

An Rannóg Talamhúsáide, Pleanála agus Iompair  
Land Use, Planning & Transportation Department

Telephone: 01 4149000 Fax: 01 4149104 Email: [planning.dept@sdblincoco.ie](mailto:planning.dept@sdblincoco.ie)

Ciaran McMahon,  
R. C. Design Services Limited  
Design Studio  
Old Castle View  
Kilgobbin Road  
Dublin 18

COPY

**PLANNING & DEVELOPMENT ACT, 2000 (as amended) AND PLANNING  
REGULATIONS THEREUNDER**

<b>Decision Order Number:</b> 1308	<b>Date of Decision:</b> 04-Oct-2021
<b>Register Reference:</b> SD21A/0223	<b>Registration Date:</b> 09-Aug-2021

**Applicant:** Paul A Glynn Limited  
**Development:** Construction of a new 125sq.m (9.0m high) single storey side extension to existing facility for the storage of materials ancillary to the existing business currently operating on site with minor internal modifications and associated site development and ancillary works.  
**Location:** Unit F6, South City Business Park, Tallaght, Dublin 24  
**Application Type:** Permission

Dear Sir /Madam,

With reference to your planning application, received on 09-Aug-2021 in connection with the above, I wish to inform you that before the application can be considered under Section 33 of the Planning & Development Act 2000, six copies of the following ADDITIONAL INFORMATION must be submitted.

1. (a) There is an existing 300mm foul sewer which is shown on service maps to traverse the site beneath the proposed extension. The proposed development cannot be built over this pipe. The applicant is requested to submit a plan and section drawing showing required setback distance (as per Irish Water standards) to outside edge of existing 300mm foul sewer. The applicant may need to survey the precise location of the pipe and should provide a report as additional information if a survey is undertaken..

(b) the applicant is requested to have regard to objective G3 objective 2 (of the South Dublin County Development Plan 2016 - 2022) which requires a 10m set back from watercourses in order to maintain a biodiversity strip

(b) The applicant is requested to submit a drawing showing the watermain, surface water and foul draing layout of the proposed development.

2. There are no SuDS (Sustainable Drainage Systems) proposed for the development. The applicant is requested to submit a drawing and report showing what SuDS are proposed for the development. Examples of SuDS include Green Roofs or Blue Roofs, Green areas or other such SuDS.

**NOTE:** The applicant should note that any submission made in reponse to the above will be examined and MAY be deemed to be SIGNIFICANT ADDITIONAL INFORMATION by the Planning Authority. In this event the applicant(s) will be subsequently notified and requested to publish a notice in an approved newspaper and erect or fix a site notice on the land or structure to which the further information relates and to submit copies of the both the newspaper and site notices to the Planning Authority in accordance with Article 35 (1) (a) and (b) of the Planning and Development Regulations 2001 (as amended).

**Note:** The applicant must submit the Further Information within **6 months** of the **date of decision**. If the information is not received within this period the planning authority shall declare the application to be withdrawn.

**Please ensure that your reply to this Request for Additional Information is accompanied by a covering letter marked "ADDITIONAL INFORMATION" and that the Planning Register Reference Number given above is quoted on the covering letter.**

Signed on behalf of South Dublin County Council

**Register Reference:** SD21A/0223

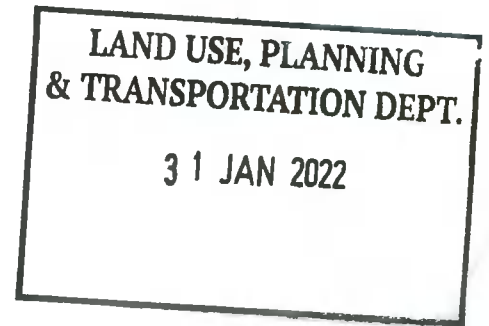
**Date:** 05-Oct-2021

Yours faithfully,

  
for Senior Planner

South Dublin County Council,  
Planning Department,  
County Hall,  
Town Centre,  
Tallaght,  
Dublin 24

27<sup>th</sup> January 2022



**ADDITIONAL INFORMATION**

**Planning Ref No: SD21A/ 0223**

**Description:** The Proposed Development will consist of the construction of a new 125 sqm. (9.0m high) single storey side extension to the existing facility for the storage of materials ancillary to the existing business currently operating on site, with minor internal modifications and associated site development and ancillary works. At Unit F6 South City Business Park. For Paul A Glynn Limited.

**Location:** Unit F6 South City Business Park , Tallaght, Dublin 24.

**Applicants:** Paul A Glynn Limited.

Dear Sir/Madam,

On behalf of our client Paul A Glynn Limited, Unit F6 South City Business Park , Tallaght, Dublin 24. We wish to submit the following Additional Information in support of the above noted planning application, in response to the Planning Authority's written request dated 5<sup>th</sup> October 2021.

**Item No. 1.**

*There is an existing 300mm foul sewer which is shown on service maps to traverse the site beneath the proposed extension. The proposed development cannot be built over this pipe. The applicant is requested to submit a plan and section drawing showing required setback distance (as per Irish Water standards) to outside edge of existing 300mm foul sewer. The applicant may need to survey the precise location of the pipe and should provide a report as additional information if a survey is undertaken.*

**Response By RC Design.**

We proposed to relocate the existing 300mm foul sewer 2.0m away from the proposed building line of the new extension. See attached drawing No. 21-723-P-005 which shows the location of the relocated 300mm foul sewer line together with the existing and proposed sections for the 300mm foul sewer pipe for council approval.

### **Item No. 1.B**

*(b) the applicant is requested to have regard to objective G3 objective 2 (of the South Dublin County Development Plan 2016 - 2022) which requires a 10m set back from watercourses in order to maintain a biodiversity strip*

#### **Response By RC Design.**

*G2 Objective 3: To restrict development that would fragment or prejudice the Green Infrastructure network. To maintain a biodiversity protection zone of not less than 10 metres from the top of the bank of all watercourses in the County, with the full extent of the protection zone to be determined on a case by case basis by the Planning Authority, based on site specific characteristics and sensitivities. Strategic Green Routes and Trails identified in the South Dublin Tourism Strategy, 2015; the Greater Dublin Area Strategic Cycle Network; and other government plans or programmes will be open for consideration within the biodiversity protection zone, subject to appropriate safeguards and assessments, as these routes increase the accessibility of the Green Infrastructure network.*

The existing boundary of our clients lands is approximately 30m from the Whitestown stream, north of the proposed development. The proposed extension will not encroach on the existing established biodiversity protection zone located between our clients palisade site boundary and the Whitestown stream see attached the os map showing the location of the Whitestown stream relative to the boundary of the subject site.

### **Item No. 1.C**

(C) The applicant is requested to submit a drawing showing the watermain, surface water and foul drain layout of the proposed development.

#### **Response By RC Design.**

We attach drawing No. 21-723-P-005 which shows the location of the watermain, surface water and foul sewer drainage layout for the proposed development as requested.

**Surface water** Existing surface water services exist. Our proposal for this Single storey extension is to connect our surface water to the nearest storm water manhole.

**Foul water** Existing Foul sewer services exist. There will be no foul water generated in the proposed extension which is for storage use only.

**Water main** The existing development is connected to the existing watermain serving the site. No additional mains connection is required.

### **Item No. 2.**

2. There are no SuDS (Sustainable Drainage Systems) proposed for the development. The applicant is requested to submit a drawing and report showing what SuDS are proposed for the development. Examples of SuDS include Green Roofs or Blue Roofs, Green areas or other such SuDS.

#### **Response By RC Design.**

We attach drawing No. 21-723-P-005 which shows the location of the proposed 8,000 litre attenuation tank (600w x 1200d x1200l) long to be located to the side of the proposed extension 300mm below ground level. Attached is the SuDS calculation for the building drainage system proposed.

Attached please find in support of our planning application the following:

- Cover letter.
- 6 no. copies of Drawing No. 21-723-P-005
- 6 no. copies of the SuDS calculation for the storm drainage system proposed.
- Extract from Irish water code of practice for Waste water Infrastructure.

We look forward to an early and favourable decision.

Should you have any queries regarding the above application please do not hesitate to contact the undersigned.

With kind regards,

Yours Sincerely

A handwritten signature in dark ink, appearing to read 'Ciaran McMahon', with a long horizontal flourish extending to the right.

Ciaran McMahon

RC Design Services.  
Architects Engineers Project Managers.