

Appropriate Assessment Screening for the proposed development of a No. 274 residential unit at Mill Road, Saggart, Co. Dublin.



14th December 2021

Prepared by: Bryan Deegan (MCIEEM) of Altemar Ltd.

On behalf of: Tetrach Residential Ltd.

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Document Control Sheet

Project	Appropriate Assessment Screening for the proposed development of a No. 274 residential unit development at Mill Road, Saggart, Co. Dublin
Report	Appropriate Assessment Screening
Date	14 th December 2021

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Introduction

The following Appropriate Assessment (AA) (Screening Stage) has been prepared by **Altemar Ltd.** At the request of Tetrach Residential Ltd.. The proposed development consists of the demolition of a single storey habitable dwelling house and associated outbuildings and structures and the construction of a 274 No. residential development at Mill Road, Saggart, Co. Dublin.

An Appropriate Assessment is an assessment of the potential effects of a proposed project or plan, on its own, or in combination with other plans or projects, on one or more NATURA 2000 sites. Natura 2000 sites are those sites designated as Special Areas of Conservation (SAC) or Special Protection Areas (SPA).

The AA (screening stage) examines the likely significant effects of a plan or project, either on its own, or in combination with other plans and projects, upon a Natura 2000 site and considers whether, on the basis of objective scientific evidence, it can be concluded that there are not likely to be significant effects on any European site, in view of best scientific knowledge and the conservation objectives of the relevant European sites.

Altemar Ltd.

Since its inception in 2001, Altemar has been delivering ecological and environmental services to a broad range of clients. Operational areas include: residential; infrastructural; renewable; oil & gas; private industry; Local Authorities; EC projects; and, State/semi-State Departments. Bryan Deegan, the managing director of Altemar, is an Environmental Scientist and Marine Biologist with 26 years' experience working in Irish terrestrial and aquatic environments, providing services to the State, Semi-State and industry. He is currently contracted to Inland Fisheries Ireland as the sole "External Expert" to environmentally assess internal and external projects. He is also chair of an internal IFI working group on environmental assessment. Bryan Deegan (MCIEEM) holds a MSc in Environmental Science, BSc (Hons.) in Applied Marine Biology, NCEA National Diploma in Applied Aquatic Science and a NCEA National Certificate in Science (Aquaculture). Bryan Deegan carried out all elements of this Appropriate Assessment Screening.

Background to the Appropriate Assessment

The Habitats Directive (92/43/EEC), together with the Birds Directive (2009/1477/EC), forms the cornerstone of European nature conservation policy. The Directive protects over 1000 animals and plant species and over 200 "habitat types" which are of European importance. In the Directive, Articles 3 to 9 provide the legislative means to protect habitats and species of European Community interest through the establishment and conservation of an EU-wide network of conservation sites (NATURA 2000).

These are Special Areas of Conservation (SACs) designated under the Habitats Directive and Special Protection Areas (SPAs) designated under the Birds Directive. Article 6(3) and 6(4) of the Habitats Directive set out the decision-making tests for plans and projects likely to affect NATURA 2000 sites (Annex 1.1). Article 6(3) establishes the requirement for Appropriate Assessment:

"Any plan or project not directly connected with or necessary to the management of the [NATURA 2000] site but likely to have a significant effect thereon, either individually or in combination with other plans and projects, shall be subjected to appropriate assessment of its implications for the site in view of the site's conservation objectives. In light of the conclusions of the assessment of the implication for the site and subject to the provisions of paragraph 4, the component national authorities shall agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the site concerned and, if appropriate, after having obtained the opinion of the general public."

Furthermore, as outlined in the EC guidance document on Article 6(4) (January 2007)¹:

"Appropriate assessments of the implications of the plan or project for the site concerned must precede its approval and take into account the cumulative effects which result from the combination of that plan or project with other plans or projects in view of the site's conservation objectives. This implies that all aspects of the plan or project which can, either individually or in combination with other plans or projects, affect those objectives must be identified in the light of the best scientific knowledge in the field."

Assessment procedures of plans or projects likely to affect NATURA 2000 sites should guarantee full consideration of all elements contributing to the site integrity and to the overall coherence of the network, both in the definition of the baseline conditions and in the stages leading to identification of potential impacts, mitigation measures and residual impacts. These determine what has to be compensated, both in quality and quantity. Regardless of whether the provisions of Article 6(3) are delivered following existing environmental impact assessment procedures or other specific methods, it must be ensured that:

- *Article 6(3) assessment results allow full traceability of the decisions eventually made, including the selection of alternatives and any imperative reasons of overriding public interest.*
- *The assessment should include all elements contributing to the site's integrity and to the overall coherence of the network as defined in the site's conservation objectives and Standard Data Form, and be based on best available scientific knowledge in the field. The information required should be updated and could include the following issues:*
 - *Structure and function, and the respective role of the site's ecological assets;*
 - *Area, representativity and conservation status of the priority and nonpriority habitats in the site;*

¹ European Commission. (2007). Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC – Clarification of the concepts of: alternative solutions, imperative reasons of overriding public interest, compensatory measures, overall coherence, opinion of the commission.

- *Population size, degree of isolation, ecotype, genetic pool, age class structure, and conservation status of species under Annex II of the Habitats Directive or Annex I of the Birds Directive present in the site;*
- *Role of the site within the biographical region and in the coherence of the NATURA 2000 network; and,*
- *Any other ecological assets and functions identified in the site.*
- *It should include a comprehensive identification of all the potential impacts of the plan or project likely to be significant on the site, taking into account cumulative impacts and other impacts likely to arise as a result of the combined action of the plan or project under assessment and other plans or projects.*
- *The assessment under Article 6(3) applies the best available techniques and methods, to estimate the extent of the effects of the plan or project on the biological integrity of the site(s) likely to be damaged.*
- *The assessment provides for the incorporation of the most effective mitigation measures into the plan or project concerned, in order to avoid, reduce or even cancel the negative impacts on the site.*
- *The characterisation of the biological integrity and the impact assessment should be based on the best possible indicators specific to the NATURA 2000 assets which must also be useful to monitor the plan or project implementation.”*

Methodology

This Appropriate Assessment screening was undertaken in accordance with the European Commission Methodological Guidance on the provision of Article 6(3) and 6(4) of the 'Habitats' Directive 92/43/EEC (EC, 2001), Part XAB of the Planning and Development Act 2000, as amended, in addition to the December 2009 publication from the Department of Environment, Heritage and Local Government; 'Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities' and the European Communities (Birds and Natural Habitats) Regulations 2011 and the provision of Article 6 of the Habitats Directive 92/43/EEC (European Commission, 21 November 2018).

In order to comply with the above Guidelines and legislation, the Appropriate Assessment Screening process must be structured as follows:

- Description of the proposed project or plan;
- Identification of NATURA 2000 sites potentially affected;
- Identification and description of individual in combination effects likely to result from the proposed project;
- Assessment of the likely significance of the effects identified above. Exclusion of sites where it can be objectively concluded that there will be no likely significant effects; and,
- Conclusions.

Stage 1 Screening Assessment

Description of the Proposed Project

The proposed development site is seen in Figures 1-3. The development will consist of: 274 no. units on a 4.62 ha (net) site (density c.59 units per hectare). It will comprise of 51 no. houses, 38 no. duplex units and 185 no. apartments. The height of the proposed scheme will range from two storey houses and three storey duplexes to 5 storey and part 8 storey apartment blocks.

The proposed residential mix will comprise of:

- 17 no. 2-bed houses, 27 no. 3-bed houses and 7 no. 4-bed houses,
- 2 no. 1-bed duplex, 17 no. 2-bed duplex and 19 no. 3-bed duplex units,
- 62 no. 1-bed apartments, 119 no. 2-bed apartments and 4 no. 3-bed apartments.

A 4-classroom crèche of c. 276 sq.m and 2 no. substations are also included in the proposed development. 276 no. car parking spaces and 670 no. bicycle spaces are provided.

A planted woodland berm will be developed along the northern boundary with the N7 to provide a sound barrier and amenity open space. There are a number of green spaces located in the centre of the site and on the south east and west of the site with natural play and SUDS elements as well as a large open communal space for the two apartment blocks to the south.

Vehicle, pedestrian and cycle access to the site will be from the Mill Road. A new road will be constructed running east west at the southern boundary of the site. The residential element of the site will have two access points off the proposed new road. This new route will extend eastwards to provide cycling and pedestrian connections through neighbouring Citywest lands and to the Saggart LUAS light rail terminus.

Primary access is proposed at the north west of the site from an existing access road connecting to Mill Road. This access is designed as services and emergency only and will be controlled by collapsible bollards. The masterplan seen in Figure 5 also includes permitted residential developments and an outline of a future masterplan roads network on the lands to the east to illustrate how the proposed development will form an integral part of a larger urban place.

No Natura 2000 sites are within the potential Zone of Influence (Zoi). The Zoi of the proposed project would be seen to be restricted to the site outline with potential for minor localised noise, dust and light impacts during construction. Drainage from site, both foul and surface water, would be seen as the outputs from the site during construction and operation that could potentially extend the potential Zoi. As a result, further information is provided in relation to the proposed drainage strategy. However, it should be noted that the proposed development is not directly hydrologically linked to a Natura 2000 site.

Landscape of the Proposed Project

The proposed landscape for the development is shown in Figure 5. The Landscape Design report states that:

'The landscape design aims to create a connection with nature and the natural world, as well as spaces for the residents to enjoy and use for recreation, contemplation, exercise and play. The streetscapes that weave through the development are planted with street trees and punctuated with open spaces. Existing trees and hedges are also retained wherever feasible, and the trees integrated into open space proposals. Ecological enhancement measures are also incorporated.

There are six areas of public open space, distributed throughout the scheme, creating a public amenity close to all residents. Each has a unique layout and orientation, creating character and amenity within the development. Due to the proximity of the site to the N7, a 30m setback along the

northern boundary is provided as an additional amenity space and incorporates noise reduction measures.'



Project: Mill Road
 Location: Saggart, Co. Dublin
 Date: 17th November, 2021
 Drawn By: Bryan Deegan (Altemar)

ALTEMAR
 Marine & Environmental Consultancy

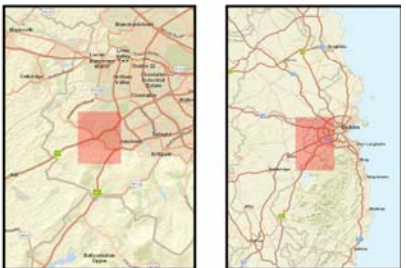


Figure 1. Site outline and location on satellite imagery (ESRI)

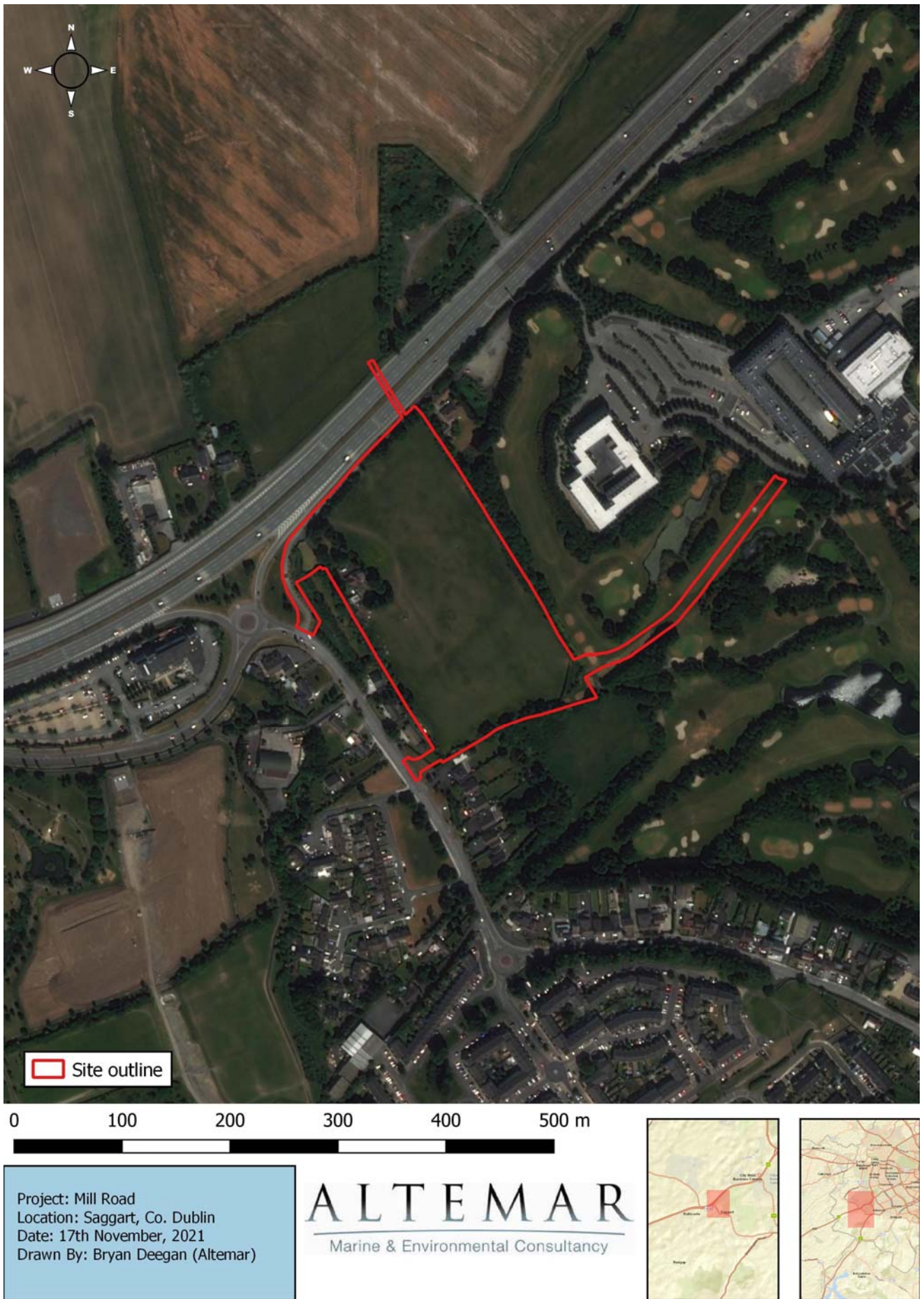
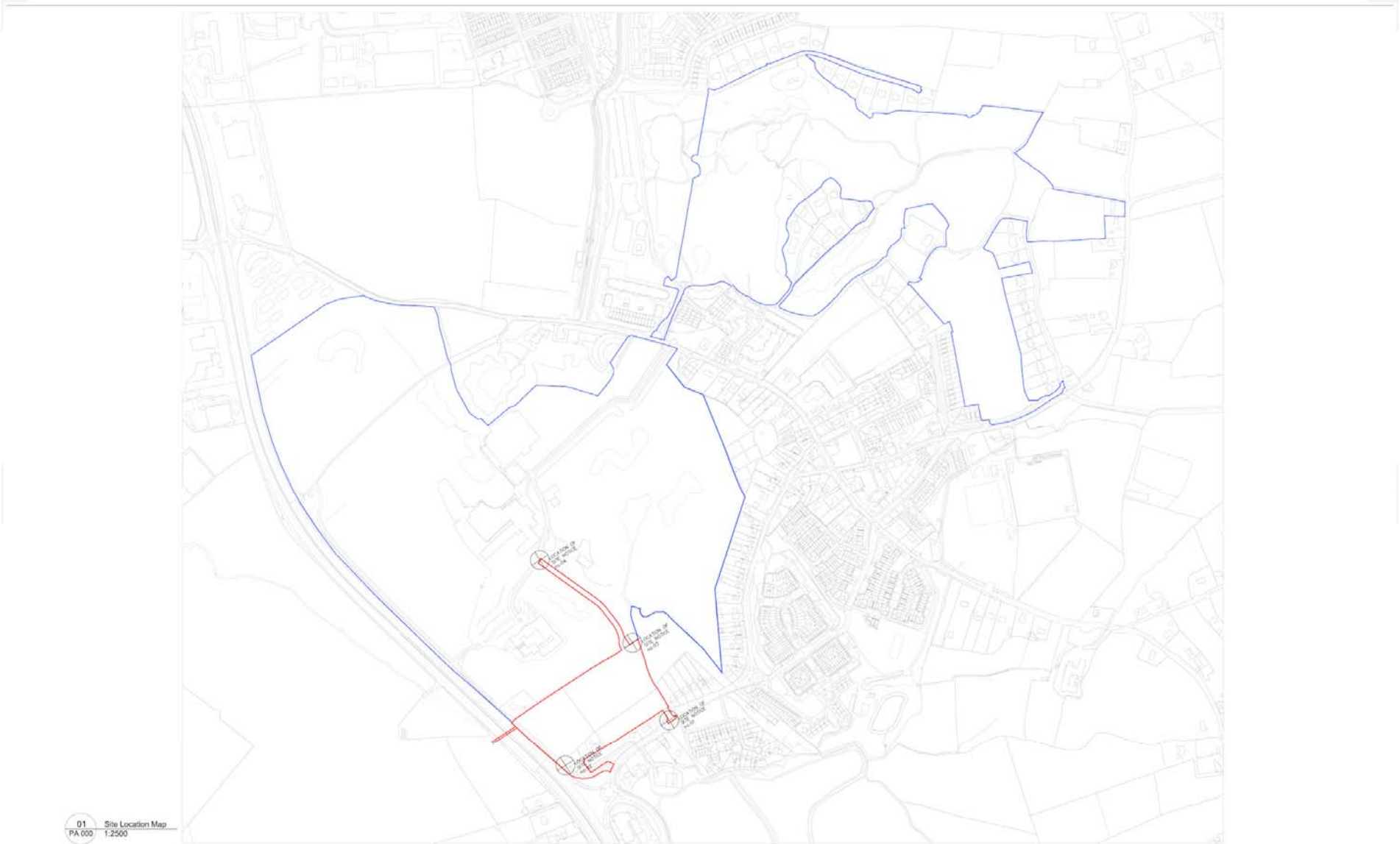


Figure 2. Outline of proposed site.



ISSUED FOR PLANNING ONLY, NOT FOR CONSTRUCTION

<p>NOTES</p> <p>Do not scale from this drawing.</p> <p>Any discrepancies found on site to be reported to Darmody Architects immediately.</p> <p>Any discrepancies found on drawings to be reported to Darmody Architects immediately.</p> <p>Refer to engineers drawings for structural details.</p> <p>All dimensions sized to structure.</p>	<p>Rev. Description Date Issues</p>		<p>DRAWING KEY</p> <p>— Outline Site Boundary</p> <p>— Outline Area within Applicants Demarcation</p>	<p>SCALE BAR</p> <p>0 100 200m</p>	<p>DRAWING KEY</p>	<p>NORTH POINT</p>	<p>Project: Strategic Housing Development, on site at Mill Road, Saggart, Co. Dublin.</p> <p>Title: Site Location Map</p> <p>Client: Tetraarch Residential Ltd.</p>
	<p>PREP'D: CAD: REF:</p>	<p>DATE: 18/11/2021</p>		<p>DATE: 18/11/2021</p>	<p>DATE: 18/11/2021</p>	<p>DATE: 18/11/2021</p>	

Figure 3. Site location map



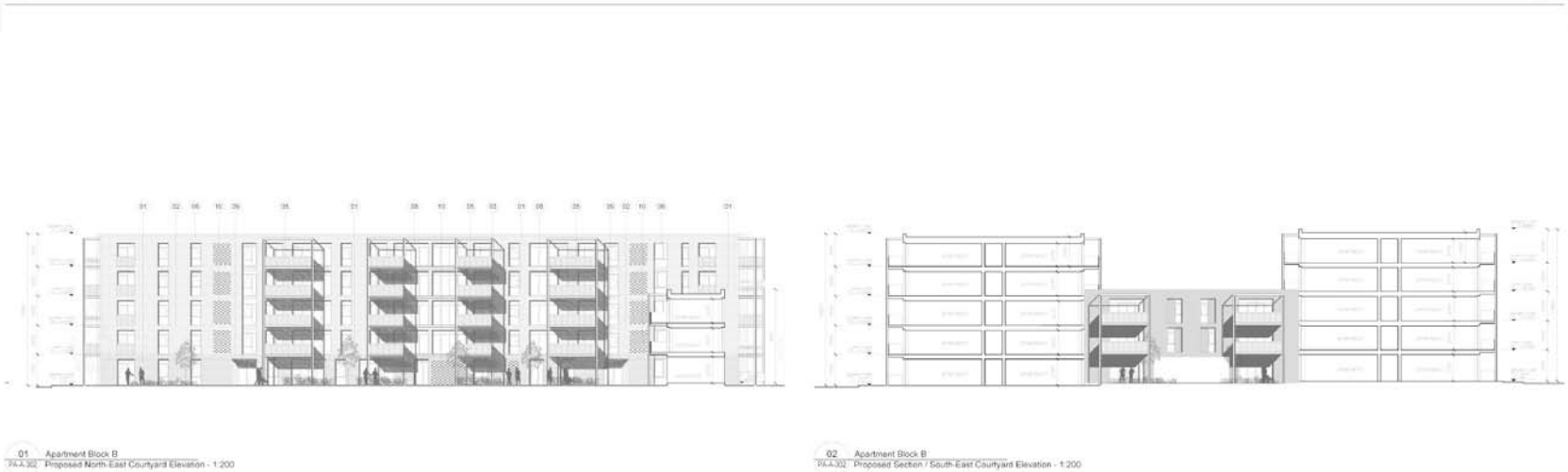
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Figure 4. Proposed site plan



Figure 6. Proposed elevations and sections Block A



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	<p>001/23 002/23 003/23 004/23 005/23 006/23 007/23 008/23 009/23 010/23 011/23 012/23 013/23 014/23 015/23 016/23 017/23 018/23 019/23 020/23 021/23 022/23 023/23 024/23 025/23 026/23 027/23 028/23 029/23 030/23 031/23 032/23 033/23 034/23 035/23 036/23 037/23 038/23 039/23 040/23 041/23 042/23 043/23 044/23 045/23 046/23 047/23 048/23 049/23 050/23 051/23 052/23 053/23 054/23 055/23 056/23 057/23 058/23 059/23 060/23 061/23 062/23 063/23 064/23 065/23 066/23 067/23 068/23 069/23 070/23 071/23 072/23 073/23 074/23 075/23 076/23 077/23 078/23 079/23 080/23 081/23 082/23 083/23 084/23 085/23 086/23 087/23 088/23 089/23 090/23 091/23 092/23 093/23 094/23 095/23 096/23 097/23 098/23 099/23 100/23</p>	<p>Rev. No. Scale Date Drawn by Check by Issue</p> <p>1:200 @ A1 19/11/2023 Wang Pengpeng Jennifer Lynch PL/19/03/23</p>	<p>Drawn by Issue</p> <p>PA-A-302 19/03/23</p>			

Figure 7. Proposed elevations and sections Block B



Figure 8. Proposed elevations and sections Block C

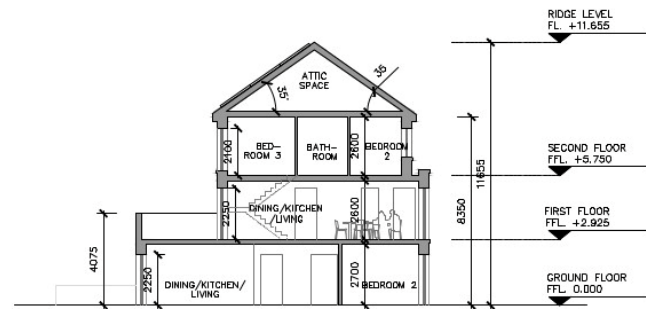


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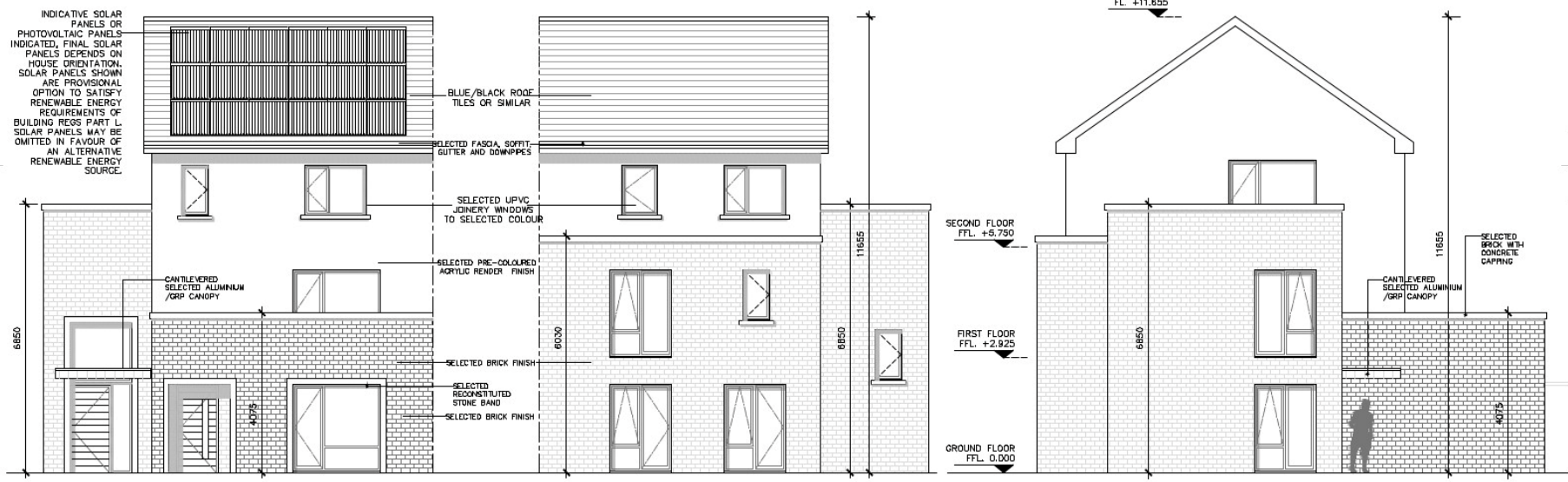
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Rev. No.	Scale	Date	Drawn By	Check By	Issue
1	1:100	24/09/2021	Seán Barrett	Finbar Lynch	PLANNING

Figure 9. Proposed elevations for duplex D1 & D2



04 Section AA
PA-D-302 1:200



01 Front Elevation
PA-D-302 1:100

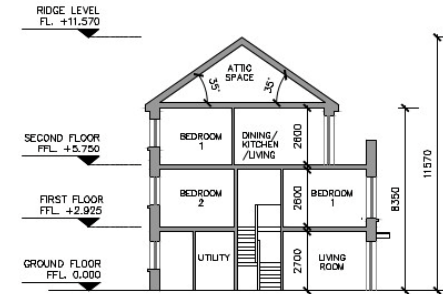
02 Rear Elevation
PA-D-302 1:100

03 Side Elevation
PA-D-302 1:100

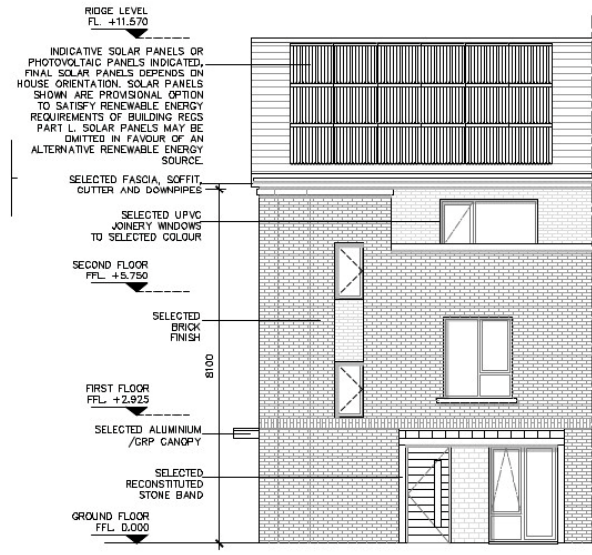
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	Rev.	Description	Date	Issues										
<p>Please refer to site plan for the proposed ground floor levels for each unit. Level 0.00 is used as a Ground Floor Finish datum for the unit type drawings only.</p> <p>WET'S CAD REF.</p>	<table border="1"> <thead> <tr> <th>Rev. No.</th> <th>Scale</th> <th>Date</th> <th>Des. By</th> <th>Chk. By</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1:300/1:200 @ A3</td> <td>24/09/2021</td> <td>Brian Barrett</td> <td>Jennifer Lynch</td> <td>PLANNING</td> </tr> </tbody> </table>	Rev. No.	Scale	Date	Des. By	Chk. By	Issue	1	1:300/1:200 @ A3	24/09/2021	Brian Barrett	Jennifer Lynch	PLANNING	<p>Dep. No. PA-D-302</p> <p>Job No. 19037</p>
Rev. No.	Scale	Date	Des. By	Chk. By	Issue									
1	1:300/1:200 @ A3	24/09/2021	Brian Barrett	Jennifer Lynch	PLANNING									

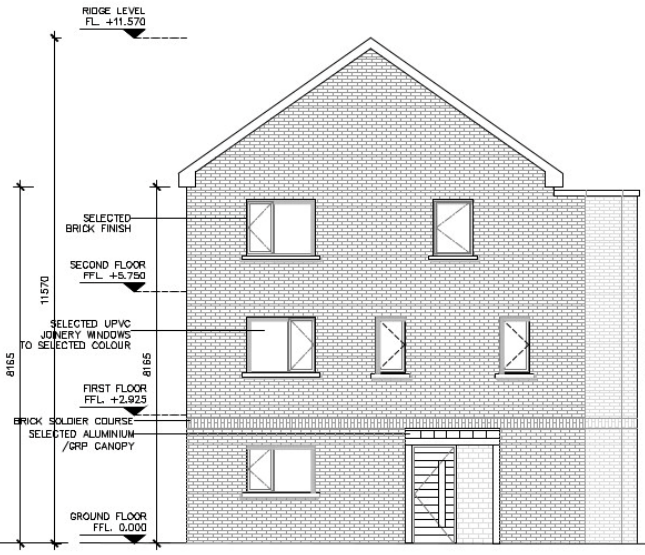
Figure 11. Proposed elevations for duplex D5 & D6



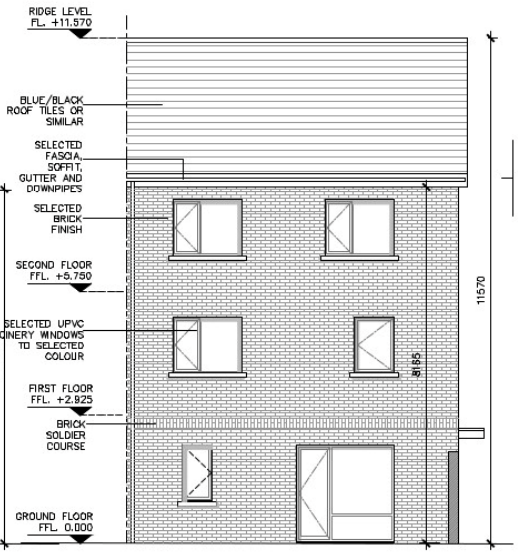
04 Section AA
PA-D-303 1:200



01 Front Elevation
PA-D-303 1:100



02 Side Elevation 01
PA-D-303 1:100



03 Rear Elevation
PA-D-303 1:100

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	<p>Please refer to site plan for the proposed ground floor finish levels for each unit. Note: D8 is used as a Ground Floor Finish datum for the unit type drawings only.</p>	<p>Rev. No. Scale Date Des. By Chk. By Issue</p> <p>1-100(1:200 @ A3) 24/08/2021 Sean Barrett Jennifer Lynch PLANNING</p>	<p>Prop. No. PA-D-303 Job No. 19037</p>			

Figure 12. Proposed elevations for duplex D7 & D8

Drainage

Cronin & Sutton Consulting Engineers (CS Consulting) have been commissioned by Tetrarch Residential Ltd to prepare an Engineering Services Report to accompany a planning application for a residential development at Mill Road, Saggart, County Dublin. The proposed drainage strategy for the subject site is demonstrated in Figure 13.

Foul Drainage

In terms of the construction of foul drainage networks, the Engineers Planning Stage Report outlines the following:

*'Further to a review of the Irish Water drainage records for the area, an existing 450mm diameter foul sewer traversing the N7 carriageway flowing south to north (towards Dublin city centre). An additional 375mm foul sewer is shown on Mill Road, however due to its proximity of the Camac River a connection to this sewer is unattainable. See **Appendix A** for Irish Water drainage records. The proposed development shall be serviced by a new drainage system with separate sewers and manholes for both foul and storm water within the sites boundary. The proposed foul network has been designed in accordance with the Building Regulations & the Regional Code of Practice for Drainage Works, Version 6.'*

The report also states that:

'All foul effluent generated from the proposed development shall be collected in 150mm and 225mm diameter pipes and flow under gravity, to the existing 450mm diameter foul sewer running adjacent to the N7 carriageway via a new connection. It is proposed to make the connection to the existing 450mm foul sewer by thrust boring a piper under the carriageway as to avoid affecting traffic movements to existing road network.'

It is also noted that:

'The drainage network for the development shall be in accordance with Part H of the Building Regulations and to the requirements and specifications of Irish Water. A Pre-Connection Enquiry for 310 No. units was submitted to Irish Water and we received a favourable response confirming a connection was feasible without any infrastructure upgrades.'

Stormwater Drainage

Regarding the existing stormwater drainage, the report states that:

'Following receipt of drainage records (see Appendix A) there is an existing 225mm stormwater line running along the northern boundary of the development site, just off the N7 carriageway.'

In relation to the proposed stormwater drainage, the report states that:

'In accordance with the requirements of SDCC Drainage Division all new developments are to incorporate the principles of Sustainable Urban Drainage Systems, (SuDS) The SuDS principles require a two-fold approach to address storm water management on new developments. The first aspect is to reduce any post development run-off to pre-development discharge rates. The development is to retain storm water volumes predicted to be experience during extreme rainfall events. This is defined as the volume of storm water generated during a 1 in 100-year storm event increased for predicted climate change factors. To ensure an accurate calculation of the required attenuation for the site Met Eireann was contacted to provide:

- a) The SAAR (Standard Annual Average Rainfall) for the area; 850mm/year*
- b) The sliding duration table for the site indicating the 1:100-year rainwater intensities to be used*

Based on the above criteria, the development shall require 2084ms of storage, see Appendix C for the attenuation calculations. The development site shall limit its discharge to 10.61/s, in line with the QBAR flow of 2.29 l/s/ha. Due to the size and layout of the development it is proposed to provide this volume of attenuation 2 number attenuation tanks. The first tank is located in the centre of the development site and shall limit its discharge flow to 5.01 l/s and provide 1082ms of storage, the second tank is adjacent to the outfall at the northern boundary of the development and provide 1043ms, with the discharge flow limited to 10.6l/s at this location.'

The report also states that:

'The restricted flow from the development site shall then discharge to the existing 225mm stormwater network along the northern boundary. The last public manhole and network to the existing sewer is to be constructed in accordance with Local Authority's requirements.'

In relation to Sustainable Urban Drainage Systems (SuDs) the report states that:

'It is proposed to use a range of SuDs devices for the scheme they are listed below:

- *Infiltration trenches to rear gardens that shall cater for runoff generate from adjacent roofs.*
- *Tree Pit Drainage Systems*
- *Permeable Paving to all new parking spaces*
- *Waterbutts for local irrigation and washing down*
- *Attenuation tank with flow control device, sized to contain a 1-in-100-year storm even and increased by 20% predicted climate change to limit the surface water discharge from the site during extreme rainfall events.'*

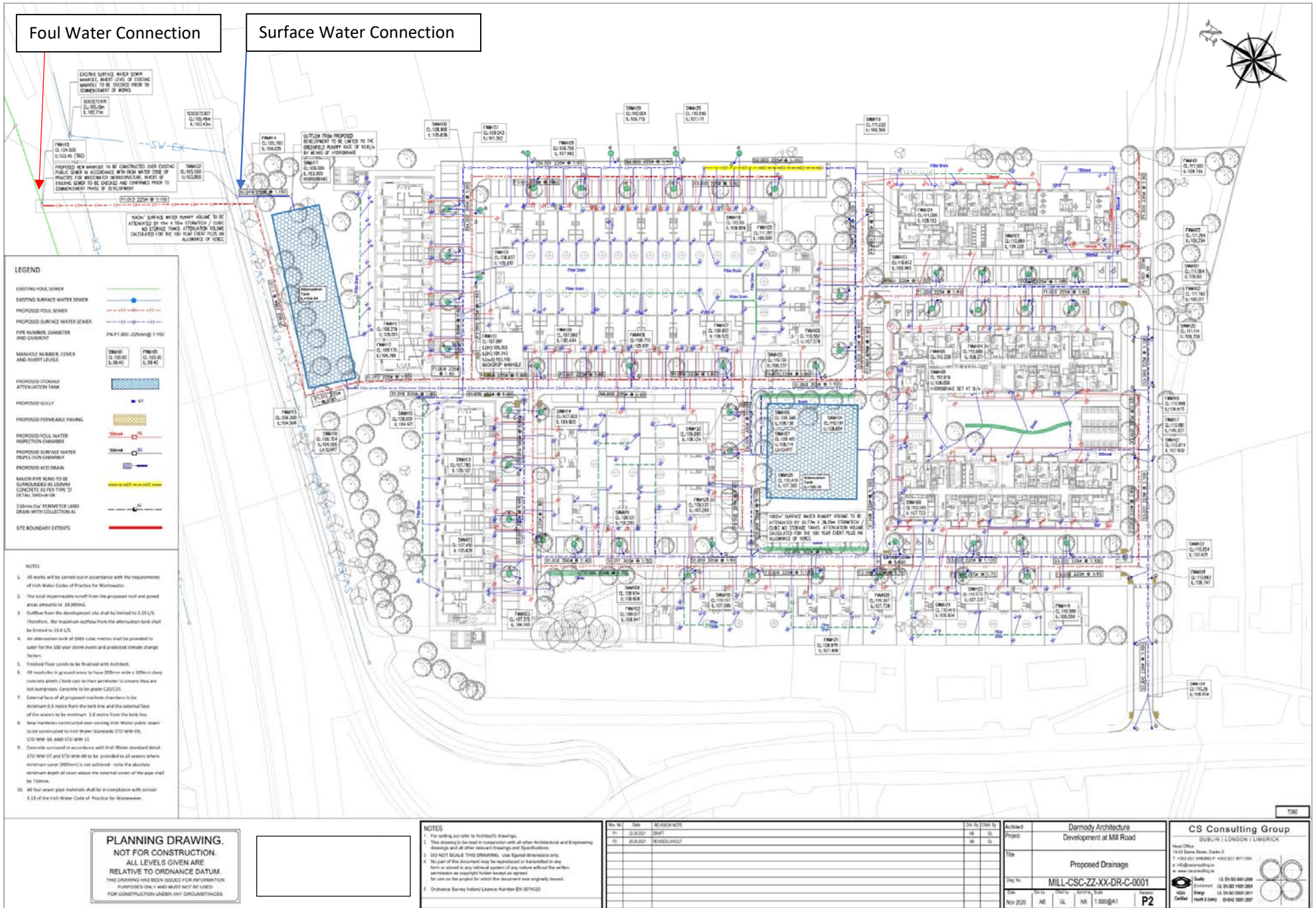


Figure 13. Proposed drainage layout

Identification of Relevant Natura 2000 Sites

The proposed development is not within, or proximal to, a Natura 2000 conservation site. Special Protection Areas and Special Areas of Conservation within 15km of the proposed development are seen in Figures 14 and 15 respectively. Natura 2000 sites (SAC and SPA) are located at minimum, 6.6km from the site. Details of Natura 2000 conservation sites within 15km of the proposed site are seen in Table 1.

Screening of Natura 2000 sites within 15 km, conservation objectives, features of interest and potential significance of impacts from the proposed development on the Natura 2000 site and their features of interest are seen in Table 2.

There is an indirect hydrological pathway to Natura 2000 sites located within Dublin Bay via the proposed foul and surface wastewater networks. All foul effluent and surface water generated from the proposed development will be collected in pipers and flow under gravity to the existing foul sewer and treated at Ringsend Wastewater Treatment Plant. Following construction the surface water connection will connect to an existing surface water network proximate to the N7.

Table 1. Proximity to designated sites of conservation importance

NATURA 2000 Site	Distance	Direct Pathway
Special Areas of Conservation		
Glenasmole Valley SAC	6.6 Km	No
Wicklow Mountains SAC	8.8 Km	No
Rye Water Valley/Carlton SAC	9.2 Km	No
Red Bog, Kildare SAC	10.9 Km	No
Special Protection Areas		
Wicklow Mountains SPA	10.5 Km	No
Poulaphouca Reservoir SPA	11.5 Km	No

The initial screening of Natura 2000 sites within 15km, their qualifying interests and the Source/Pathway/Receptor links between the works and the Natura 2000 site, with the potential to result in adverse effects (without mitigation measures) on each Natura 2000 site and their qualifying interests, are seen in Table 2. There is no direct hydrological pathway from the proposed development site to the Natura 2000 sites beyond 15km and no impact is foreseen on these sites.

SACs and SPAs within 15 km of the proposed development are demonstrated in Figures 14 and 15, whilst waterbodies within proximity to the proposed development are shown in Figures 16 and 17. There is no direct pathway to Natura 2000 sites.

Table 2. Initial screening of NATURA 2000 sites within 15km and NATURA 2000 sites within 15km with potential of hydrological connection to the proposed development

NATURA Code	Name	Screened IN/OUT	Details/Reason
IE0001209	Glenasmole Valley SAC	OUT	<p>Conservation Objectives To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Semi-natural dry grasslands and scrubland facies on calcareous substrates (<i>Festuco-Brometalia</i>) (* important orchid sites) [6210]</p>

			<p>Molinia meadows on calcareous, peaty or clayey-silt-laden soils (<i>Molinia caerulea</i>) [6410] Petrifying springs with tufa formation (<i>Cratoneurion</i>) [7220]</p> <p>Potential Impact The proposed development site is located within an suburban environment at a minimum distance of 6.6 km from the Glenasmole SAC (Figure 14). There is no direct or indirect hydrological pathway from the proposed development site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen. Foul effluent generated from the proposed development will be collected and flow to the existing foul sewer via a new connection. Storm water effluent will flow to an existing stormwater line running along the northern boundary. There will be no direct pathway from the development site to the surrounding water routes. Moreover, there will be no direct pathway from the development site to the Natura 2000 site.</p> <p>No significant effects are likely</p>
IE0002122	Wicklow Mountains SAC	OUT	<p>Conservation Objectives: The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Oligotrophic waters containing very few minerals of sandy plains (<i>Littorelletalia uniflorae</i>) [3110] Natural dystrophic lakes and ponds [3160] Northern Atlantic wet heaths with <i>Erica tetralix</i> [4010] European dry heaths [4030] Alpine and Boreal heaths [4060] Calaminarian grasslands of the <i>Violetalia calaminariae</i> [6130] Species-rich <i>Nardus</i> grasslands, on siliceous substrates in mountain areas (and submountain areas, in Continental Europe) [6230] Blanket bogs (* if active bog) [7130] Siliceous scree of the montane to snow levels (<i>Androsacetalia alpinae</i> and <i>Galeopsietalia ladani</i>) [8110] Calcareous rocky slopes with chasmophytic vegetation [8210] Siliceous rocky slopes with chasmophytic vegetation [8220] Old sessile oak woods with <i>Ilex</i> and <i>Blechnum</i> in the British Isles [91A0] Otter (<i>Lutra lutra</i>) [1355]</p> <p>Potential Impact The proposed development site is located within an industrial environment at a minimum distance of 8.8 km from the Wicklow Mountains SAC (Figure 14). There is no direct or indirect hydrological pathway from the proposed development site to the SAC. The construction and operation of the proposed</p>

			<p>development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects likely</p>
IE0001398	Rye Water Valley/Cartron SAC	OUT	<p>Conservation Objectives: To maintain or restore the favourable conservation condition of the Annex I habitat(s) and/or the Annex II species for which the SAC has been selected.</p> <p>Qualifying Interests Petrifying springs with tufa formation (<i>Cratoneurion</i>) [7220] Narrow-mouthed Whorl Snail (<i>Vertigo angustior</i>) [1014] Desmoulin's Whorl Snail (<i>Vertigo moulinsiana</i>) [1016]</p> <p>Potential Impact The proposed development site is located within an industrial environment at a minimum distance of 9.2 km from this SAC (Figure 14). No potential impact is foreseen. Foul effluent generated from the proposed development will be collected and flow to the existing foul sewer via a new connection. Storm water effluent will flow to an existing stormwater line running along the northern boundary. There is no direct or indirect hydrological pathway from the proposed development site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely</p>
IE0000397	Red Bog, Kildare SAC	OUT	<p>Conservation Objectives: The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.</p> <p>Qualifying Interests Transition mires and quaking bogs [7140]</p> <p>Potential Impact The proposed development site is located within an industrial environment at a minimum distance of 10.9 km from this SAC (Figure 14). No potential impact is foreseen. Foul effluent generated from the proposed development will be collected and flow to the existing foul sewer via a new connection. Storm water effluent will flow to an existing stormwater line running along the northern boundary. There is no direct or indirect hydrological pathway from the proposed development site to the SAC. The construction and operation of the proposed development will not impact on the conservation interests of the site.</p> <p>No significant effects are likely</p>

Special Protection Areas			
IE0004040	Wicklow Mountains SPA	OUT	<p>Conservation Objectives: To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests Merlin (<i>Falco columbarius</i>) [A098] Peregrine (<i>Falco peregrinus</i>) [A103]</p> <p>Potential Impact The proposed development site is located within an industrial environment at a minimum distance of 10.5 km from the Wicklow Mountains SPA (Figure 15). Foul effluent generated from the proposed development will be collected and flow to the existing foul sewer via a new connection. Storm water effluent will flow to an existing stormwater line running along the northern boundary. There is no direct or indirect hydrological pathway from the proposed development site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely</p>
IE0004063	Poulaphouca Reservoir SPA	OUT	<p>Conservation Objective: To maintain or restore the favourable conservation condition of the bird species listed as Special Conservation Interests for this SPA.</p> <p>Qualifying Interests Greylag Goose (<i>Anser anser</i>) [A043] Lesser Black-backed Gull (<i>Larus fuscus</i>) [A183]</p> <p>Potential Impact The proposed development site is located within an industrial environment at a minimum distance of 11.5 km from the Poulaphouca Reservoir SPA (Figure 15). Foul effluent generated from the proposed development will be collected and flow to the existing foul sewer via a new connection. Storm water effluent will flow to an existing stormwater line running along the northern boundary. There is no direct or indirect hydrological pathway from the proposed development site to the SPA. The construction and operation of the proposed development will not impact on the conservation interests of the site. No potential impact is foreseen.</p> <p>No significant effects are likely</p>

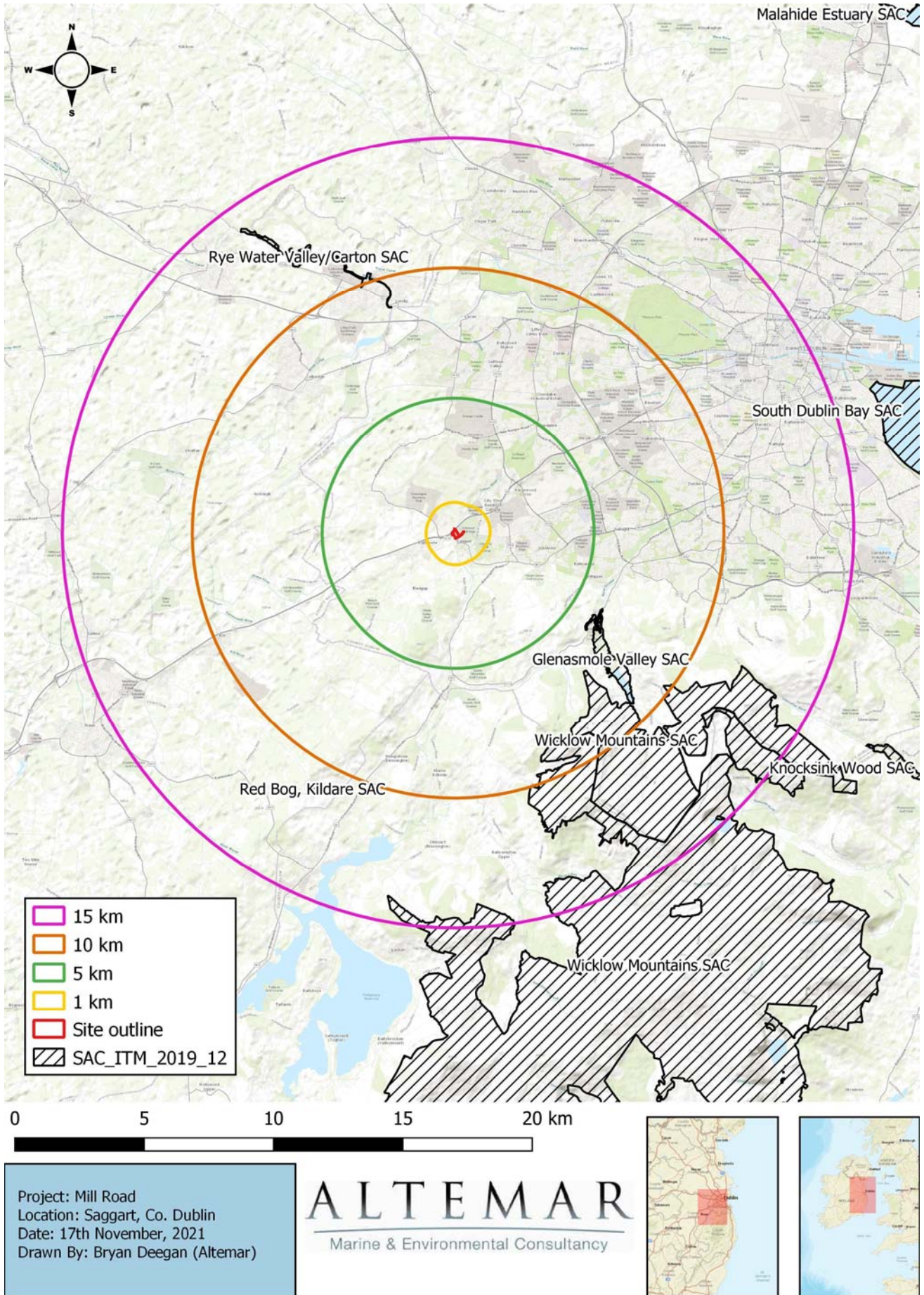


Figure 14. Special Areas of Conservation located within 15km of the proposed development

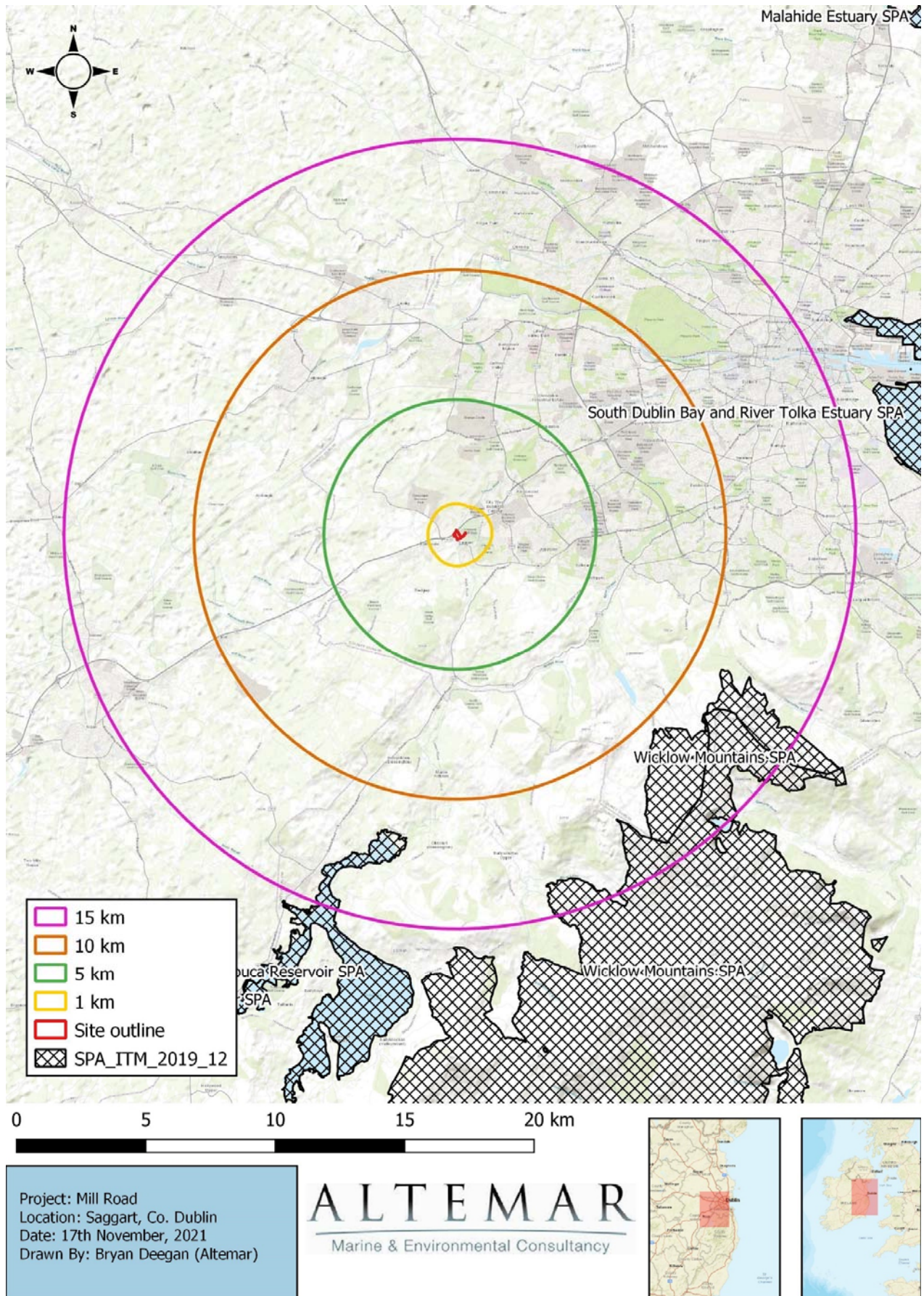


Figure 15. Special Protection Areas within 15km of the proposed development



Figure 16. Waterbodies within 5km of the proposed development (EPA-WFD data)



Figure 17. Waterbodies within 1km of the proposed development (EPA-WFD data)

In-Combination Effects

There are several developments that received planning permission located in the area immediately surrounding the subject site. The following is a list of planning applications as identified on the Department of Housing, Local Government and Heritage's 'National Planning Application Map' portal:

Planning Ref.	Address	Proposal
SD20A/0319	Moneenalion Commons Upper, Brownsbarn and Collegeland, Baldonnell Business Park, Dublin 22	Amend permitted logistics/warehouse units C and D and incorporate other amendments, providing for a resultant; Unit C, 7,937sq.m including 757sq.m ancillary office space (permitted 11,492sq.m total); Unit D, 12,050sq.m including 911sq.m ancillary office space (permitted 7, 856sqm total); Overall increase of 639sq.m for Units C and D; provision of maintenance ramp to swale; resultant amendments to site layout, minor revisions to flood mitigation strategy, yards, elevations, signage, internal road layout, landscaping, ground works, drainage, gates, fencing, services and utilities and all associated and ancillary site development works at a site at the townlands of Moneenalion Commons Upper, Brownsbarn and Collegeland, Baldonnell Business Park and is located between the Casement Aerodrome and the N7 national route and comprising of amendments to the second phase of development permitted under Ref. SD19A/0370 & SD20A/0215.
SD19A/0250	Dawson Park, College Lands, Rathcoole, Co. Dublin	Flood lighting including lighting columns and all associated site works to training pitch at clubhouse on club grounds.
SD15A/0381	Citywest Hotel and Conference Centre, Saggart, Dublin	Permission is sought for the increase in capacity of the conference centre to allow for up to 6,000 patrons (the conference centre is currently limited to 4,161 patrons under Reg. Ref. SD07A/0294, An Bord Pleanala reference PL06S.227236) and for the provision of public concerts; modifications to the permitted layout of the overflow car park (Reg. Ref. SD10A/0150, An Bord Pleanala reference PL06S.238971) to accommodate an additional 171 car parking spaces and taxi set-down area; improvement works to the junction at Garters Lane and Fortunestown Lane; all associated site development, landscaping and boundary treatment works above and below ground.
SHD3ABP-300555-18	Site bounded by Fortunestown Lane, Garters Lane and Bianconi Avenue, Saggart, Co. Dublin	A residential development comprising: 526 residential units and all associated site and development works as follows: - 274 3-bed 2 storey terraced units, 185 4-bed 2 and 3 storey terraced and end of terrace units, 67 2-bed apartment/duplex units (37 2-storey, 2 bed terraced duplexes, 18 1-storey 2 bed terraced apartments and 12 1 storey 2 bed end of terrace apartments). The development also provides for a district park (4.58 ha) and a neighbourhood park (0.71 ha) in accordance with the Fortunestown Local Area Plan 2012. Permission is also sought for 789 car parking spaces, bin storage areas, ESB substations and all associated site development and infrastructural works. Vehicular access to serve the proposed development will be provided via two new access points off Garter Lane and via a new signalised junction at the southeastern corner of the site to replace the existing roundabout off Fortunestown Lane. Provision is made for a future access to Bianconi Avenue. In addition, an interim local square is proposed within the subject site providing a direct pedestrian link from the proposed development to the Saggart Luas stop. Two direct pedestrian links are proposed between

		the subject site and the adjoining school sites permitted under Reg Ref No SD16A/0255 providing a direct link between the school and the proposed district park and a direct link from the west of the school site to the proposed residential development. Lands identified for future development are located along the southern boundary of the current application site adjacent to Fortunestown Lane/Saggart Luas Stop. These areas will be subject of a future planning application (Phase 2) and will include the final design and layout of the local square.
SD18A/0093	Block A, Citywest Educate Together National School, Former Golf Heritage Buildings, Fortunestown Lane, Saggart, Co. Dublin	Conversion of part of the ground floor of Block A into 8 classrooms with en-suite toilets, administration, secretary & principals offices, entrance foyer, 1 S.E.T. room, new boiler & electrical room, new emergency escape corridor with associated alterations on the west facing elevation of Block A and all associated works.
SHD3ABP-300555-18	Site bounded by Fortunestown Lane, Garters Lane and Bianconi Avenue, Saggart, Co. Dublin	A residential development comprising: 526 residential units and all associated site and development works as follows: - 274 3-bed 2 storey terraced units, 185 4-bed 2 and 3 storey terraced and end of terrace units, 67 2-bed apartment/duplex units (37 2-storey, 2 bed terraced duplexes, 18 1-storey 2 bed terraced apartments and 12 1 storey 2 bed end of terrace apartments). The development also provides for a district park (4.58 ha) and a neighbourhood park (0.71 ha) in accordance with the Fortunestown Local Area Plan 2012. Permission is also sought for 789 car parking spaces, bin storage areas, ESB substations and all associated site development and infrastructural works. Vehicular access to serve the proposed development will be provided via two new access points off Garter Lane and via a new signalised junction at the southeastern corner of the site to replace the existing roundabout off Fortunestown Lane. Provision is made for a future access to Bianconi Avenue. In addition, an interim local square is proposed within the subject site providing a direct pedestrian link from the proposed development to the Saggart Luas stop. Two direct pedestrian links are proposed between the subject site and the adjoining school sites permitted under Reg Ref No SD16A/0255 providing a direct link between the school and the proposed district park and a direct link from the west of the school site to the proposed residential development. Lands identified for future development are located along the southern boundary of the current application site adjacent to Fortunestown Lane/Saggart Luas Stop. These areas will be subject of a future planning application (Phase 2) and will include the final design and layout of the local square.
SD20A/0258	College Lane, Greenogue, Rathcoole, Co. Dublin	Demolition of the existing dwelling (252sq.m) and associated domestic garage (49sq.m) and shed (12sq.m) located towards the north-west of the site and the construction of 3 warehouses with ancillary office and staff facilities and associated development as follows: Unit 1 will have a maximum height of 15.75 metres with a gross floor area of 5,619sq.m including a warehouse area (5,041sq.m), ancillary office areas (182sq.m) and staff facilities (396sq.m); Unit 2 will have a maximum height of 16.35 metres with a gross floor area of 6,724sq.m including a warehouse area (6,135sq.m), ancillary office areas (275sq.m) and staff facilities (314sq.m); and Unit 3 will have a maximum height of 18.9 metres

		<p>with a gross floor area of 10,095sq.m including a warehouse area (9,335sq.m), ancillary office areas (399sq.m) and staff facilities (361sq.m); the development will also include the provision of a new vehicular access to the site from the Aerodrome Roundabout in lieu of the extinguishment of existing multiple access points from the R120 Newcastle to Rathcoole Road; internal roundabout; pedestrian access; 187 ancillary car parking spaces; bicycle parking; HGV yards; level access goods doors; dock levellers; access gates; signage; hard and soft landscaping; lighting; boundary treatments; ESB substations; sprinkler tanks; pump houses and all associated site development works above and below ground.</p>
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In relation to Planning Ref. **SD20A/0319** an Appropriate Assessment carried out by OPENFIELD Ecological Services stated that:

'On the basis of the screening exercise carried out above, it can be concluded that the possibility of any significant impacts on any European Sites, whether arising from the project itself or in combination with other plans and projects, can be excluded beyond a reasonable scientific doubt on the basis of the best scientific knowledge available.'

In relation to Planning Ref. **SD19A/0250** in the Irish Water Submission to Planning Authority report it is stated that:

'The distance between foundations of proposed development and 5" watermain west of site shall comply with Irish Water Standards'

This reiterates that the proposed development in combination with Planning ref: **SD19A/0250** will have no in combination effects on Natura 2000 sites.

In relation to Planning Ref. **SD15A/0381** an Appropriate Assessment was carried out by Ecology Ireland, the report states that:

'No impacts on Poulaphouca Reservoir SPA are expected as a result of the proposed development.'

In relation to Planning Ref. **SHD3ABP-300555-18** an Appropriate Assessment Screening was carried out by OPENFIELD Ecological Services. The report states that:

'Given the negative effects are not considered likely to arise, there are no projects, which acting in combination with the current proposal, can result in significant effects to Natura 2000 areas.'

In relation to Planning ref. an Appropriate Assessment Screening was carried out by OPENFIELD Ecological Services. The report states that:

'This project has been screened for AA under the appropriate methodology. It has found that significant effects are not likely to arise, either alone or in combination with other plans or projects to any SAC or SPA.'

In relation to Planning Ref. **SD20A/0258** and Appropriate Assessment Screening was carried out by JBA Consulting. This report states that:

'Following this initial screening of the proposed development at College Lane, Greenogue, Rathcoole, Co. Dublin, it can be concluded that significant impacts are not anticipated via surface water, groundwater, or land/air pathways on the following Natura 2000 sites:

- Rye Water Valley/ Caron SAC (001398)
- North Dublin Bay SAC (000206)
- South Dublin Bay SAC (000210)

- *North Bull Island SPA (004006)*
- *South Dublin Bay and River Tolka Estuary SPA (004024)*

No significant projects are proposed or currently under construction that could potentially cause in combination effects on Natura 2000 sites.

Given this, it is considered that in combination effects with other existing and proposed developments in proximity to the application area would be unlikely, neutral, not significant, and localised. It is concluded that no significant effects on Natura 2000 sites will be seen because of the proposed development alone or combination with other projects.

Conclusions

The proposed development site is located within a suburban environment 6.6 km from the nearest Natura 2000 site (Glenasmole Valley SAC). Watercourses and surface runoff are seen as the main potential pathway for impacts on Natura 2000 sites. There is no direct hydrological pathway linking the proposed development site to a Natura 2000 site. There is an indirect pathway to marine-based Natura 2000 sites via the proposed foul and surface water drainage networks. Foul wastewater will be connected to an existing public sewerage network, which will subsequently be treated at Ringsend WwTP via a new foul water connection. The proposed development at Mill Road shall be serviced by a new drainage system with separate sewers and manholes for both foul and storm water within the sites boundary.

Furthermore, given the distance between the proposed site and the nearest Natura 2000 site with an indirect pathway, any pollutants or silt will settle, be diluted, or dispersed to negligible levels prior to reaching the Natura 2000 sites. Therefore, the proposed development project will not have a significant impact on the conservation objectives of Natura 2000 sites. However, it should be noted that the construction and operation of the proposed development will have to comply with Water Pollution Acts. However, the measures to comply with Water Pollutions Acts are not necessary for the protection of Natura 2000 sites.

No Natura 2000 sites are within the zone of influence of this development. Having taken into consideration the effluent discharge from the proposed development works, the distance between the proposed development site to designated conservation sites, lack of direct hydrological pathway or biodiversity corridor link to conservation sites and the dilution effect with other effluent and surface runoff, it is concluded that this development would not give rise to any significant effects to designated sites. The construction and operation of the proposed development will not impact on the conservation objectives of features of interest of Natura 2000 sites.

This report presents a Stage 1 Appropriate Assessment Screening for the Proposed Development, outlining the information required for the competent authority to screen for appropriate assessment and to determine whether or not the Proposed Development, either alone or in combination with other plans and projects, in view of best scientific knowledge, is likely to have a significant effect on any European or Natura 2000 site.

On the basis of the content of this report, the competent authority is enabled to conduct a Stage 1 Screening for Appropriate Assessment and consider whether, in view of best scientific knowledge and in view of the conservation objectives of the relevant European sites, the Proposed Development, individually or in combination with other plans or projects is likely to have a significant effect on any European site.

Findings of No Significant Effects Report

Details of Project	Appropriate Assessment Screening for the proposed development of a No. 274 residential unit development at Mill Road, Saggart, Co. Dublin
Name and Location of NATURA 2000 Sites Within 15km	Glenasmole Valley SAC Wicklow Mountains SAC Rye Water Valley/Carton SAC Red Bog, Kildare SAC Wicklow Mountains SPA Poulaphouca Reservoir SPA
Project Description	Tetrach Residential Ltd.. proposed development consists of the demolition of a single storey habitable dwelling house and associated outbuildings and structures and the construction of a 274 No. residential development at Mill Road, Saggart, Co. Dublin.
Is the Project directly connected with the management of the NATURA 2000 site?	No
Details of any other projects or plans that together with this project could affect the NATURA 2000 site	None
The assessment of significant effects	
Describe how the project is likely to affect the NATURA 2000 site	No potential effects are foreseen
Response to consultation	N/A
Data collected to carry out the assessment	Site Visit and Supporting NPWS data.
Who carried out the assessment	Altemar Ltd.
Sources of data	NPWS website, standard data form, conservation objectives data of the site and references outlined in the AA Screening Report.
Explain why the effects are not considered significant	No Natura 2000 sites are within the zone of influence of this development. There is no direct hydrological pathway to Natura 2000 sites. Having taken into consideration the effluent discharge from the proposed development works, the distance between the proposed development site to designated conservation sites, lack of direct hydrological pathway or biodiversity corridor link to conservation sites and the dilution effect and treatment of effluent and surface runoff, it is concluded that this development that would not give rise to any significant effects to designated sites.
Level of assessment completed	Stage 1 Screening
Overall conclusions	On the basis of the content of this report, the competent authority is enabled to conduct a Stage 1 Screening for Appropriate Assessment and consider whether, in view of best scientific knowledge and in view of the conservation objectives of the relevant European sites, the Proposed Development, individually or in combination with other plans or projects is likely to have a significant effect on any European site.

Data Used for AA Screening

NPWS site synopses and Conservation objectives of sites within 15km were assessed. The most recent SAC and SPA boundary shapefiles were downloaded and overlaid on ESRI road maps and satellite imagery. A site visit was carried out on the 5th March 2021 to determine if the site contained possible threats to a NATURA 2000 site.

References

The following references were used in the preparation of this AA screening report.

1. Department of Environment Heritage and Local Government Circular NPW 1/10 and PSSP 2/10 on Appropriate Assessment under Article 6 of the Habitats Directive – Guidance for Planning Authorities March 2010.
2. Appropriate Assessment of Plans and Projects in Ireland: Guidance for Planning Authorities, Department of the Environment, Heritage and Local Government 2009;
http://www.npws.ie/publications/archive/NPWS_2009_AA_Guidance.pdf
3. Managing NATURA 2000 Sites: the provisions of Article 6 of the Habitats Directive 92/43/EEC, European Commission 2000;
http://ec.europa.eu/environment/nature/Natura2000/management/docs/art6/provision_of_art6_en.pdf
4. Assessment of Plans and Projects Significantly Affecting NATURA 2000 Sites: Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC;
http://ec.europa.eu/environment/nature/Natura2000management/docs/art6/Natura_2000_assess_en.pdf
5. Guidance document on Article 6(4) of the 'Habitats Directive' 92/43/EEC – Clarification of the concepts of: alternative solutions, imperative reasons of overriding public interest, compensatory measures, overall coherence, opinion of the commission;
http://ec.europa.eu/environment/nature/Natura2000/management/docs/art6/guidance_art6_4_en.pdf
6. Guidance document on the implementation of the birds and habitats directive in estuaries and coastal zones with particular attention to port development and dredging;
http://ec.europa.eu/environment/nature/Natura2000/management/docs/guidance_doc.pdf
7. The Status of EU Protected Habitats and Species in Ireland.
http://www.npws.ie/publications/euconservationstatus/NPWS_2007_Conservation_Status_Report.pdf
8. NPWS (2021) Conservation objectives for Glenasmole Valley SAC [001209]. Generic Version 8.0. Department of Housing, Local Government and Heritage.
9. NPWS (2017) Conservation Objectives: Wicklow Mountains SAC 002122. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage, Regional, Rural and Gaeltacht Affairs.
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12. NPWS (2021) Conservation objectives for Wicklow Mountains SPA [004040]. Generic Version 8.0. Department of Housing, Local Government and Heritage.
13. NPWS (2021) Conservation objectives for Poulaphouca Reservoir SPA [004063]. Generic Version 8.0. Department of Housing, Local Government and Heritage.
14. NPWS (2021) Conservation objectives for Poulaphouca Reservoir SPA [004063]. Generic Version 8.0. Department of Housing, Local Government and Heritage.
15. NPWS (2015) Conservation Objectives: South Dublin Bay and River Tolka Estuary SPA 004024. Version 1. National Parks and Wildlife Service, Department of Arts, Heritage and the Gaeltacht.