

Planning Department,
South Dublin County Council,
County Hall
Town Centre
Tallaght
Dublin 24

27th January 2022

Formal Submission of Further Information

Re: Request for Further information
Planning Application reg ref : SD21A/284
Decision Order No PR/1596/21/21



RE: Planning application by Oceanglade Ltd for development on site of 0.72 hectares at Liffey Valley, Dublin 22, to the south of the N4, to the west of the existing Johnson and Johnson office building, to the north and east of Giraffe childcare and to the north of Liffey Valley secondary estate road.

The development will consist of the construction of Self-Storage facility with small ground floor café, total area of 8620 sqM composed of: Part Basement area consisting of Self-Storage area, open car parking and area for classic car storage, Ground floor containing reception /office area, Cafe of 124.5 sqM and Self-Storage area, first floor containing office area of 112.3 sqm, and second and third floor containing Self-Storage areas. The proposed building is appx. 21.9 metres high from Ground Floor Level. Development includes external signage to building plus associated landscaping and drainage works. Vehicular access to the ground floor is from the estate road and to the basement level is from the existing shared access road.

Dear sir/madam

I refer to your request for further information in respect of the above and hereby enclose our reply.

The 4 issues raised in the Request for Further Information can be summarised as follows

with responses noted:

RFI 1

(1) Western Access - The Planning Authority remains concerned with the proposed access via the neighbouring childcare facility lands to the south-west of the site. Insufficient information has been provided in regard to the right the applicant may have to use lands outside their control for this access.

However, even if this concern can be overcome the Roads Department still has concerns that this arrangement impacts traffic safety, especially given that both sites would have different types of activities. The applicant is requested, therefore, to submit a revised proposal that relocates this access to a more appropriate location in regard to traffic safety. It is likely that the proposed building and floor area will have to be reduced in size to make way for the revised emergency access. The applicant should liaise with the Roads Department prior to providing a response.

Response : The Proposed access via the Crèche has been omitted entirely; there is now no connection at the western end. Our calculations indicate that sufficient access to the Building perimeter is provided for Fire Brigade appliances without the need for this access.

(2) Eastern Access - The proposal includes an access to the east via an existing internal access road on the neighbouring site to the east. Again, there are concerns in regard to control over this access and traffic safety. The applicant is requested to submit evidence that they have legal right to utilise this access. This might be in the form of a written letter, detail of any right of way(s) and/or drawings. A revised layout plan showing a two-way (access/exit) design through this shared access which shows traffic priority and proposed road line markings is requested and should form part of the response to this item of Additional Information.

Response : We enclose proof that the applicant has the legal right to utilise the internal access road. A layout plan showing a two-way (access/exit) design through this shared access which shows traffic priority and proposed road line is enclosed .

Rennick & Co, solicitors for Oceanglade Ltd, have reviewed the detail in the PRA regarding the ownership of the adjoining site (Unit B) and the registration details of the "spur" that divides the Oceanglade site (Unit A) from Unit B.

- The title to Unit A is comprised in FolioDN178423L (the Freehold is registered on Folio DN125564F)
- The title to Unit B is comprised in Folio DN168653F
- The title to the "spur" is comprised within Folio DN125564F and is owned by Barkhill Limited.

This shows that the spur (Access Road to the site) is owned by Barkhill Limited which is in the process of transferring over its interest to Liffey Valley Office Campus Management Company Limited and falls within the definition of "Common Facilities" in the Oceanglade Title Lease. This Title Lease refers to the roads within the Liffey Valley lands that are not taken in charge by the Local Authority.

In summary, the applicant has full rights of way over the eastern access road, please refer to the map accompanying folio125564F , extract enclosed along with e-mail from Rennick & Co.

With regard to the entrance/access layout, cars descending the access road will stop at the stop sign and either continue left to the U Store it car park or turn right to the Jonson & Jonson car park. Cars exiting the U Store it unit will stop at the stop sign and give priority to traffic coming from the right i.e. down the access road and turning into the Jonson and Jonson car park. Cars existing the Jonson and Jonson car park will give priority to cars coming from the right i.e. from the U Store It car park. There is full visibility at this junction in all relevant directions. Should it be required by South Dublin Co Co, a mini roundabout could be installed.

RFI 2

The Planning Authority remains concerned with regard to the visual impact of the proposed design of the structure:

(1) The building would be higher and closer to the northern boundary than neighbouring buildings. The view from the N4 should be slightly redesigned to break-up the façade and introduce more articulation in the design (in its current design it would appear as a bulky development from this view). The applicant should consider providing a setback at the top to reduce the bulk of the building and the top of this setback could also be of a lighter colour. The applicant is requested to submit a revised proposal addressing this concern.

Response : We have revised the facade by creating a setback facing the N4, the height of the overall building has been reduced by 2 metres and the setback is of the same light grey cladding as the remaining elevations.

(2) The Planning Authority welcomes the redesign of the front elevation and considers that this somewhat addresses concerns in regard to the visual impact of the building when viewed from the front (south). However, the inclusion of brick (brick similar in colour to the brick structures located both to the east and to the west of the site) within the front (south) and side (east) façade would help strengthen the streetscape at this location and connect the three buildings (proposed and two existing structures). The applicant is requested to submit revised proposals for the southern and eastern façades that incorporate significant sections of brick materials within the design.

Response : We have changed the brick to match the Crèche to the West and Jonson & Jonson Office block to the East. Please refer to revised elevations and 3-d images.

RFI 3

There are concerns with the reliance on underground attenuation tanks to manage surface water onsite. The surface water drainage proposal is not considered to be sustainable and conflicts with the County Development Plan. SDCC do not approve of underground tanks unless the full natural potential of the site to manage surface water runoff has been explored. The drainage proposals deliver no amenity or biodiversity. The applicant is requested to revisit the design and layout of the proposed development and to submit revised plans and particulars to include:

(a) Natural SUDS features shall be incorporated into the proposed drainage system. The SUDS shall be an integrated multi-disciplinary approach which locally addresses water quality, water quantity, and provides for amenity and biodiversity enhancement which meets the objectives of South Dublin County Council Development Plan 2016-2022.

(b) The applicant shall show natural SuDS features for the development such as green roofs, grass areas, channel rills, swales, detention basins, attenuations ponds/reed bed/wetlands and other such SuDS and show what attenuation capacity is provided by such SuDS. The use of underground tanks should be avoided.

(c) A detailed SUDS scheme for the proposed development to be agreed with Public Realm. The

SuDS features should be integrated into the landscape proposal with details provided on how they work and their attenuation capacity.

Response : Please refer to the enclosed revised proposals from GDCL .

RFI 4

The Roads Department requests that the applicant submit the following:

- (a) A revised layout showing, a demarcated pedestrian route and dropped kerbs within basement and surface car park.

Response : see enclosed revised basement Layout Drawing

- (b) A revised car parking layout to include for an additional mobility impaired space (3 in total) to be located in the basement car park.

Response : see enclosed revised basement Layout Drawing

- (c) A revised layout showing additional bicycle parking spaces located internally for staff members of the development.

Response : see enclosed revised Basement and Ground floor Layout Drawing

- (d) A revised layout showing bin storage locations and waste collection arrangement.

Response : see enclosed revised Ground floor Layout Drawing showing a bin storage area.

I trust you find the enclosed in order, but should you have any further queries, please don't hesitate to contact me.

Yours faithfully,



Barry Kelly
B.Arch MRIAI for Carew Kelly Architects

> Back

Folio Number DN125564F
 Title Level Freehold
 Plan Number 2RTR
 Property Number 1
 Area of selected plans 2.38 hectares
 Number of Plans on this folio: 2
 Address Not Available

Add to Basket

Create Alert

The following Applications are Pending on this Folio

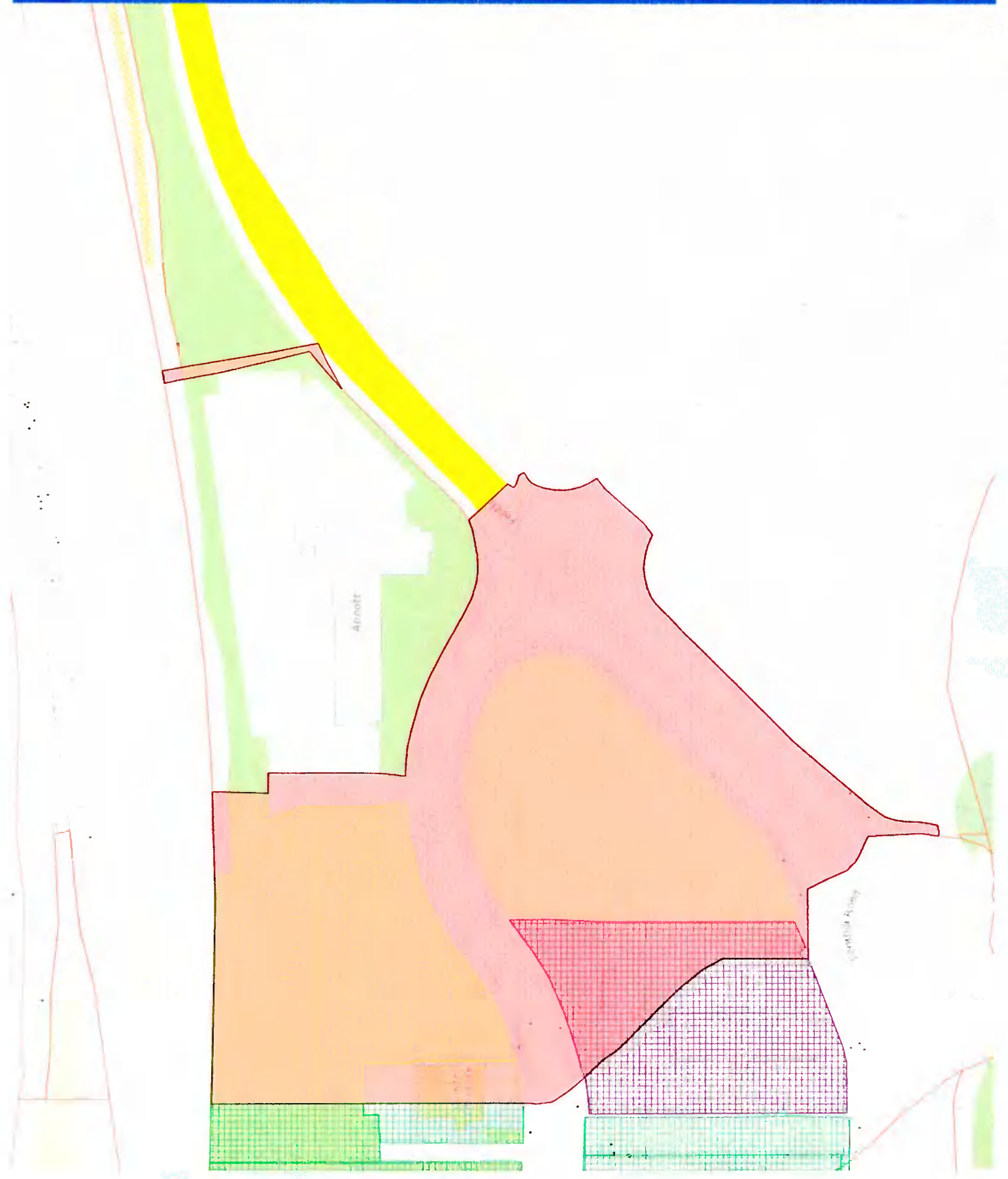
Folio D2021LR051145K Mapped

*ARA Boundaries and Plan Areas are not conclusive see Section 6(3)(1) of Registration of Title Act 2006 and Rule 8(3) of the Land Registration Rules 2012

View Basket

Print Current View

Help



> Back

Folio Number DN178423L
 Title Level Leasehold
 Plan Number DV4PG
 Property Number 1
 Area of selected plans 0.72 hectares.
 Number of Plans on this folio: 2
 Address Not Available

Add to Basket

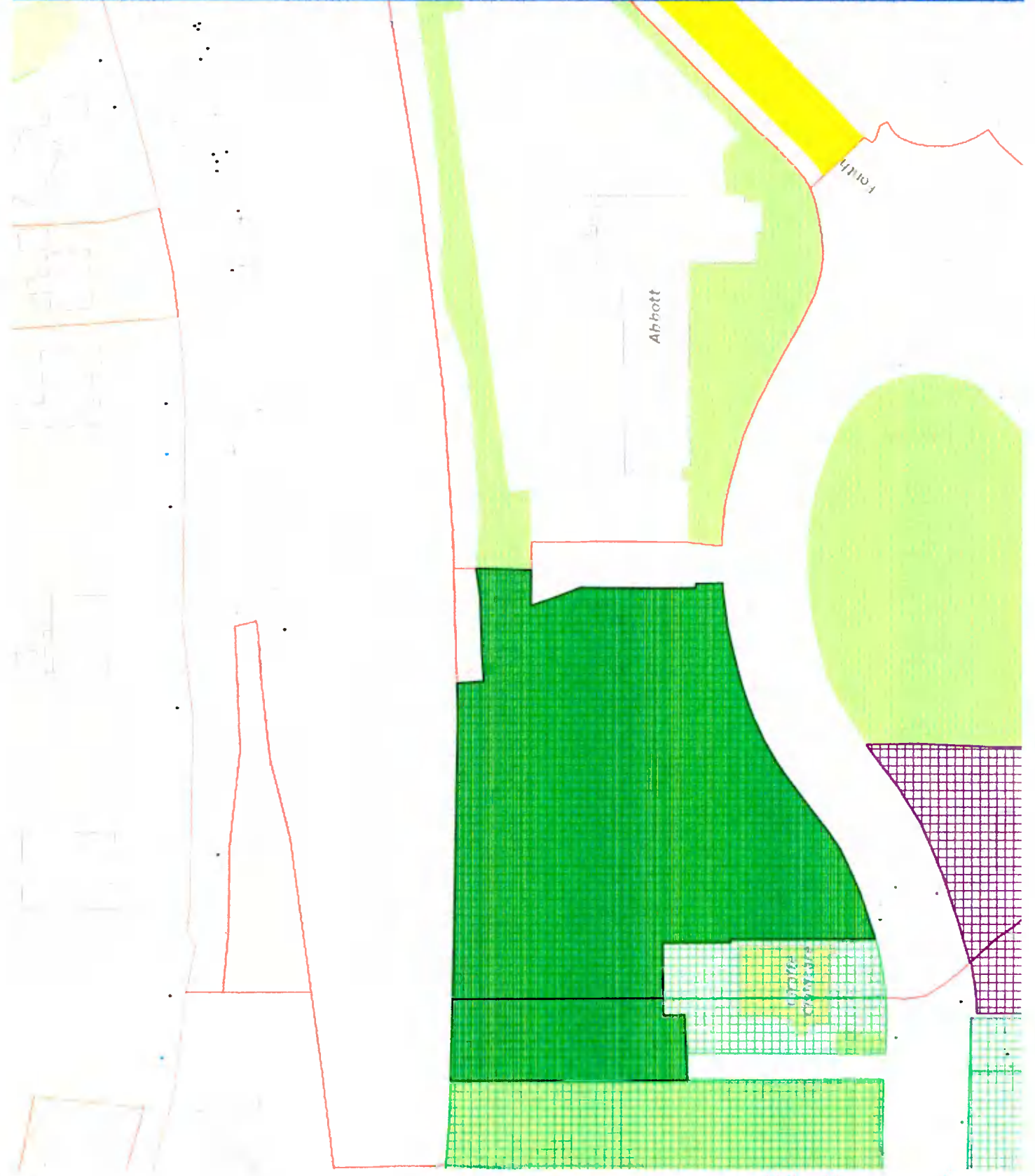
Create Alert

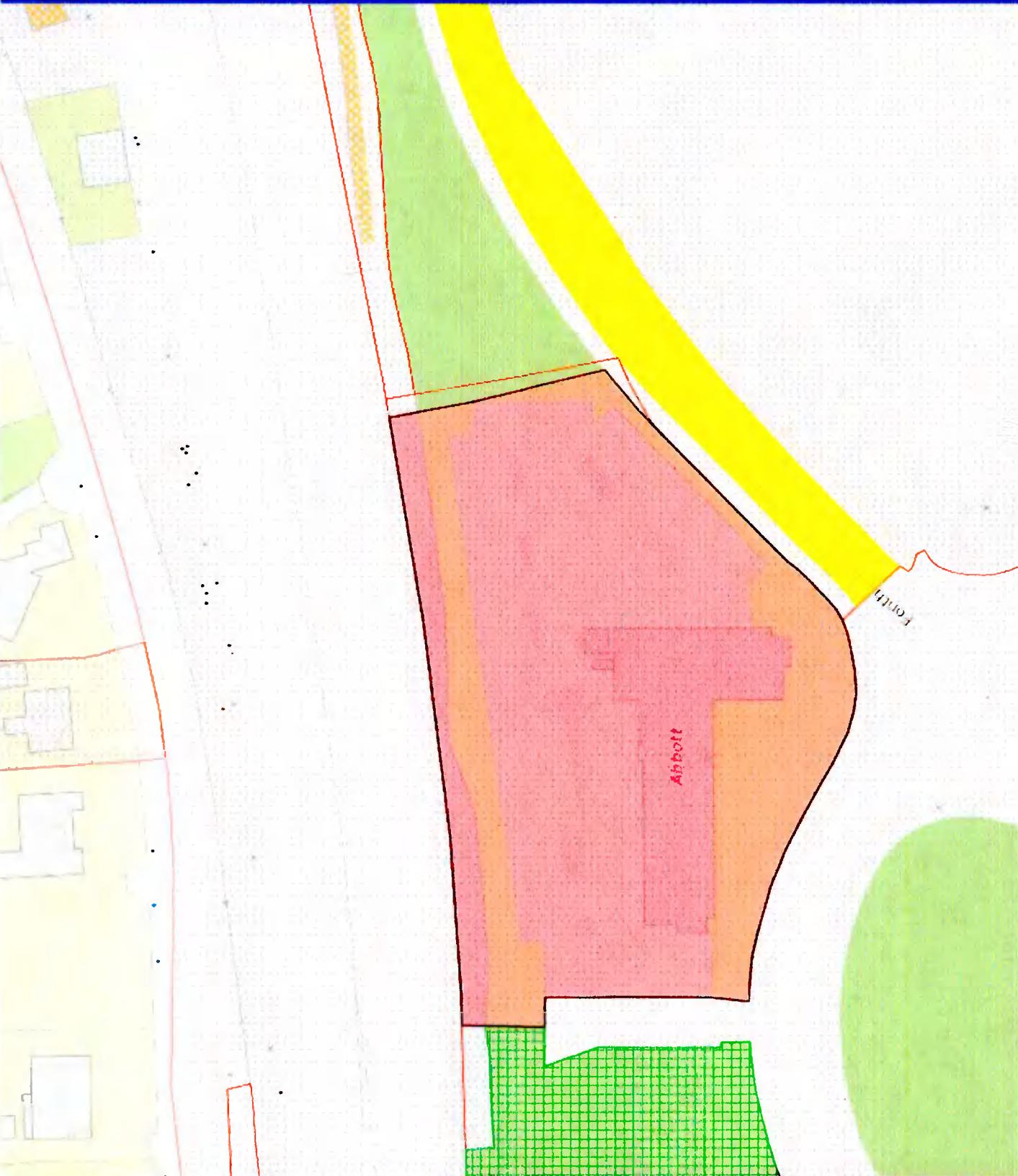
*PRA Boundaries and P an Area **are not conclusive** See [Section 62\(2\) of Registration of Title Act 2006](#) and [Rule 8\(3\) of the Land Registration Rules 2012](#).

View Basket

Print Current View

Help





Property Details

> Back

Folio Number	DN168653F
Title Level	Freehold
Plan Number	BBH43
Property Number	1
Area of selected plans	0.92 hectares.
Number of Plans on this folio:	1
Address	Not Available

Add to Basket Create Alert

Folio Number	DN125564F
Title Level	Freehold
Plan Number	HY71
Property Number	1
Area of selected plans	2.36 hectares.
Number of Plans on this folio:	2
Address	Giraffe Childcare, Liffey Valley Office Campus, Dublin 22, D22 W026

*PRA Boundaries and Plan Area **are not conclusive** see [Section 62\(2\) of Registration of Title Act 2006](#) and [Rule 8\(3\) of the Land Registration Rules 2012](#).

View Basket Print Current View Help

From: **Brian Rennick** brian.rennick@rennick.ie
Subject: RE: Oceanglade- Liffey valley
Date: 17 January 2022 15:42
To: barry.kelly@carewkelly.ie

Barry,

I have reviewed the detail in the PRA regarding the ownership of the adjoining site (Unit B) and the registration details of the "spur" that divides the Oceanglade site (Unit A) from Unit B.

- The title to Unit A is comprised in Folio DN178423L (the Freehold is registered on Folio DN125564F)
- The title to Unit B is comprised in Folio DN168653F
- The title to the "spur" is comprised within Folio DN125564F and is owned by Barkhill Limited.

So, the spur is owned by Barkhill Limited which is in the process of transferring over its interest to Liffey Valley Office Campus Management Company Limited and falls within the definition of "Common Facilities" in the Oceanglade Title Lease Title Lease which refers to the roads within the Liffey Valley lands that are not taken in charge by the Local Authority.

Regards,

Brian Rennick
Principal Solicitor

Tel: +353 1 8251030, Fax: +353 1 8251031, Web: www.rennick.ie
Suite 1, Gowna Plaza, Bracetown Business Park, Clonee, Dublin 15. D15 YW01.
DX 182 001 Dunboyne



P *please consider the environment before printing this e-mail.*

Internet Email Confidentiality: Privileged/Confidential Information may be contained in this message. The information contained in this e-mail and any files transmitted with it, is strictly private, confidential and may be subject to legal professional privilege. It is intended solely for the use of the addressee(s). If you are not the intended recipient of this e-mail, please note that any review, dissemination, disclosure, alteration, printing, copying or transmission of this e-mail and/or any file transmitted with it, is prohibited and may be unlawful. If you have received this e-mail by mistake, please promptly inform the sender by replying e-mail and then delete it from your system. Whilst this e-mail message has been swept for the presence of computer viruses, Rennick Solicitors does not, except as required by law, represent, warrant and/or guarantee that the integrity of this communication has been maintained nor that the communication is free of errors, viruses, interception or interference.

