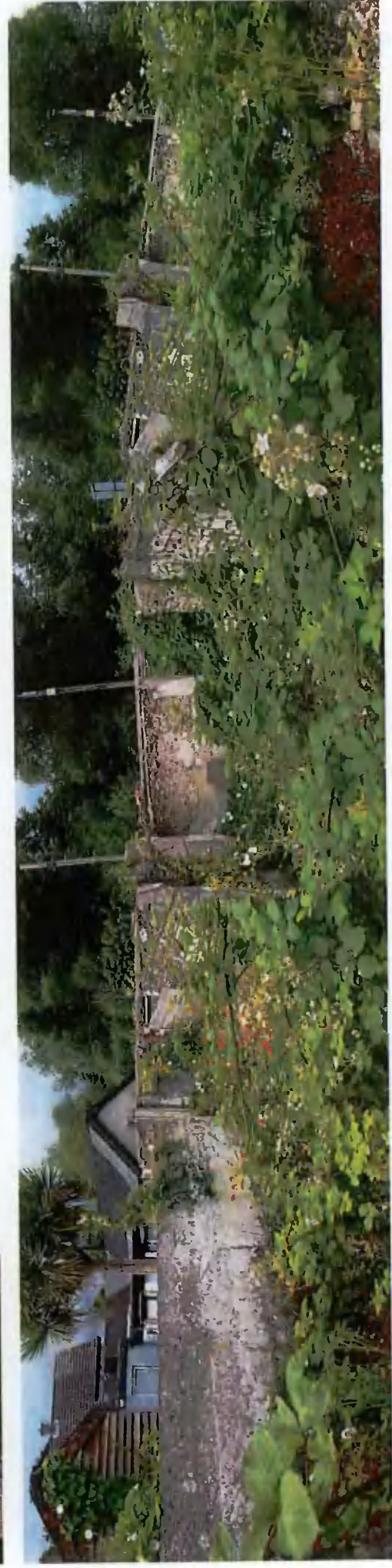


Fig. 61 – View west over (inaccessible) enclosed rear garden/ ruins adjoining remaining cottage (C2/ 3).

APPENDIX 3

Internal Photographic Record

SILVERACRE BUNGALOW



Fig. 1 – View from front door to entrance hall corridor



Fig. 2 – View from end of entrance hall

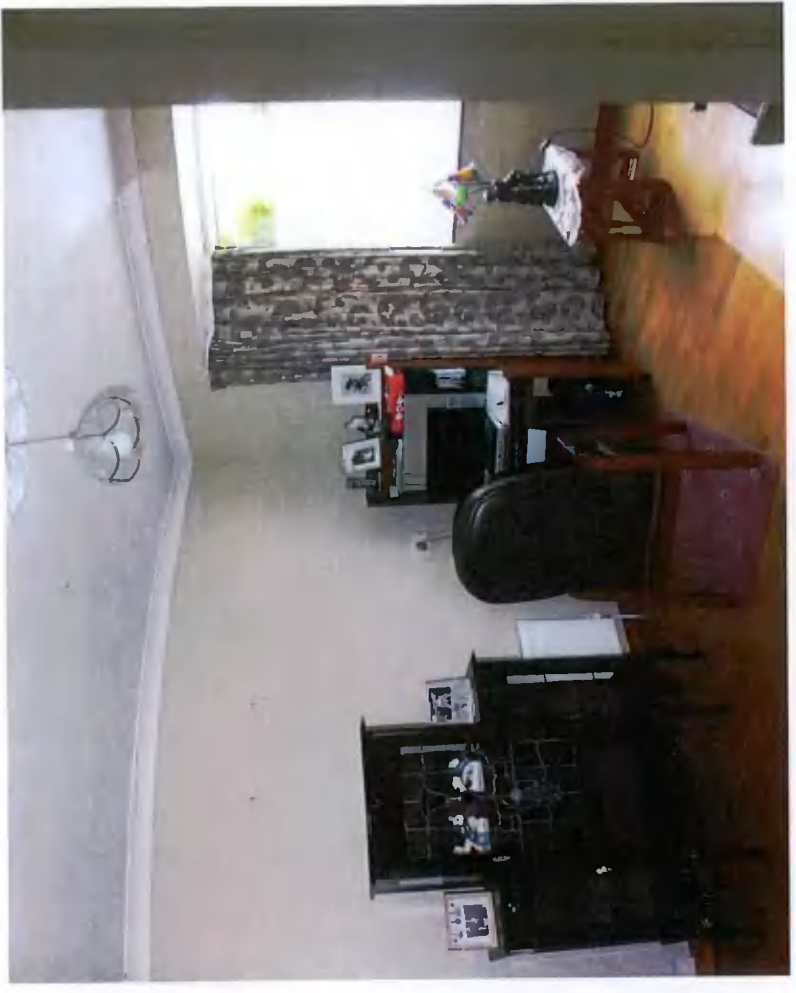


Fig. 3 – View of study/ south gable side of corridor

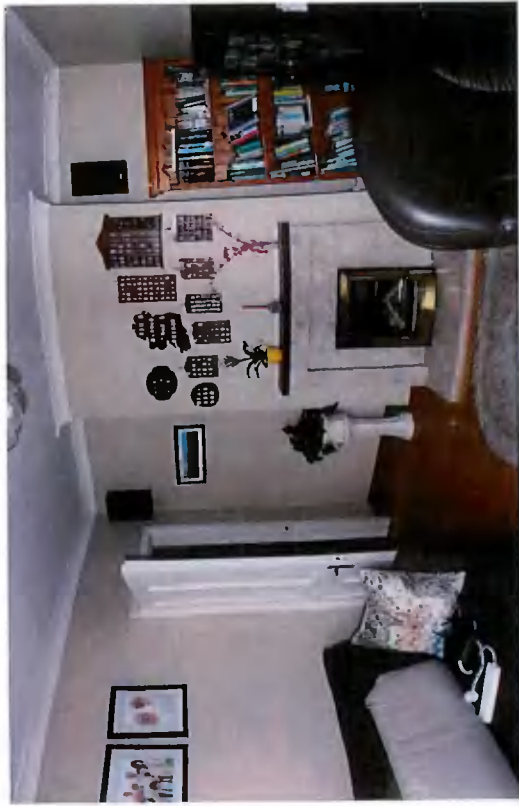


Fig. 4 – View of south gable study to hall door.



Fig. 5 – View to front of north gable sitting room

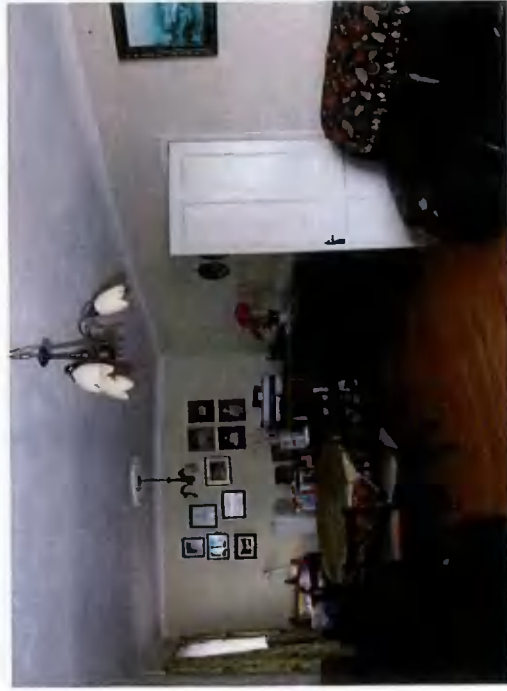


Fig. 6 – View of north gable sitting room toward hall door.



Fig. 7 – View of bedroom/ north gable.



Fig. 8 – View of south gable bedroom to hall door

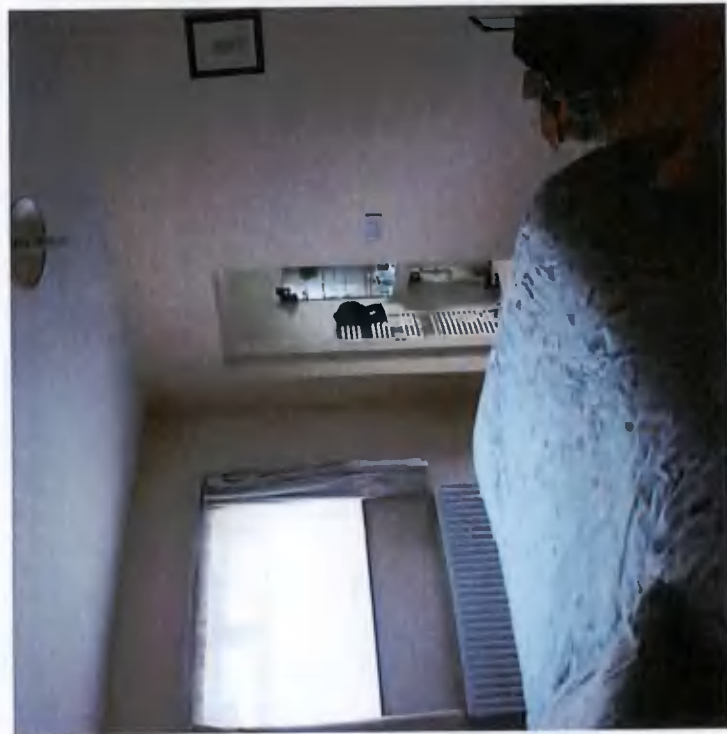


Fig. 10 & 11 – North gable third bedroom/ ensuite also accessed from kitchen.

Fig. 9 – Shower room/ toilet.



Fig. 12. Kitchen/ dining room.



Fig. 13 – Shared ensuite off kitchen/ utility area.

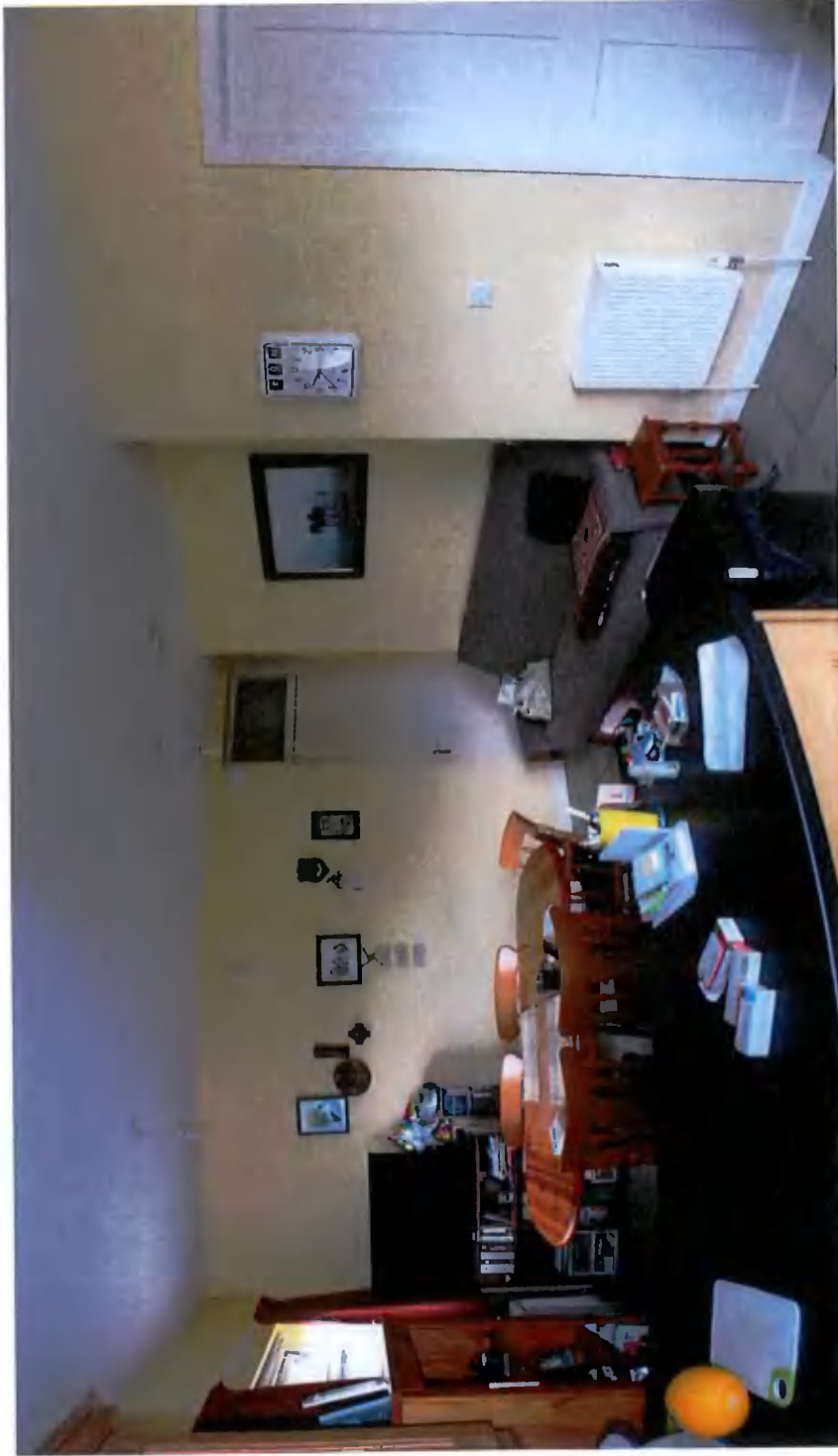


Fig. 14 – Kitchen/ Dining room view to hall door, utility room door to right.



Fig. 15 – Ensuite off utility.

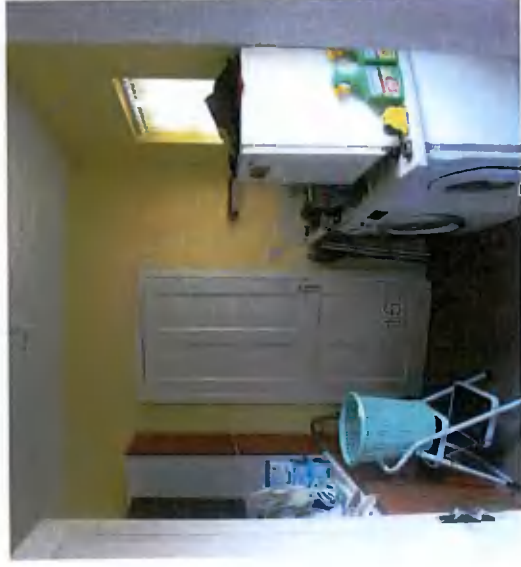


Fig. 16 – View of utility to ensuite door/ from kitchen.

REMAINING COTTAGE



Fig. A -- Sitting room in cottage, door in wall to left leads into kitchen



Fig. B -- East gable Bedroom off sitting room



Fig. C -- Room in cottage



Fig. D -- Room in cottage

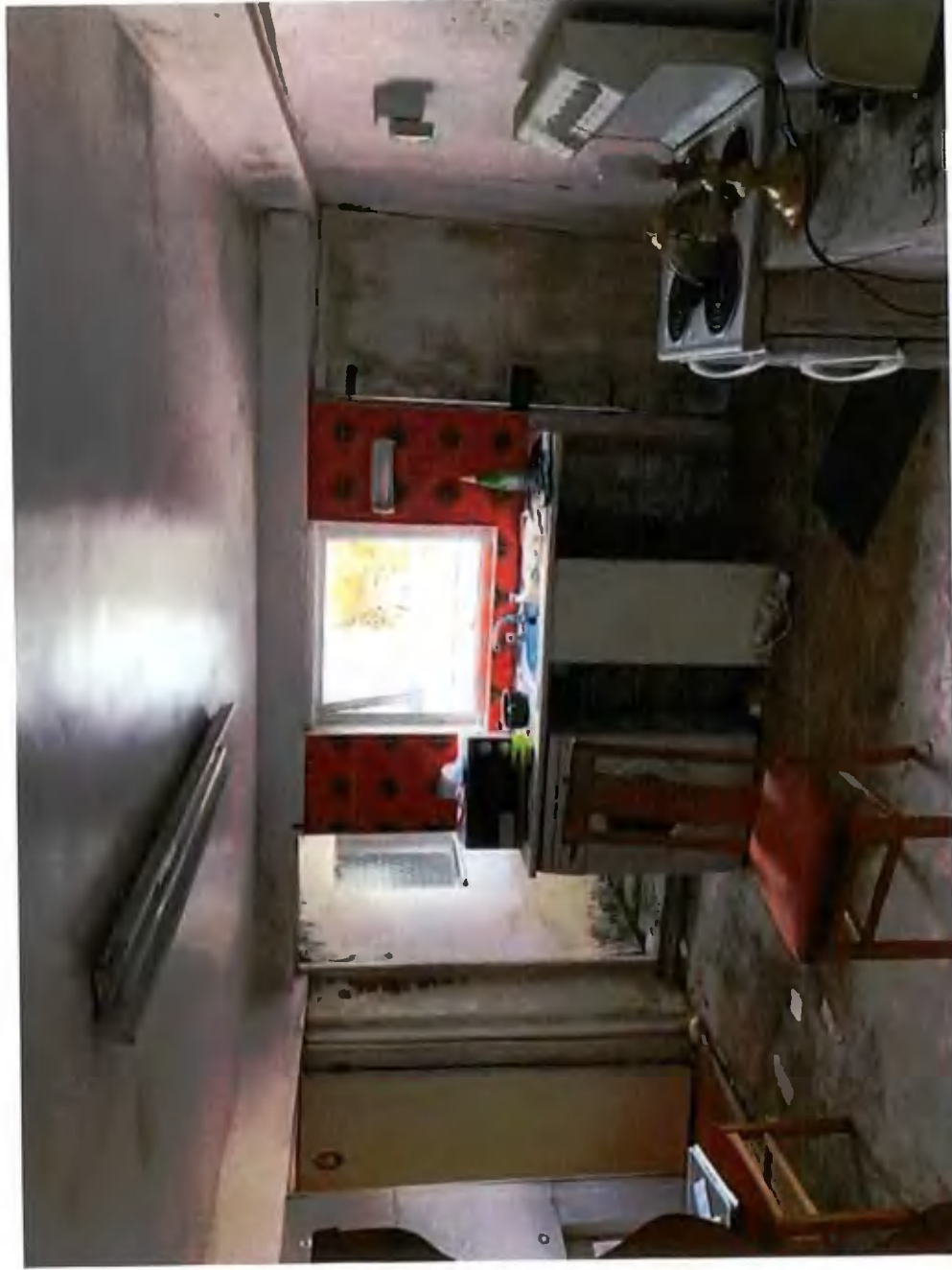


Fig. E – Kitchen area of cottage



Fig. F – Gable gate to rear garden



Fig. G – Rear garden

APPENDIX 4

CIRICULUM VITAE'S

CURRICULUM VITAE - JAMES SLATTERY



DAVID SLATTERY – Architects – Historic Buildings Consultants

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CURRICULUM VITAE - JAMES SLATTERY

Name: James Slattery, B Arch MRIAI DiplABRCons.
Position: Principal
Profession: Conservation Architect, Historic Buildings Consultant.

Professional Affiliations:

- * BArch Degree in Architecture, UCD-1995-2001.
- * Member of the Royal Institute of the Architects of Ireland.
- * Diploma in Applied Building Repair and Conservation from Trinity College, Dublin, 2007-2008.

Brief Summary of Experience:

- 2001-2006 BCDH/BDA Architects
2004-2006 U2 Tower-Competition Winning Scheme & Design up to Tender Stage for DDDA.
- 2005-2006 Lead designer on the 2nd placed design for the Irish World Performing Arts Village at UL and on shortlisted scheme for Anthony Fokker Park, Schiphol, Holland.
- 2001-2005 Residential Development to Protected Structure (Regional Significance) at 30-32 S.J.R.Q., Dublin 2 up to Planning Stage
- 2006-
2006-2012 David Slattery Conservation Architects Ltd.
Conservation Architect for Restoration of the National Maritime Museum Protected Structure (National Significance), Haigh Terrace Dun Laoghaire within the former Mariner's Church including roofworks, restoration of stonework, stained glass repairs and protection, interior restorations and new interventions to improve functionality. Lead sketch, planning, tender, construction phases.
- 2007-2009 Protected Structure (Regional Significance) at No. 13 Stephen's Green, Dublin 2-Conservation Architect for Restoration of external fabric (decorative stucco, sash windows and slate roof) and interior alterations. Lead sketch, planning, tender, construction phases.
- 2007-2008 Redevelopment of the Humewood Castle Protected Structure (National Significance), Co. Wicklow- Conservation Consultant to successful

planning for redevelopment of the gothic revival estate which was recently completed.

- 2008-2012 Kent Station (Protected Structure of National Significance) Redevelopment Masterplan, Horgan's Quay, Cork - Conservation Consultant up to planning stage.
- 2008- Dartry House (Protected Structure of National/Regional Significance), Rathmines-Restoration - Conservation Consultant through planning, tender and on site stage of a number of phases of work to main house and to Dartry road.
- 2008-2009 65 Fitzwilliam Sq, Dublin 2 (Protected Structure of National/Regional Significance) - Conservation Consultant to planning stage for conversion of former house in offices back to a single family dwelling.
- 2008-2010 Ardeevin, Otranto Place, Sandycove (Protected Structure Regional Significance) - Conservation Architect for Extension and Restoration of detached Victorian House by the sea. Sketch, Planning, Tender and Construction stages.
- 2009-2014 Redevelopment of Ballroom and Stables at K-Club, Straffan House (Protected Structure of Regional Significance)-Conservation Consultant
- 2008-2012 Works to Railway Stations at Newbridge, Kildare, Sallins, Ballinasloe, Tullamore and Drogheda- (all Regionally Significant Protected Structures) Conservation Consultant.
- 2008-2012 Dart Underground-Conservation-Consultant for Design, EIS Preparation etc. to successful Railway Order.
- 2008-2012 Luas Line BXD-Conservation Consultant for Design, EIS Preparation etc. to successful Railway Order for works affecting numerous Nationally and Regionally significant Protected Structures and National Monuments within ACA and CAs in Dublin City.
- 2009-2012 Redevelopment of interior to Powerscourt Townhouse (Protected Structure of National/Regional Significance) and Restoration Works to Front Setting, Sth William St, Dublin 2 - Conservation Consultant and Architect.
- 2009-2012 Redevelopment of Doyles/Times Hostel, Fleet Street, Dublin 2 (including Regionally Significant Protected Structures) - Conservation Consultant.
- 2010-2014 NUI Galway - Reroofing Quadrangle Building - Protected Structure and Refurbishments to Aula Maxima - Conservation Architect for planning, tender and construction.

- 2010- Redevelopment of RTE Campus, Dublin 4 (including assessments of Protected Structures of Montrose and Mt Errol and the STW campus itself) - Conservation Consultant.to Planning and Tender for Restoration Works to Montrose House redevelopment.
- 2010-2015 Redevelopment of Irish Distiller's Site, Smithfield - Conservation Consultant.
- 2010-2012 Redevelopment and Restoration of CWU Headquarters, NCR, Dublin 3- Conservation Consultant for planning, tender and construction phases of works to former early Georgian house (Protected Structure of Regional Significance).
- 2010-2012 Restoration of Seatown Road Parochial House Swords - Conservation Consultant for planning, tender and construction phases of works (Protected Structure of Regional Significance).
- 2010-2012 Restoration to Interiors of St. Francis Xavier's Church (Protected Structure of National/Regional Significance), Gardiner Street, Dublin 1-Conservation Consultant
- 2011-2013 Redevelopment of Former Ford Factory Site (Protected Structure of National Significance), Marina Park, Cork-Conservation Consultant. Sketch and planning stage.
- 2011-2013 Restoration Works to Macroom, Carrig, & Kildare Bridges-Conservation Consultant. Planning and Tender Stages.
- 2011- Restoration of Leinster House External Fabric (Protected Structure of National Significance) - Conservation Architect to Tender Stage.
- 2011-2012 Restoration of Fire Damaged Church, Ballinroad, Waterford (Protected Structure Regional) – Conservation Consultant. Tender and Construction stages.
- 2011-2015 Restoration of Olympia Roof and Interiors, Dublin 2 (Protected Structure Regional) – Conservation Consultant. Tender and construction stages.
- 2011-2012 Redevelopment of former Dutch Billy at No. 50 Mary Street, Dublin 3 (Regionally Significant Protected Structure) - Conservation Architect. Planning and Tender stages.
- 2011-2013 Restoration of Stonework and Copper Lamps and Standards to Sarsfield Bridge, Limerick (Regionally Significant Protected Structure)- Conservation Consultant. Planning, tender and construction stages.

- 2012- Belvedere House – Belvedere College – Conservation Architect planning tender and construction stage.
- 2012- Restoration and protection of Apse Roofs to Pugin Chapel, Slate Roofs to Apple Store and Redevelopment of Stoyte House and Kitchen Courtyard all at St. Patrick's College Maynooth including a number of Nationally Significant Protected Structures. Conservation Architect for planning, tender and construction stages.
- 2012-2013 Restoration & Redevelopment of Marley Grange, Rathfarnham (Regionally Significant Protected Structure) - Conservation Consultant for planning and tender stages.
- 2012-2016 Redevelopment of former Georgian Houses at Nos. 18-20 Merrion Street, Dublin 2 (Protected Structures of Regional Significance) - Conservation-Architect for planning, tender and construction stages.
- 2012- Restoration of Glendruoid House, Cabinteely (Protected Structure of Regional Significance) - Conservation Architect for planning, tender and construction stages. Conservation consultant for redevelopment of estate.
- 2012- Restoration and Redevelopment of Ashbourne Church and Parish House (two Regionally Significant Protected Structures), Ashbourne, Co Meath-Conservation Consultant for planning consents, tender and construction stages of restoration and extension works.
- 2013 Redevelopment of Site of Former Celbridge Workhouse, Co. Kildare (Regionally Significant Protected Structure) - Conservation Consultant for planning stage.
- 2013- Restoration of the Church of Our Lady and St. David, Co. Kildare (Regionally Significant Protected Structure) -Conservation Architect for planning, tender and construction stages of restoration.
- 2013-2014 Tyrconnell Bridge Reconstruction, Donegal, Co. Donegal (Regionally Significant Protected Structure) - Conservation Consultant to planning and tender stages.
- 2013- Redevelopment of Former Late-Georgian Terraced Houses at Camden Street Upper to Camden Street Hotel, Dublin 8 (Protected Structures of Regional Significance) - Conservation Consultant to Planning stage.
- 2013 Garryduff Bridge in BNM Land - Conservation Consultant in Relation to Proposed Inclusion on RPS.

- 2013-2016 Restoration of No. 70 Blessington Street, Dublin-Conservation Consultant for planning, tender and construction stages of work to restore a mixed surgery and apartment use to the former Georgian House.
- 2013- Redevelopment of Regionally Significant (not on RPS) Ormond Hotel and adjoining Protected Structures, Ormond Quay, Dublin 1 - Conservation Consultant planning stage.
- 2013-2016 Redevelopment of Fleet Street Hotel, Westmoreland Street, Dublin 2 above former Bewleys premises (Protected Structure Regional) - Conservation Consultant for planning, tender and construction stages.
- 2013-2014 Redevelopment of Molesworth Street to South Frederick Street Block, Dublin 2-Conservation Consultant planning stage.
- 2014-2015 Redevelopment of Chatham House, Chatham Street, Dublin 2-Conservation Consultant planning stage.
- 2014- Boland's Mills Redevelopment – Conservation Architect for planning, tender and construction stages.
- 2014- Spire Restoration at Pro-Cathedral of Saints Peter and Paul, O'Connell Street, Ennis, Co. Clare (Protected Structure Regional) - Conservation Architect tender stage.
- 2014-2015 Former Dowager House (Now BOI) Restoration, Westport, Co. Mayo (Protected Structure Regional) -Conservation Consultant planning stage.
- 2014-2016 Works to Trinity Hotel, Dublin 2 Site of Former Tara St Fire Station (including Regionally Significant Protected Structures) - Conservation Consultant planning stage.
- 2015- Trinity College Business School including Restoration and Adaptation of former houses on Pearse Street - Conservation Architect for Planning, Tender and Construction stages.
- 2015- Restoration of Gate of Justice, Dublin Castle, Dublin 2 (National/Regional Significance Protected Structure) - Conservation Architect for Tender and construction stages.
- 2015- Extension and Restoration of Regionally Significant Arts and Crafts Protected Structure at "Seaside", Burrow Road-Conservation Architect for Planning, Tender and Construction stages.

- 2015- Restoration and Redevelopment of Irish Stock Exchange and Armoury Building, Anglesea Street/College Green (National/Regional Significance) - Conservation Consultant for planning, tender and construction stages.
- 2016- Restoration of single family dwelling to former Georgian house at No. 5 Mount Street Crescent, Dublin 2 (Regionally Significant Protected Structure) - Conservation Consultant for planning stage.
- 2016- Restoration and redevelopment of former Clerys Site, Dublin 1 – Nationally Significant Protected Structure - Conservation Consultant for planning and tender stage.
- 2016- Restoration and redevelopment of No. 2 Grand Parade, Dublin 6 (former Carrolls building) National/Regional Significant Protected Structure - Conservation Consultant for planning and tender stage.
- 2016- Restoration and redevelopment of site of former Hampton Carmelite Convent and Pugin Chapel, Drumcondra, Dublin 3 (Regionally Significant Protected Structure). Conservation consultant planning and tender stage.
- 2016- Works to original Fitzgerald airport terminal for DAA (Regional Protected Structure) – Conservation Consultant planning stage.
- 2016- Restoration and redevelopment of former 19th Century Hotel at Crofton Hall, Crofton Road, Dun Laoghaire (Regional Protected Structure) – Conservation Consultant planning stage.
- 2016- Restoration and reinstatement of residential use to no. 61 Merrion Square, Dublin 2 (Regionally Significant Protected Structure) – Conservation Consultant planning and tender stage.
- 2016- Restoration and redevelopment of former Central Bank Site Dame/College Street including one National/Regional Significant Protected Structure (No. 9 College Street) - Conservation Consultant for planning stage.
- 2017- Redevelopment at Howth Castle Masterplanning – Conservation Consultant.
- 2017- Restoration and Extension to No.16 St. Stephen's Green – Nationally Significant Protected Structure - Conservation Consultant for planning stage.
- 2017- Restoration and Extension to former Ardmore House within the UCD Estate – Nationally Significant Protected Structure - Conservation Consultant for planning stage.

CURRICULUM VITAE – DERMOT BRENNAN DSCA LTD.



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CURRICULUM VITAE – DERMOT BRENNAN ARCHITECT

Name: Dermot Brennan Ba(Hons Dip.Arch. RIBA, RIAI)
Position: Project & Assistant Architect
Company: David Slattery Conservation Architects Ltd.
Historic Buildings Consultants

Professional Affiliations:

- * Construction Technology Certificate Dundalk RTC 1981
- * Ba(Hons), Dip.Arch. Architecture Southbank University 1996
- * Grade 3 Conservation Architect 2010

Outline of conservation project inputs – updated October 2020 - DSCA Ltd

Camden Street St. Keavan's Port Hotel
Conservation Architect role in works underway for JD Wetherspoons based on tendered DSCA Conservation specifications.

16 St Stephen's Green
Conservation Architect role in works underway for October Investments Ltd./ RKD Architects based on tendered DSCA Conservation specifications.

Abbey Street 12B & 12C Former Savings Bank & Baptist Chapel
Conservation Architect role in works for JD Wetherspoons based on tendered DSCA Conservation specifications

25 Burrow Road
Project Architect on ongoing construction 1.5m refurbishment and contemporary extension to a protected structure – Gothic house dating from 1861

183-186 Pearse Street – Protected Structures
Conservation Architect role in works for Trinity Business school based on tendered DSCA Conservation specifications

Blessington Street
Planning Applications on a Protected Structure in relation to commercial use.

Carnagh House - House associated with reconstruction/ refurbishment.

David Slattery – Conservation Architects Ltd.

James Slattery B.Arch., Dipl. ABRCons M.R.I.A.I. – Principal/Director

Stone Villa

Site review for response on conservation related to Further Information on Conservation aspects and inputs.

47 Leeson Park –

Site review in association with ongoing refurbishment works.

DSCA Ltd. Conservation Reports:

Gorteen Delgany – PS

House & gatelodge/ associated with new housing development

12 Hendrick Street - PS

Adjoining property report related to Appeal associated with new hotel development adjoining site.

Thornhill Stillorgan PS

Report/ assessment associated with new residential development

Tassaggart PS

Report/ assessment associated with new house in grounds

Our Lady's Grove, Roebuck Dublin PS

Report/ assessment associated with new residential development

Powerscourt House Courtyard Stable Buildings PS

Report/ assessment associated with change of use

Clonbur Foxrock

Report/ assessment associated with new ACA terrace development

72 Abbey Street

Report/ assessment associated with new hotel development

Hamilton Lodge PS

Report/ assessment associated with new house in garden

Two separate applications, works proceeding on site at present.

57 Rathgar Road PS

Report/ assessment associated with upgrading works

Cornelscourt House PS

Report/ assessment associated with new house in garden

5 Dame Lane

Report/ assessment response to proposed addition to DCC RPS

Boosterstown Parish Centre

Report/ assessment associated with upgrading/ reconfiguration.

Rathgar Avenue 36 Eagle Lodge

Report/ assessment associated with upgrading works and extension.

51 Ailesbury Road

Sash window report for a Section 5 exemption.

Landsdowne Lodge

Report/ assessment associated with apartment development designed by HJL Architects

15 Mountjoy Square

Report/ assessment associated with upgrading works

Loreto on St. Stephens Green Hall

Report/ assessment associated with new School sports hall and field development
Walford, Shrewsbury Road

Report/ assessment associated with demolition and new house.

Ardenode Stud, Kildare

Report/ assessment associated with upgrading works and extension.

Pre DSCA

2015 - 9 Winton Road - Protected Structure

Section 5 permitted works to restore and re-slate roof – Refer 15/ 0153 and later permission to refurbish and extend.

2015 – 7 Havelock square

Planning application for extension and refurbishment in a residential Architectural Conservation Area.

2014 – Gorse Hill, Howth

Complete refurbishment of 1911 built Edwardian period private house of mass concrete construction with red clay tile roof.

2013 – Carrigoona, Howth

Refurbishment of 1936 built private house of concrete red clay tile roof.

2013 – Nannywater cottage, Laytown, Co. Meath

Conservation appraisal for Refurbishment works and infrastructural works to a converted cottage originally built as a coastguard station in 1830, a Protected Structure.

2011/12 – Frankfield, Mart Lane & Glennacarrig, Brennanstown Road Foxrock

Refurbishment of 1907 large houses - Edwardian red clay tile roofs and other works. Also similar work to Edwardian period house, Glencarrig in the Burnaby, Greystones.

2010 – 14 Wellington Road, Dublin 4

Outline proposals and appraisal of corner house on Elgin Road.

2009 – Ceanchor House Howth

Planning application for refurbishment & extension of a Guinness family home dating from 1830 - regency period detailing/ not protected.

2008 – Cliff House Killiney

Project architect on later phases of 15,000 sq. refurbishment and extension of Protected Structure. House designed by Deane & Woodward Architects.

2007 – Dangan house and demesne Co. Meath

Development and historic appraisal of site with Mary Hanna Architect as consultant.

2005 – Sutton Castle Howth

Project architect role on conversion of prior hotel/ originally a Jamison Family home to apartments, 16 in original building and 9 new adjoining. – Protected Structure

2004 – Ballyorney House, Enniskerry
Extensions and refurbishment works to Protected Structure – Private house.

1997 – 2014 K Club Resort centred on Straffan House & Demesne
Continuous involvement from 1997 primarily while working for Brian O'Halloran & Associates Architects. Directing consultant inputs on conservation appraisal etc. on the following:

- Proposal for a new ballroom conference centre integrated with the original east wing of the protected structure in association with David Slattery Conservation.
- Proposal/ Conservation appraisal of early 19th century gatelodge in association with David Slattery Conservation Architects.
- Proposal for a second western wing to expand accommodation to 140 rooms in association with David Slattery Conservation Arch.
- Project Architect on New Straffan House – 27,500 sq.ft. Private house on resort.
- Master planning of second golf course development on demesne lands south of river Liffey.
- Development of Hotel resort courtyard 60 unit apartment developments adjacent to the Hotel within the Protected Structure curtilage of the original walled garden areas.
- Development of a new western wing extension to the Hotel completed 2001.

1996 – 53 Campden Hill Road Kensington London
Complete refurbishment of a Grade 2 listed house in association with Robert Stern Architects New York. Acting for an American Client.

1996 – Private house Wimbledon London
Planning design for refurbishment of Grade 2 listed Edwardian house.

1990 – 95 London
Restoration of late 19th century Grade 2 listed two joined houses on Melbury Road Kensington of circa 1880 brickwork high Victorian/ arts & crafts design.
Work on listed apartment building in Mayfair and mews house in Kensington.

1986 – 90 London
Working for Gilmore Hankey & Kirke Architects – a leading London conservation practice on restoration of
Early 17th century Hunting lodge – Lulworth castle in Dorset in association with English Heritage.
Refurbishment of large Grade 1 listed house – Ibstone House in High Wycombe.
Bodyshop Lead Store – Oxford Street in Listed Building

END