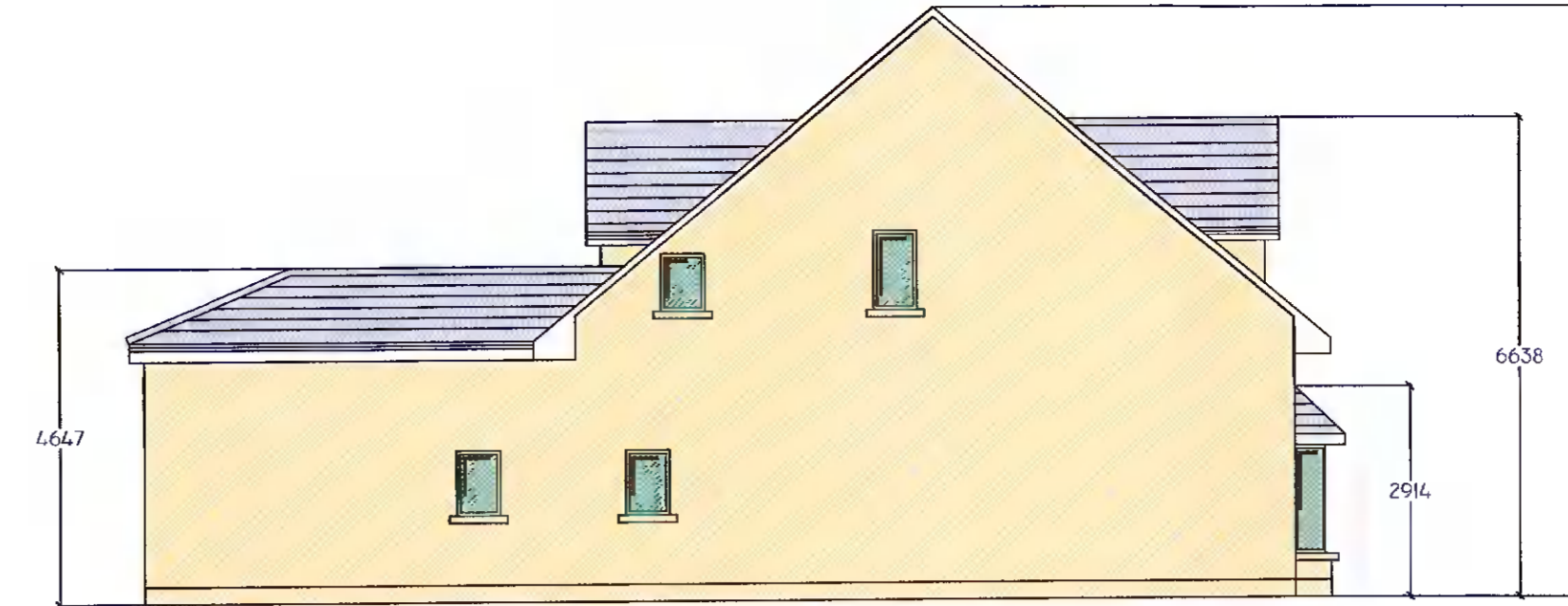


SUBJECT SITE

"THE BUNGALOW"



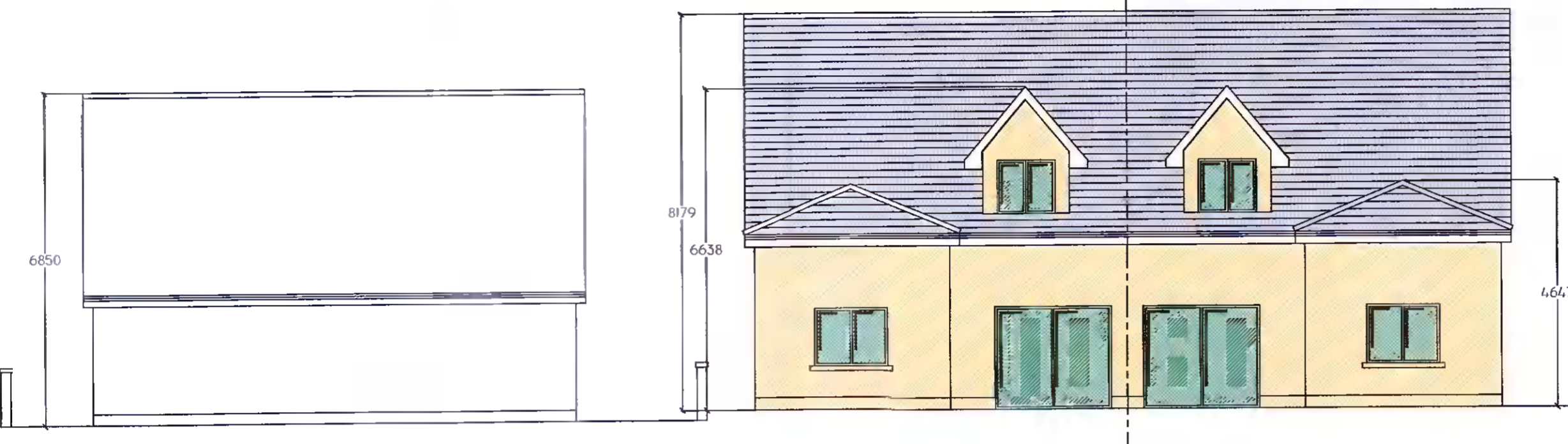
PROPOSED CONTIGUOUS FRONT ELEVATIONS



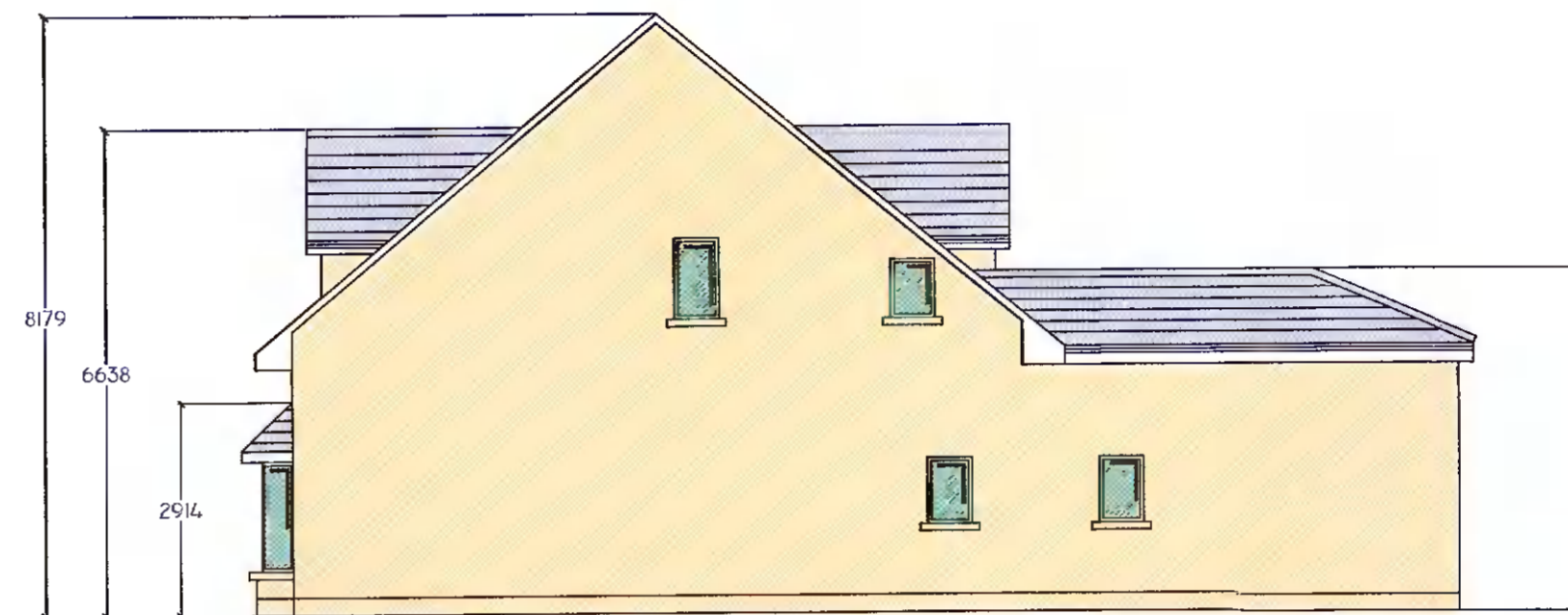
PROPOSED SIDE ELEVATION

"THE BUNGALOW"

SUBJECT SITE



PROPOSED CONTIGUOUS REAR ELEVATION



PROPOSED SIDE ELEVATION

GENERAL NOTES:
THE DEVELOPER/CONTRACTOR/BUILDER IS TO ENSURE THAT THE BUILDING UNDER CONSTRUCTION IS TO COMPLY FULLY WHERE APPLICABLE WITH THE BUILDING REGULATIONS 1997 WITH RESPECT TO ALL TRADES INVOLVED IN THE CONSTRUCTION OF THIS DEVELOPMENT.
THE DEVELOPER/CONTRACTOR/BUILDER SHOULD NOTIFY A.J. WHITTAKER & ASSOCIATES LIMITED OF ANY INTENDED DEVIATIONS FROM THESE PLANS PRIOR TO COMMENCEMENT OF DEVELOPMENT.
CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. NO WORKING DIMENSIONS TO BE SCALED DIMENSIONS WHERE SHOWN TO BLOCKWORK ONLY.
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A.J. WHITTAKER & ASSOCIATES LIMITED, REGISTERED IN IRELAND No. 337064.

ROOF CONSTRUCTION:
SELECTED CONCRETE ROOF TILES ON 50 X 50MM TILING
LATHS ON LINEARABLE SARKING FELT ON SELECTED
ROOF TIMBERS.

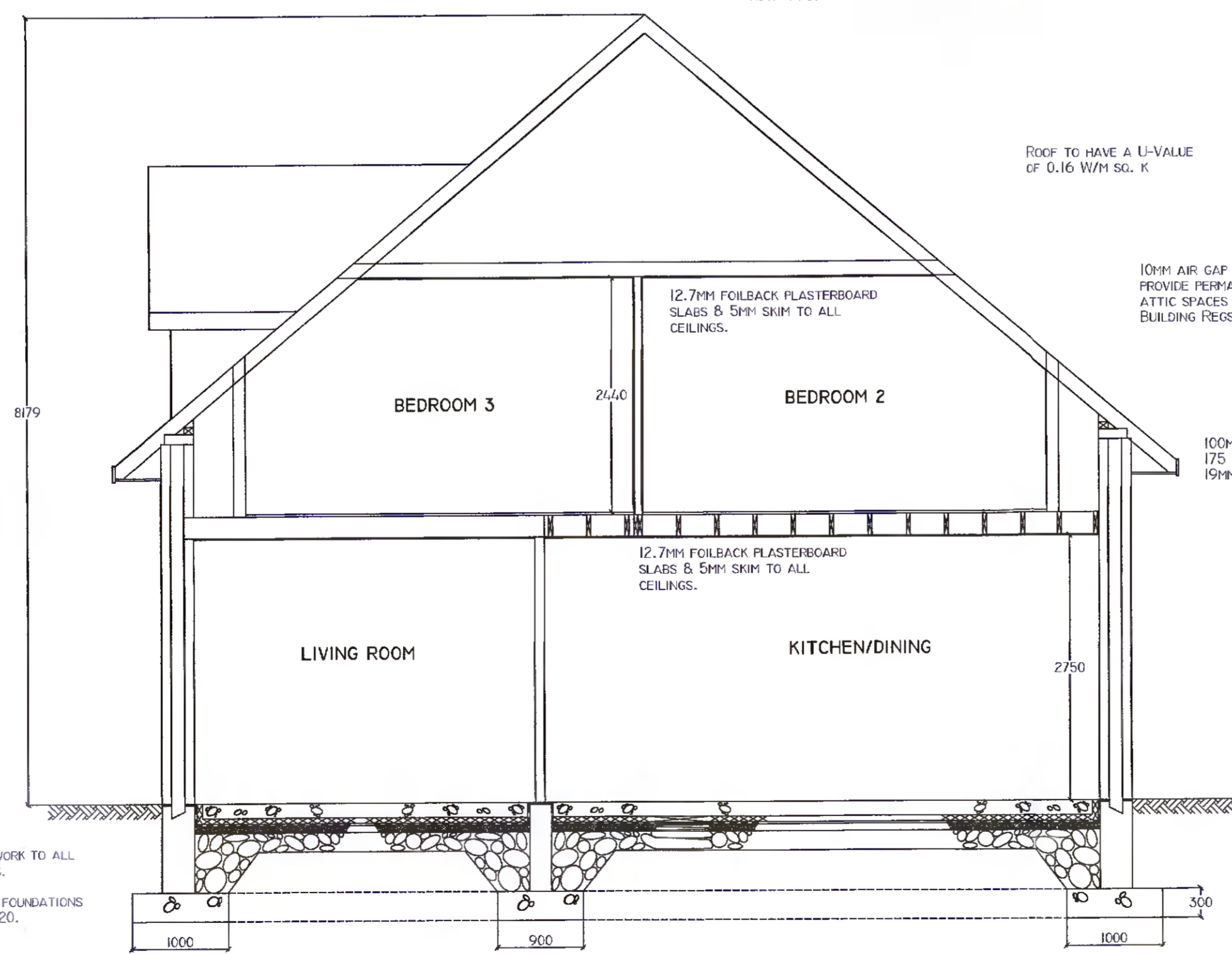
ROOF TO HAVE A U-VALUE
OF 0.16 W/M SQ. K

100MM AIR GAP AT SOFFIT BOARDING TO
PROVIDE PERMANENT VENTILATION TO
ATTIC SPACES IN ACCORDANCE WITH
BUILDING REGS.-T.G.D. PART F, SECT. 2.

100MM H.R. P.V.C. GUTTER
175 X 25MM FASCIA
150MM FLY SOFFITE.

CAVITY WALL CONSTRUCTION:
100MM BLOCK INNER LEAF,
POLYURETHANE BEAD INSULATION
CAVITY, 100MM SELECTED CLAY
BRICK/BLOCK OUTER LEAF. CAVITY WALL TO
HAVE A U-VALUE OF 0.21 W/M SQ. K
IN ACCORDANCE WITH BUILDING REGS.
T.G.D. PART L. CAVITY WALL TIES TO
BE 750MM HORIZONTALLY AND 1500MM
VERTICALLY IN ACCORDANCE WITH BUILD.
REGS. T.G.D. PART A.

SOLID BLOCKWORK TO ALL
RISING WALLS.
CONCRETE IN FOUNDATIONS
TO BE 25 N 20.



FLOOR CONSTRUCTION:
150MM POWER FLOATED CONCRETE FLOOR SLAB, CONCRETE GRADE C10/P
OF B.S. 5228 ON 100MM THICK FULL FLOOR POLYURETHANE INSULATION
(THERMAL CONDUCTIVITY = 0.025 W/MK) ON A DAMP PROOF MEMBRANE
WHICH SHOULD BE AT LEAST 300 (200 GAUGE), LAID WITH JOINTS SEALED
ON A BED OF 50MM SAND BLINDING ON MIN. 150MM LEVELLED AND CONSOLIDATED
HARDWARE BASE, D.P.M. TO CONFORM TO I.S. 5719/87. INSULATION TO BE TURNED
UP AT SLAB EDGE. FLOOR TO HAVE A U-VALUE OF 0.21 W/M SQ. K IN ACCORDANCE
WITH BUILDING REGULATION, TECHNICAL GUIDANCE DOCUMENT, PART L.

RADON:
IN AREAS WHERE THE FP11 SURVEY PREDICTS THAT THE PERCENTAGE OF HOUSES WITH A
RADON LEVEL FOR DWELLINGS (200Bq/m3) MAY BE 10% OR MORE, MEASURES SHOULD BE
TAKEN TO PROTECT RESIDENTIAL BUILDINGS FROM RADON IN THE GROUND.
OTHER RESIDENTIAL BUILDINGS SHOULD BE PROVIDED WITH A POTENTIAL MEANS OF REDUCING
RADON LEVELS SHOULD THAT PROVE NECESSARY AFTER THE BUILDING IS CONSTRUCTED.
POLYETHYLENE RADON MEMBRANE CAN BE PROVIDED IN LIEU OF THE DAMP PROOF
MEMBRANE ABOVE, IF REQUIRED.

TYPICAL SECTION.

Rev.	Date	By	Description
Scale	1:50; 1:100		Job Title PROPOSED WORKS AT SIDE OF "THE BUNGALOW", LUCAN-NEWLANDS ROAD BALGADDY, LUCAN CO. DUBLIN.
Date	NOV. 2021.		
Drawn by	D.C.		Drawing Title ELEVATIONS & SECTION.
Drw. No.	21/1437/04	Rev.	Client EDWARD BENNETT & PAUL BOYLE

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