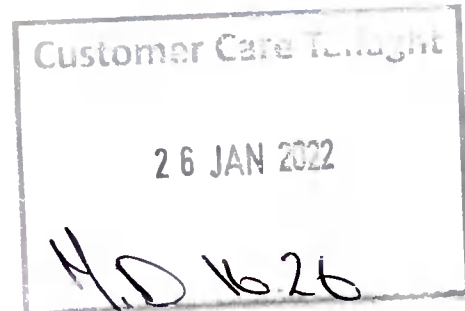


Niall Jones & Associates
Planning Consultants

The Director of Services
Planning Department,
South Dublin County Council,
County Hall,
Tallaght,
Dublin 24



Date: 26th January 2022

Job Ref: 20/258

Re: Proposed house extensions to front & rear, attic conversion with velux roof windows to front, landing windows to side & dormer roof to rear, together with internal alterations / renovations and associated site works at 69 Ballyroan Crescent, Rathfarnham, Dublin 16

ADDITIONAL INFORMATION
REG REF: SD21B/0563

A Cara.

In response to your departments request for ADDITIONAL INFORMATION with regards to the above planning application. Please find attached our response to each of the points raised as follows:

1. *The Proposed rear extension of approximately 7.1m in depth, with a parapet wall 3.3m in height is considered excessive and there are concerns about the potential impact of the extension on the residential amenity of the adjoining property to the east. The applicant is requested to reduce the depth of the extension, having greater regard to the impact of any extension to the neighboring dwelling.*

We have taken a look at the overall single storey pitched roof extension across the rear and particularly with regards to the adjoining properties to both sides facing east & west elevations.

The overall roof construction was designed as a double pitch roof to keep its final overall ridge & eaves height at the lowest possible level on each side as shown. A single pitched roof would have extended a ridge up to 4.81m high, which would not have been possible to construct. We also considered a flat roof design throughout the rear, in keeping with the existing adjoining rear extension to the rear of no.71 Ballyroan Crescent (to the east), however with the required warm deck construction as well as perimeter parapets, the top of the extension would have finished at 3.30m above finished floor level throughout the perimeter & resulted in an overall much bulkier extension with a greater impact on the adjoining properties.

As the sun moves from east to west across the rear of the house (right to left when viewed from the rear garden), any significant shadows created would be cast to the easterly side (towards no.71). As we are already proposing to remove the existing blockwork garden room & utility from this easterly boundary, while maintaining the two side by side passageways (giving a distance of 2.495m between properties), and keeping the proposed eaves level at 2.435m, it is felt that the aspect of the adjoining property to the east would only be improved by the proposed works. We have however proposed to reduce the overall length of the east/side elevation to 6.535m internally.

As the proposed r.h.s. / lounge side of the rear extension is being used for a single room use, there is more flexibility in reducing the overall depth of this side of the extension. It is therefore proposed to step the rear elevation & reduce the overall length of the r.h.s. / West elevation to 5.635m internally.

The resulting floor areas will measure 134.37sq.m at ground floor level, 63.46sq.m at first floor level & 26.00sq.m at attic level, giving the house a reduced additional floor area of 90.91sq.m & leaving the house with an overall floor area of 223.83sq.m / 2,409sq.ft.

As this side of the rear extension is being built along the west/boundary line it was felt that there would be a planning requirement for no encroachment of the boundary and hence a parapet wall construction has been indicated. We proposed to reduce the top of the parapet to 3.075m while retaining the existing garden hedge at 2.450m, it is felt that the overall impact of the rear extension on the property to the west has also been significantly reduced.

2. The proposed alterations to the roof, creating a half-hip at attic level connecting awkwardly with a full hipped roof over the existing side extension is considered unacceptable in terms of visual amenity. The applicant is requested to revise these proposals to ensure the seamless integration of the attic and first floor roofs. The applicant will issue revised plans, elevations and sections as necessary detailing these changes.

The reason for the awkward looking interlinking of the roof to the front/north elevation is because the existing hipped roof over the previous first floor side extension was constructed incorrectly (down too low with no overhang), & the client was trying to tie into what was there.

It is now proposed to raise the level of the eaves of this side extension (up 160mm) to meet the level of the main roof, introduce the same roof overhang (out 250mm each side & 400mm to the front), and extend out the end of the main attic level ridge to eliminate the step in the front/north elevation as drawn.

The hipped roof over the first floor on the side/east elevation has also been raised to tie into the realigned pitch of the roof on the front elevation, the half hip at the end of the attic roof has been reduced in size and the proposed landing window in the side of the attic stairwell has been reduced & re-positioned accordingly.

3. The dormer window as proposed extends past the intersection of the ridge line of the roof and the half-hip, this is considered unacceptable in terms of visual amenity. The applicant is requested to revise these proposals, ensuring the dormer window does not extend past the intersection of the ridge-line and hip of the roof slope.

As a result of the changes made to the main attic roof (within above item no.2) the proposed dormer window to the rear elevation is now retained inside the line of the end end of the main roof & does not extend past the intersection of the ridge line & hip of the roof slope (as requested), and as drawn on the revised rear/south elevation.

4. The front elevation drawings show the easternmost pillar of the existing entrance to be some 1m from the common boundary with the attached site to the east. It is considered that the vehicular entrance could be widened by extending the entrance eastwards rather than westwards. This would save the existing street tree and maintain on street car parking. The applicant is requested to submit revised drawings accordingly.

We have considered the suggestion to reposition the proposed widening of the driveway entrance towards the left / eastern boundary, but I'm afraid we feel it would not work on site and would result in a greater visual disruption to the boundary of the property.

The two no. trees in question, (the first one (of two) in the grass verge and the second of another two behind the front boundary wall, to the r.h.s. of the existing gate pier), are all private Silver Birch trees that were planted by the applicants father when he purchased the house, and are now blocking light entering the front of the property. It is proposed to remove two of these central trees, while retaining the remaining two outer positioned trees as drawn

There is an existing hedge that runs up along the left hand side of the entrance eastern boundary as well as an another internal tree inside the gate pier that are both required to be retained by the home owner for privacy between the front of the properties.

It is proposed to widen the entrance by 990mm to the right hand side (as drawn), as as the existing external tree closest to the driveway has been greatly cut back over the years (to avoid the overhead cables passing across the front of the site), and it is felt that there is no requirement in saving this privately planted tree, when there will still be a larger tree retained within the grass verge as indicated. It is also felt that the proposed remaining length of 5.490m that will be directly in front of the house (between the start of the re-positioned gate pier & the party wall on the r.h.s.) will be a sufficient distance to retain the existing on street car parking in front of the property.

5. (A) There are no soil percolation test results, design calculations or dimensions submitted for the proposed soakaway. The applicant is requested to submit a report showing the site specific soil percolation test results and design calculations for the proposed soakaway in accordance with BRE Digest 365 – Soakaway Design.

(B) The applicant is requested to submit a revised drawing showing plan & cross sectional views, dimensions, and location of proposed soakaway. Any proposed soakaway shall be located fully within the curtilage of the property and shall be:
(i) At least 5m from any building, public sewer, road boundary or structure

- (ii) Generally, not within 3m of the boundary of the adjoining property.
 - (iii) Not in such a position that the ground below foundations is likely to be adversely affected.
 - (iv) 10m from any sewage treatment percolation area and from any watercourse / floodplain.
 - (v) Where practical soakaways must include an overflow connection to the surface water drainage network.
- (C) The applicant is requested to include Water Butts as par of additional Sustainable Drainage Systems (SuDS) features for the proposed development.

Please see attached copy of proposed Engineers Report / soakaway design & infiltration calculations that were carried out and prepared by Mr. Ross Somers of RS Consulting Engineers. The report confirms the opening up of the ground to create a 1.0 cu.m. Test Pit & the carrying out of the on site infiltration test.

The presence of existing good drainage ground has resulted in a proposed 3.5m wide x 3.5m long x 0.400m deep stone percolation area, all set below the level of the incoming surface water drain & all kept beyond the minimum recommended distances as noted above.

Please see attached the up-dated proposed Site Block Plan / Drainage Layout drawing 20/258-P.07A that includes the proposed soakpit setout & resulting boundary distances, as well as drawing 20/258-P.09 that includes Proposed Soak-away & Catch-pit manhole Details

As it is good practice to include an element of Suds design into new development works, including domestic extensions, it is also proposed to collect all rain water at the rear of the property into new rwp's which will be connected into new water butts (positioned at each side of the rear extension), before passing out into the proposed new soak-pit within the rear garden as previously noted.

Trusting all enclosed drawings / documentation are in order, we look forward to hearing from your department in due course. Should you have any further queries regarding the proposed submission/application you may contact me directly on 087-6601710

Kind Regards,


Niall J Jones Dip.Tech.Eng. MIEI
Director

Enclosed:

6 x sets of drawings: 20/258-P.02A, P.03A, P.04A, P.05A, P.06A, P.07A, P.08A & P.09

6 x Engineers Report (RS Consulting Engineers),

Cc: Mr Fergus McCabe