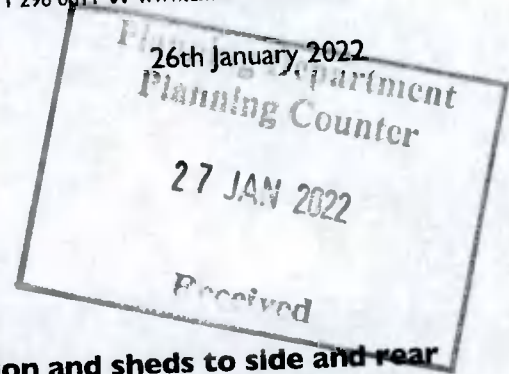


South Dublin Co. Council
Planning Department
County Hall
Tallaght
County Dublin.



Re: Removal of existing single storey extension and sheds to side and rear of house; construction of two-storey extension to side of house and single storey extension to front of house; new vehicle entrance to front; new boundary treatments, at 27 Ballyboden Road, Dublin 14, for Alan Walsh.

Planning Register Reference SD21B/0542.

ADDITIONAL INFORMATION

Dear Sirs,

On behalf of our client, Alan Walsh, we wish to acknowledge receipt of your correspondence dated 16th December 2021, requesting Additional Information in relation to the above-mentioned application and to reply as follows.

1. The applicant is requested to submit revised drawings as follows:-

(i) The proposed vehicular entrance access point limited to a width of 3.5mts.

Response: The revised site layout plan as now prepared, indicates that this vehicular entrance is reduced in width to 3.5mts.

(ii) The proposed 2.2mt. high rear block party wall limited to a max. height of 0.9m where it projects in front of property at 2 Willbrook Park in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.

Response: The revised site layout plan as now prepared, indicates that this wall is reduced to a height of 900mm.

(iii) The proposed 2.2m high block wall dividing the front and rear gardens limited to a max. height of 0.9m in the interest of traffic safety and for visibility for vehicles egressing 2 Willbrook Park.

Response: The revised site layout plan as now prepared, indicates that this wall is reduced to a height of 900mm.

(iv) All other proposed boundary treatment including side boundary treatment to the north and west of subject site be limited to a maximum height of 0.9m and any boundary pillars limited to a maximum height of 1.2m, in the interest of traffic safety and to improve forward visibility for vehicles.

Response: The revised site layout plan as now prepared, indicates that these walls are reduced to a height of 900mm. and any boundary pillars limited to a maximum height of 1.2m.

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2. In conjunction with item No.1 above, the applicant is advised that the amenity space to the side (north) of the proposed extension should be bounded as part of the front garden with a low boundary wall to provide a dual frontage into Willbrook Park in accordance with Council policy for prominent corner sites. Further windows at first floor level should be included to increase the passive surveillance of the public realm and provide increased dual frontage.

A 1.8m wall should be constructed from the rear corner of the new extension to the boundary with No. 2 to the east to provide privacy to the rear private amenity space.

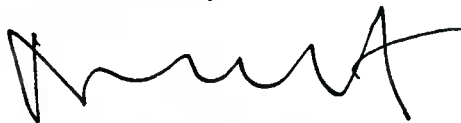
Response: The revised elevational and site layout plans as now prepared, indicate that (A). The amenity space to the side (north) of the proposed extension, being bounded with a low boundary wall, in order to provide a dual frontage to Willbrook Park and 1 No. additional window provided at first floor level in order to increase the passive surveillance of the public realm.

(B). A 1.8mt. high wall is being included from the rear corner of the new extension to the boundary with No. 2 Willbrook Park in order to provide privacy to the rear private amenity space.

6No. copies of our revised drawing No's 2966-PA01/A & 2966-PA02/A are attached herewith for your attention.

It should also be noted that a written response to item No's 3, 4 & 5 in your request for Additional Information, has been prepared on behalf of Alan Walsh, by OBA Consulting Engineers and 6No. copies of their report plus copies of their drawing (No. 500-22A/C01) are attached herewith.

Yours Sincerely,



Dermot Mac Dermott
EMD Architects.